

EARTHQUAKE RECOVERY (EQR) DOCUMENTATION

The documents within the Earthquake Recovery Documentation section, encompass all works completed under the Canterbury Home Repair Programme (CHRP). These contain assessments, contractor quotes, work orders and sign offs.

EQR Property Overview Report

Released Under the Official Information Act 1982

Company Fletcher EQR (division of FCC) as agent for EQC

Printed Date: 25-04-2018

EQC Property ID	Property Address	Vulnerable?	Property F Status	Property Finalisation Indicator		
2010027427	5 DUDLEY STREET, RICHMOND		F3 - Complete & Finalised	Some Finalisation has taken place		
Main Contractor:	CLOSED OUT-Maintain Canterbury Limited ***** (S241)		Property F2'd By:	Bruce Norton	F2 Completed Date:	26-05-2017
Cont Managing Hub:	<MULTIPLE>	VULNERABLE	Property F3'd By:	Bruce Norton	F3 Completed Date:	26-05-2017

Adjustments												
				Original Budget			Budget Variation					
EQC Claim Number + Address		Project	Status	Unmapped Adjmt Lines	Total OB	Allocated	Unallocated	Total BV	Allocated	Unallocated	Gross Claimed	Gross Certified
CLM/2010/027427 5 DUDLEY STREET		E010	F3	0	0.00	0.00	0.00	2,892.00	2,892.00	0.00	2,892.00	2,892.00
CLM/2011/051978 5 DUDLEY STREET		No Adjustments for this Claim			0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CLM/2011/217456 5 DUDLEY STREET		E025	F3	0	0.00	0.00	0.00	9,350.00	9,350.00	0.00	0.00	0.00
CLM/2011/217456 5 DUDLEY STREET		E023	F3	0	22,615.41	22,615.41	0.00	11,419.75	11,419.75	0.00	34,035.16	34,035.16
Property Total				0	22,615.41	22,615.41	0.00	23,661.75	23,661.75	0.00	36,927.16	36,927.16

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Assignments

EQC Claim Number + Address	Assignment	Subcontractor	Workflow	Contractor	Adjustment	Gross	Gross
CC + Hub Status		Hub Comments	Status	Quote	Line Count	Claimed	Certified
CLM/2010/027427	5 DUDLEY STREET	Clean Heat Works - Install	CLOSED OUT-Carrier Air Conditioning (NZ) Limited t/a AHI-Carrier (NZ) Ltd ***** (S205)	COMPLETIONS	2,892.00	1	2,892.00
	Allocated To Hub -> Awaiting Claim File Review	HEAT PUMP INSTALLED EQW17022					
CLM/2011/051978	5 DUDLEY STREET	Clean Heat Works - Install	<UNASSIGNED>	NOT REQUIRED	0.00	0	0.00
	Allocated To Hub -> Not Required - No Heat Required						
CLM/2011/217456	5 DUDLEY STREET	Substantive Works - Primary	CLOSED OUT-Maintain Canterbury Limited ***** (S241)	COMPLETIONS	25,948.79	26	32,815.16
	Transmitted To Hub -> Claim File Review Complete	DEFECTS ISSUE - NEED TO LOCATE CCI 24-Jun-2014 KELLYG.					
CLM/2011/217456	5 DUDLEY STREET	Substantive Works - Specialist Contractor	CLOSED OUT-SimOcc Consulting Limited ***** (SF77)	COMPLETIONS	571.80	2	540.00
	Transmitted To Hub -> Claim File Review Complete						
CLM/2011/217456	5 DUDLEY STREET	Substantive Works - Specialist Contractor	CLOSED OUT-Star World Limited t/a Decontamination Medix ***** (SE39)	COMPLETIONS	680.00	1	680.00
	Transmitted To Hub -> Claim File Review Complete						
CLM/2011/217456	5 DUDLEY STREET	Remedial Works - Primary	CLOSED OUT-Penny Homes (Christchurch) Limited (SA76)	NOT REQUIRED	0.00	0	0.00
	Transmitted To Hub -> Not Required - Over Cap Confirmed	OVERCAP CONFIRMED, SEE CMS FOR FILE NOTE (AR 27/4/17)					
CLM/2011/217456	5 DUDLEY STREET	Remedial Works - Specialist Contractor	Waghorn Builders Limited (S705)	NOT REQUIRED	0.00	0	0.00
	Transmitted To Hub -> Not Required - Information Only	SUBFLOOR ASSESS					
Property Total				30,092.59	30	36,927.16	36,927.16

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Cont Managing Hub:	<MULTIPLE>	VULNERABLE	Property F3'd By:	Bruce Norton	F3 Completed Date:	26-05-2017

Works Orders

EQC Claim Number	WO Number	Assignment	Subcontractor	Workflow Status	Issuing QS	WO Status	Issued Date	Works Order Value
CLM/2011/217456	E023-00321	Substantive Works - Specialist Contractor - 16-May-2013	CLOSED OUT-SimOcc Consulting Limited ***** (SF77)	COMPLETIONS	Michael Rogers	Issued	16/05/2013	571.80
CLM/2011/217456	E023-00548	Substantive Works - Primary - 27-Jan-2012	CLOSED OUT-Maintain Canterbury Limited ***** (S241)	COMPLETIONS	Stephen Power	Issued	17/06/2013	25,948.79
CLM/2011/217456	E023-00825	Substantive Works - Specialist Contractor - 18-Jul-2013	CLOSED OUT-Star World Limited t/a Decontamination Medix ***** (SE39)	COMPLETIONS	Richard Warnock	Issued	26/07/2013	680.00

Property Total **27,200.59**

Claims / Certs / Payables

S241 CLOSED OUT-Maintain Canterbury Limited *****										
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim			
CLM/2011/217456	Subst OB	Substantive Works	47	EQR\ChrisCh	\$0.00	12-Sep-2013	\$22,615.41			
CLM/2011/217456	Subst BV	Scope Addition	47	EQR\ChrisCh	\$0.00	12-Sep-2013	\$3,333.38			
CLM/2011/217456	Subst BV	Variation	65	EQR\ChrisCh	\$0.00	28-Nov-2013	\$419.67			
CLM/2011/217456	Subst BV	Variation	65	EQR\ChrisCh	\$0.00	28-Nov-2013	\$570.24			
CLM/2011/217456	Subst BV	Variation	65	EQR\ChrisCh	\$0.00	28-Nov-2013	\$1,416.28			
CLM/2011/217456	Subst BV	Variation	95	EQR\AndrewL	\$0.00	31-Mar-2014	\$4,460.18			
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes		
CLM/2011/217456	Subst OB	Substantive Works	51	EQR\ChrisCh	\$0.00	12-Sep-2013	\$22,615.41	Inv 01452		
CLM/2011/217456	Subst BV	Scope Addition	51	EQR\ChrisCh	\$0.00	12-Sep-2013	\$3,333.38	Inv 01452		
CLM/2011/217456	Subst BV	Variation	74	EQR\ChrisCh	\$0.00	28-Nov-2013	\$419.67	Inv 1452A		
CLM/2011/217456	Subst BV	Variation	74	EQR\ChrisCh	\$0.00	28-Nov-2013	\$570.24	Inv 1452A		
CLM/2011/217456	Subst BV	Variation	74	EQR\ChrisCh	\$0.00	28-Nov-2013	\$1,416.28	Inv 1452A		
CLM/2011/217456	Subst BV	Variation	104	EQR\AndrewL	\$0.00	03-Apr-2014	\$4,460.18	INV: 1452V		
S241	CLOSED OUT-Maintain Canterbury Limited ***** Total						Claims	\$32,815.16 Certs	\$32,815.16 Payables	\$0.00

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Main Contractor:	CLOSED OUT-Maintain Canterbury Limited ***** (S241)		Property F2'd By:	Bruce Norton	F2 Completed Date:	26-05-2017
Cont Managing Hub:	<MULTIPLE>	VULNERABLE	Property F3'd By:	Bruce Norton	F3 Completed Date:	26-05-2017

M000		Materials							
EQC Claim Num	Line Type	Approval Type	Transaction Type	Internal Ref	CAS Batch	CAS Date	Line Value	Invoice No	
CLM/2011/217456			Creditors Invoices	EQ1703010GE-03	11837	15-Mar-2017	\$500.00	6847	
M000	Materials Total					Claims	\$0.00 Certs	\$0.00 Payables	\$500.00

CONS		Consultants								
EQC Claim Num	Line Type	Approval Type	Transaction Type	Internal Ref	CAS Batch	CAS Date	Line Value	Invoice No		
CLM/2011/217456			GL Journal Entry	EQR TSR 29	5012	18-Apr-2013	\$600.00			
CLM/2011/217456			GL Journal Entry	EQR TSR 29	5012	18-Apr-2013	\$500.00			
CLM/2011/217456			GL Journal Entry	EQR TSR 231	10896	30-Jun-2016	\$500.00			
CLM/2011/217456			GL Journal Entry	EQR TSR 251	11465	18-Nov-2016	\$1,000.00			
CLM/2011/217456			GL Journal Entry	EQR TSR 251	11465	18-Nov-2016	\$1,000.00			
CLM/2011/217456			GL Journal Entry	EQR TSR 251	11465	18-Nov-2016	\$3,200.00			
CLM/2011/217456			GL Journal Entry	EQR TSR 251	11465	18-Nov-2016	\$600.00			
CLM/2011/217456			GL Journal Entry	EQR TSR 251	11465	18-Nov-2016	\$700.00			
CLM/2011/217456			GL Journal Entry	EQR TSR 273	11929	28-Apr-2017	\$750.00			
CONS	Consultants Total						Claims	\$0.00 Certs	\$0.00 Payables	\$8,850.00

S205	CLOSED OUT-Carrier Air Conditioning (NZ) Limited t/a AHI-Carrier (NZ) Ltd *****										
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim				
CLM/2010/027427	CleanH BV	CleanHeat Over (Delegated)	6	EQR\AndreR	\$0.00	24-May-2011	\$2,892.00				
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes			
CLM/2010/027427	CleanH BV	CleanHeat Over (Delegated)	6	EQR\AndreR	\$0.00	24-May-2011	\$2,892.00				
S205	CLOSED OUT-Carrier Air Conditioning (NZ) Limited t/a AHI-Carrier (NZ) Ltd ***** Total					Claims	\$2,892.00	Certs	\$2,892.00	Payables	\$0.00

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Cont Managing Hub:	<MULTIPLE>			VULNERABLE	Property F3'd By:	Bruce Norton	F3 Completed Date:	26-05-2017	
SF77	CLOSED OUT-SimOcc Consulting Limited *****								
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim		
CLM/2011/217456	Asbest Test BV	Scope Addition	5	EQR\EddieO	\$0.00	29-May-2013	\$571.80		
CLM/2011/217456	Asbest Test BV	Scope Addition	5	EQR\EddieO	\$0.00	29-May-2013	-\$31.80		
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes	
CLM/2011/217456	Asbest Test BV	Scope Addition	5	EQR\EddieO	\$0.00	29-May-2013	\$571.80	Inv 0343	
CLM/2011/217456	Asbest Test BV	Scope Addition	5	EQR\EddieO	\$0.00	29-May-2013	-\$31.80	Inv 0343	
SF77	CLOSED OUT-SimOcc Consulting Limited ***** Total					Claims	\$540.00 Certs	\$540.00 Payables	\$0.00
SE39	CLOSED OUT-Star World Limited t/a Decontamination Medix *****								
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim		
CLM/2011/217456	Liquef Rem BV	Emergency Works	15	EQR\PatrickT	\$0.00	15-Aug-2013	\$680.00		
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes	
CLM/2011/217456	Liquef Rem BV	Emergency Works	15	EQR\PatrickT	\$0.00	15-Aug-2013	\$680.00	inv-0483	
SE39	CLOSED OUT-Star World Limited t/a Decontamination Medix ***** Total					Claims	\$680.00 Certs	\$680.00 Payables	\$0.00
Property Total						Claims	\$36,927.16 Certs	\$36,927.16 Payables	\$9,350.00

No Open Complaints / Remedial Issues on this Property

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Finalisation Documents

EQC Claim Number	Document Type	Hub Zone	File Last Modified Date
CLM/2011/217456	Defects Liability Certificate		18/07/2015
CLM/2011/217456	Final Account Agreement	Priority Hub	04/12/2013
CLM/2011/217456	Defects Liability Certificate	Priority Hub	27/10/2014
CLM/2011/217456	Construction Completion Inspection	Priority Hub	30/08/2013
CLM/2011/217456	Practical Completion Certificate (PCC)	Priority Hub	08/11/2013
CLM/2011/217456	Defects Liability Certificate	Priority Hub	25/06/2014

Property Total **Finalisation Documents Present:** **6**

Technical Services Referrals

EQC Claim Number	Referral Type	Assignment	Technical Status	Workflow Status	Engineer	Engineer Visit	Gross Recharges
CLM/2011/217456	EQR Claim	Substantive Works - Primary - 27-Jan-2012	Not Required	COMPLETE - NO ACTION	<UNALLOCATED >		0.00
CLM/2011/217456	EQR Claim	Substantive Works - Primary - 27-Jan-2012	PROBLEM: POSSIBLE OVERCAP Complete - Level 2	COMPLETE - ACTION REQUIRED	David Quinn	12/04/2013	1,100.00
CLM/2011/217456	EQR Claim	Remedial Works - Primary - 29-Oct-2015	eng advised that during s/a h/o son was difficult - DQ Not Required	COMPLETE - NO ACTION	<UNALLOCATED >		500.00
CLM/2011/217456	EQR Claim	Remedial Works - Primary - 29-Oct-2015	Complete - Level 2	COMPLETE - ACTION REQUIRED	Mike Christie	14/10/2016	7,250.00

Property Total **8,850.00**

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Asbestos Test Information

EQC Claim Number	Claim Address	Asbestos Test Required?	Asbestos Test Result			
CLM/2010/027427	5 DUDLEY STREET	<NOT SPECIFIED>	<NOT SPECIFIED>			
CLM/2011/051978	5 DUDLEY STREET	<NOT SPECIFIED>	<NOT SPECIFIED>			
CLM/2011/217456	5 DUDLEY STREET	Yes	Negative			

Property Total	Number of Claims:	3
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Contractors

Contractor	Accreditation Status	Accreditation Number	Classification	Type of Work on the Property	
S241 CLOSED OUT-Maintain Canterbury Limited *****	Accredited	EQRC0313	Main Contractor	Substantive Works	
S705 Waghorn Builders Limited	Accredited	EQRC1109	Main Contractor	Remedial Works	
SF77 CLOSED OUT-SimOcc Consulting Limited *****	Deaccredited	SPLA6728	Specialist Subcontractor	Substantive Works	
SA76 CLOSED OUT-Penny Homes (Christchurch) Limited	Accredited	EQRC0804	Main Contractor	Remedial Works	
S205 CLOSED OUT-Carrier Air Conditioning (NZ) Limited t/a AHI-Carrier (NZ) Ltd *****	Rationalised	Heating	Heating Contractor	Clean Heat Works	
SE39 CLOSED OUT-Star World Limited t/a Decontamination Medix *****	Accredited	SPL6519	Specialist Subcontractor	Substantive Works	

Property Total	Number of Contractors:	6
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Scope of Works



Document explanatory note:

This document provides a summary of the earthquake damage identified by the EQC assessment team. Land, building and room by room damage is listed along with an indication of how this damage is to be repaired. A glossary of terms describing the type of damage that may be listed on your Scope of Works is provided at the end of this document.

Customer: C CUTHBERTSON

Assessment of Property at 5 DUDLEY STREET, RICHMOND, CHRISTCHURCH 8013 on 21/08/2011

Site

Element	Damage	Repair	
Land (Exposed - Soil - 400.00 m2)			
Land (Under dwelling - Soil - 115.00 m2)	Liquefaction under dwelling	Remove contaminated liquefaction from under house	0.30 m3

Services

Element	Damage	Repair	
Electrical/Power (Grid Over Head - Wire - 8.00 l/m)	No Earthquake Damage		
Sewerage (Town Connection - Clay pipes - 8.00 l/m)	No Earthquake Damage		
Telephone/Data (Land Line - Copper - 8.00 l/m)	No Earthquake Damage		
Water Supply (Town Connection - Steel - 8.00 l/m)	No Earthquake Damage		

Main Building

Exterior

Foundations (Concrete Ring Beam with Concrete Piles)

Element	Damage	Repair	
Piles (Ordinary - Timber - 1.00 item)	Floor has moved less than 100mm	Lift house and Repile (DOESNT INCLUDE RING FOUNDATION)	108.10 m2
Ring foundation (Load bearing - Concrete - 45.40 l/m)	Foundation settlement	Remove, dispose, replace ring foundation	45.40 l/m

Roof (Concrete tiles)

Element	Damage	Repair	
No Damage			

Elevation (North wall 11.2m x 2.75m)

Element	Damage	Repair	
Carport (Stand alone - Steel - 10.14 m2)	No Earthquake Damage		
Wall Cladding (Cement Board - Brickolite - 30.80 m2)	Structural damage	Replace Brickolite with textured cladding	30.79 m2
Wall framing (Timber Frame - Timber - 26.88 m2)	No Earthquake Damage		

Elevation (South wall 11,2m x 2,75m)

Element	Damage	Repair	
Wall Cladding (Cement Board - Brickolite - 30.80 m2)	Structural damage	Replace Brickolite with textured cladding	30.79 m2
Wall framing (Timber Frame - Timber - 26.88 m2)	No Earthquake Damage		

Elevation (East wall 11,5m x 2,75m)

Element	Damage	Repair	
Wall Cladding (Cement Board - Brickolite - 31.63 m2)	Structural damage	Replace Brickolite with textured cladding	31.62 m2
Wall framing (Timber Frame - Timber - 27.60 m2)	No Earthquake Damage		

Elevation (West wall 11,5m x 2,75m)

Element	Damage	Repair	
Conservatory (Timber - Glass - .84 m2)	Impact damage	Remove broken and replace 4mm float glass	0.16 m2
Wall Cladding (Cement Board - Brickolite - 31.63 m2)	Structural damage	Replace Brickolite with textured cladding	31.62 m2
Wall framing (Timber Frame - Timber - 27.60 m2)	No Earthquake Damage		

Interior**Ground Floor - Kitchen (Kitchen / Dining)**

Room Size: 7.07 x 3.50 = 24.75 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Softboard - Paint - 24.75 m2)	No Earthquake Damage		
Door (External) (Sliding / Ranch sliding door - Aluminium - 1.00 item)	No Earthquake Damage		
Door (Internal) (Single Hollow Core - Timber - 1.00 No of)	No Earthquake Damage		
Floor (T&G - Carpet - 24.75 m2)	No Earthquake Damage		
Heating (Wood - Wood burner - 1.00 item)	No Earthquake Damage		
Hob (Electric - Standard Spec - 1.00 item)	No Earthquake Damage		
Kitchen joinery (Medium Spec - Timber - 1.00 item)	No Earthquake Damage		
Range (Free standing oven) (Electric - Standard Electric - 1.00 item)	No Earthquake Damage No Earthquake Damage		
Wall covering (Gib - Wallpaper - 50.74 m2)	Cosmetic damage	Remove, rake out, plaster, supply and replace wallpaper	20.00 m2
	Cosmetic damage	Rake out, plaster and paint	20.00 m2
Window (Aluminium Sliding - Pane single glazed - 1.00 No of)	No Earthquake Damage		
Window (Timber medium - Pane single glazed - 1.00 No of)	No Earthquake Damage No Earthquake Damage		
Work top (Kitchen work top - Laminate - 3.50 l/m)	No Earthquake Damage		

Ground Floor - Hallway

Room Size: 0.95 x 2.86 = 2.72 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Hardboard - Paint - 2.72 m2)	Cosmetic Damage	Gap fill and paint	2.72 m2
Door (External) (Single glass door - Timber - 1.00 item)	No Earthquake Damage		

Door (Internal) (Glass panel door - Timber - No Earthquake Damage
1.00 No of)

Floor (T&G - Vinyl - 2.72 m2) No Earthquake Damage

Wall covering (Hardboard - Paint - 18.29 m2) No Earthquake Damage

Ground Floor - Lounge

Room Size: 5.17 x 3.70 = 19.13 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Lath and Plaster - Paint - 19.13 m2)	Cosmetic Damage	Rake out plaster repair (lath and plaster cracks)	4.00 l/m
	Cosmetic Damage	Paint Ceiling	19.13 m2
Door (Internal) (Single Hollow Core - Timber - 1.00 No of)	No Earthquake Damage		
Floor (T&G - Carpet - 19.13 m2)	No Earthquake Damage		
Heating (Electric - Heat pump - 1.00 item)	No Earthquake Damage		
One story chimney (Single Pot - Brick - 1.00 item)	Collapsed chimney	INT - Brick - Ceiling - 1 POT	1.00 item
Wall covering (Gib - Wallpaper - 42.58 m2)	Cosmetic damage	Remove, rake out, plaster, supply and replace wallpaper	42.58 m2
Window (Timber medium - Pane single glazed - 3.00 No of)	No Earthquake Damage		

Ground Floor - Bedroom (Southeast corner)

Room Size: 3.60 x 3.70 = 13.32 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.60 m

Element	Damage	Repair	
Ceiling (Lath and Plaster - Stipple - 13.32 m2)	No Earthquake Damage		
Door (Internal) (Single Hollow Core - MDF - 1.00 No of)			
Floor (T&G - Carpet - 13.32 m2)	No Earthquake Damage		
Wall covering (Lath & Plaster - Wallpaper - 37.96 m2)	Cosmetic damage	Remove, rake out, plaster, supply and replace wallpaper	37.96 m2
Window (Timber Large - Pane single glazed - 1.00 No of)	No Earthquake Damage		
Window (Timber small - Pane single glazed - 1.00 No of)	No Earthquake Damage		

Ground Floor - Bedroom (Master)

Room Size: 3.70 x 4.30 = 15.91 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.60 m

Element	Damage	Repair	
Ceiling (Lath and Plaster - Stipple - 15.91 m2)	Cosmetic Damage	Rake out plaster repair (lath and plaster cracks)	10.00 l/m
	Cosmetic Damage	Paint Ceiling	15.91 m2
Door (Internal) (Single Hollow Core - MDF - 1.00 No of)	No Earthquake Damage		
Floor (T&G - Carpet - 15.91 m2)	No Earthquake Damage		
Wall covering (Lath & Plaster - Wallpaper - 41.60 m2)	Cosmetic damage	Remove, dispose and replace wallpaper and paint	41.60 m2
Window (Timber Large - Pane single glazed - 1.00 No of)	No Earthquake Damage		
Window (Timber small - Pane single glazed - 1.00 No of)	No Earthquake Damage		

Ground Floor - Bathroom

Room Size: 2.18 x 2.20 = 4.80 (length(m) x width(m) = Area Size(m²))

Stud Height: 2.40 m

Element	Damage	Repair
No Damage		

Ground Floor - Hallway (Entry)

Room Size: 1.50 x 3.90 = 5.85 (length(m) x width(m) = Area Size(m²))

Stud Height: 2.60 m

Element	Damage	Repair	
Ceiling (Lath and Plaster - Stipple - 5.85 m ²)	Cosmetic Damage	Rake out plaster repair (lath and plaster cracks)	4.00 l/m
	Cosmetic Damage	Paint Ceiling	5.85 m ²
Door (External) (Single glass door - Timber - 1.00 item)	No Earthquake Damage		
Door (Internal) (Single Hollow Core - Timber - 1.00 No of)	Cosmetic damage	Replace door hardware at hall closet	
Floor (T&G - Carpet - 5.85 m ²)	No Earthquake Damage		
Wall covering (Lath & Plaster - Wallpaper - 28.08 m ²)	Cosmetic damage	Remove, rake out, plaster, supply and replace wallpaper	9.72 m ²

Ground Floor - Laundry

Room Size: 1.75 x 2.33 = 4.08 (length(m) x width(m) = Area Size(m²))

Stud Height: 2.40 m

Element	Damage	Repair
No Damage		

Ground Floor - Toilet

Room Size: 1.67 x 0.88 = 1.47 (length(m) x width(m) = Area Size(m²))

Stud Height: 2.40 m

Element	Damage	Repair
No Damage		

Scope of Works - Glossary of Terms

Cosmetic Damage	Cosmetic damage is used to record repairs to an element that can be done in situ e.g. minor cracking to plasterboard. For example a repair strategy may state "rake, stop and paint" and this is carried out without needing to remove or replace the damaged element. Where the plasterboard for example needs to be removed and replaced, this will be recorded as 'structural damage'.
Impact Damage	Impact damage is where an element or part of a building sustains earthquake damage and then breaks away or collapses causing damage to another part of the building. An example is a chimney that has collapsed and caused damage to roof tiles.
Structural Damage	The term structural damage is used where a repair requires an element to be removed and replaced e.g. major cracking to plasterboard or external cladding that has been dislodged. This term does not relate to the structural integrity of the building as a whole, but to the individual element only.

Additional Information

Building Terms	The Department of Building and Housing website has a comprehensive list of common building terms: http://www.dbh.govt.nz/building-az-wxyz
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EQC Full Assessment Report

Claim Number: CLM/2011/217456
Claimant: C CUTHBERTSON
Property Address: 5 DUDLEY STREET
 RICHMOND
 CHRISTCHURCH 8013

Assessment Date: 21/08/2011 17:54
Assessor: Holwood, Jay
Estimator: Pou, Francis
Property Occupied By: Owner Occupied

Claimant Setup

Type	Name	Home Number	Mobile Number	Work Number	Email Address
Owner	C, CUTHBERTSON				

Insurance & Mortgage Details**Insurance Details - From Claim Centre**

Insurer	Policy Type	Policy Number	Insurance Sighted	Insurance Valid
IAG - State/Norwich Group	Dwelling			
IAG - State/Norwich Group	Contents			

Insurance Details - Added in COMET

Insurer	Policy Type	Policy Number	Insurance Sighted	Insurance Valid
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Insurance Details - Comments**Mortgage Details - From Claim Centre**

Bank

Mortgage Details - Added in COMET

Bank

Mortgage Details - Comments**Opt Out**

For repairs costing between \$10,000 and \$100,000 the claimant wishes to manage their own repairs? No

Hazards

Hazards: Nil
Property Sticker: No Sticker

Building Configurations

Leaky Home Syndrome? No

Building Name	Number of floors	Building Finish	Age of house	Footprint	Area (m2)
Main Building	1	Standard	1935 - 1960	Rectangular	94.78

Full Assessment

Site

Element	Type	Material	Damages	Measure	Rate	Cost
Land	Exposed	Soil	No Earthquake Damage			
Land	Under dwelling	Soil	Liquefaction under dwelling			
			Remove contaminated liquefaction from under house	0.30 m3	550.00	165.00

General Comments: Very minor liquefaction on the outside of dwelling

Services

Element	Type	Material	Damages	Measure	Rate	Cost
Electrical/Power	Grid Over Head	Wire	No Earthquake Damage			
Sewerage	Town Connection	Clay pipes	No Earthquake Damage			
Telephone/Data	Land Line	Copper	No Earthquake Damage			
Water Supply	Town Connection	Steel	No Earthquake Damage			

General Comments:

Main Building

Exterior

Foundations (Concrete Ring Beam with Concrete Piles)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Piles	Ordinary	Timber	Floor has moved less than 100mm			
			Lift house and Repile (DOESNT INCLUDE RING FOUNDATION)	108.10 m2	262.00	28,322.20
Ring foundation	Load bearing	Concrete	Foundation settlement			
			Remove, dispose, replace ring foundation	45.40 l/m	290.00	13,166.00

General Comments: The Dwelling falls South to North 65mm over 10.2m

Roof (Concrete tiles)

Damage: No damage

Require Scaffolding? No

General Comments: The roof is a full hip and valley pitched roof with concrete tiles
Soffits; 450 Wide Match lined T&G
Fascia; 150 x 25mm Timber
Gutters; 100 Marley PVC
Downpipes; 3 x 75mm round PVC @ 3m

Elevation (North wall 11.2m x 2.75m)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Carport	Stand alone	Steel	No Earthquake Damage			
Wall Cladding	Cement Board	Brickolite	Structural damage			
			Replace Brickolite with textured cladding	30.79 m2	200.00	6,158.00
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments: Brickolite Panels

Elevation (South wall 11,2m x 2,75m)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Cement Board	Brickolite	Structural damage			
			Replace Brickolite with textured cladding	30.79 m2	200.00	6,158.00
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments: Brickolite Panels**Elevation (East wall 11,5m x 2,75m)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Cement Board	Brickolite	Structural damage			
			Replace Brickolite with textured cladding	31.62 m2	200.00	6,324.00
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments: Brickolite Panels**Elevation (West wall 11,5m x 2,75m)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Conservatory	Timber	Glass	Impact damage			
			Remove broken and replace 4mm float glass	0.16 m2	360.00	57.60
Wall Cladding	Cement Board	Brickolite	Structural damage			
			Replace Brickolite with textured cladding	31.62 m2	200.00	6,324.00
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments: Brickolite Panels**Ground Floor - Kitchen (Kitchen / Dining)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Softboard	Paint	No Earthquake Damage			
Door (External)	Sliding / Ranch sliding door	Aluminium	No Earthquake Damage			
Door (Internal)	Single Hollow Core	Timber	No Earthquake Damage			
Floor	T&G	Carpet	No Earthquake Damage			
Heating	Wood	Wood burner	No Earthquake Damage			
Hob	Electric	Standard Spec	No Earthquake Damage			
Kitchen joinery	Medium Spec	Timber	No Earthquake Damage			
Range (Free standing oven)	Electric	Standard Electric	No Earthquake Damage			
Wall covering	Gib	Wallpaper	Cosmetic damage			
			Remove, rake out, plaster, supply and replace wallpaper	20.00 m2	43.00	860.00
			Cosmetic damage			
			Rake out, plaster and paint	20.00 m2	34.00	680.00
Window	Aluminium Sliding	Pane single glazed	No Earthquake Damage			
Window	Timber medium	Pane single glazed	No Earthquake Damage			
			No Earthquake Damage			
Work top	Kitchen work top	Laminate	No Earthquake Damage			

General Comments: large ranch slider
Half the room wallpapered . Paper only 3 walls
Half the room vinyl other carpet
Large cupboard area.

Ground Floor - Hallway**Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Hardboard	Paint	Cosmetic Damage			
			Gap fill and paint	2.72 m2	34.00	92.48

Door (External)	Single glass door	Timber	No Earthquake Damage
Door (Internal)	Glass panel door	Timber	No Earthquake Damage
Floor	T&G	Vinyl	No Earthquake Damage
Wall covering	Hardboard	Paint	No Earthquake Damage

General Comments:**Ground Floor - Lounge****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Lath and Plaster	Paint	Cosmetic Damage			
			Rake out plaster repair (lath and plaster cracks)	4.00 l/m	25.00	100.00
			Cosmetic Damage			
			Paint Ceiling	19.13 m2	24.00	459.12
Door (Internal)	Single Hollow Core	Timber	No Earthquake Damage			
Floor	T&G	Carpet	No Earthquake Damage			
Heating	Electric	Heat pump	No Earthquake Damage			
One story chimney	Single Pot	Brick	Collapsed chimney			
			INT - Brick - Ceiling - 1 POT	1.00 item	3,725.00	3,725.00
Wall covering	Gib	Wallpaper	Cosmetic damage			
			Remove, rake out, plaster, supply and replace wallpaper	42.58 m2	43.00	1,830.94
Window	Timber medium	Pane single glazed	No Earthquake Damage			

General Comments: Heat pump has been installed by EECA**Ground Floor - Bedroom (Southeast corner)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Lath and Plaster	Stipple	No Earthquake Damage			
Door (Internal)	Single Hollow Core	MDF				
Floor	T&G	Carpet	No Earthquake Damage			
Wall covering	Lath & Plaster	Wallpaper	Cosmetic damage			
			Remove, rake out, plaster, supply and replace wallpaper	37.96 m2	43.00	1,632.28
Window	Timber Large	Pane single glazed	No Earthquake Damage			
Window	Timber small	Pane single glazed	No Earthquake Damage			

General Comments:**Ground Floor - Bedroom (Master)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Lath and Plaster	Stipple	Cosmetic Damage			
			Rake out plaster repair (lath and plaster cracks)	10.00 l/m	25.00	250.00
			Cosmetic Damage			
			Paint Ceiling	15.91 m2	24.00	381.84
Door (Internal)	Single Hollow Core	MDF	No Earthquake Damage			
Floor	T&G	Carpet	No Earthquake Damage			
Wall covering	Lath & Plaster	Wallpaper	Cosmetic damage			
			Remove, dispose and replace wallpaper and paint	41.60 m2	67.00	2,787.20
Window	Timber Large	Pane single glazed	No Earthquake Damage			
Window	Timber small	Pane single glazed	No Earthquake Damage			

General Comments:

Ground Floor - Bathroom**Damage:** No damage**Require Scaffolding?** No**General Comments:****Ground Floor - Hallway (Entry)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Lath and Plaster	Stipple	Cosmetic Damage			
			Rake out plaster repair (lath and plaster cracks)	4.00 l/m	25.00	100.00
			Cosmetic Damage			
			Paint Ceiling	5.85 m2	24.00	140.40
Door (External)	Single glass door	Timber	No Earthquake Damage			
Door (Internal)	Single Hollow Core	Timber	Cosmetic damage			
			Replace door hardware at hall closet	120.00 \$	0.00	120.00
Floor	T&G	Carpet	No Earthquake Damage			
Wall covering	Lath & Plaster	Wallpaper	Cosmetic damage			
			Remove, rake out, plaster, supply and replace wallpaper	9.72 m2	43.00	417.96

General Comments: wood panneling at walls to 1.7h wallpaper .9h**Ground Floor - Laundry****Damage:** No damage**Require Scaffolding?** No**General Comments:** Ceratone ceilings and walls
Vinyl / T&G floor**Ground Floor - Toilet****Damage:** No damage**Require Scaffolding?** No**General Comments:****Fees****Fees**

Name	Duration	Estimate
Council fees - External alterations & additions	1.00	1,300.00
Engineers report	1.00	3,555.00
Contents movement fee	1.00	379.14

Overheads

Name	Estimate
Preliminary and general	6,420.16
Margin	9,190.63
GST	15,164.54

Scope Of Works Estimate

Property

Description	Estimate
Site	165.00
Services	0.00
	165.00

Main Building

Name	Description	Estimate
Exterior	Foundations (Concrete Ring Beam with Concrete Piles)	41,488.20
	Roof (Concrete tiles)	0.00
	Elevation (East wall 11,5m x 2,75m)	6,324.00
	Elevation (North wall 11.2m x 2.75m)	6,158.00
	Elevation (South wall 11,2m x 2,75m)	6,158.00
	Elevation (West wall 11,5m x 2,75m)	6,381.60
		66,509.80

Floor	Description	Estimate
Ground Floor	Bathroom	0.00
	Bedroom (Master)	3,419.04
	Bedroom (Southeast corner)	1,632.28
	Hallway	92.48
	Hallway (Entry)	778.36
	Kitchen (Kitchen / Dining)	1,540.00
	Laundry	0.00
	Lounge	6,115.06
	Toilet	0.00
		13,577.22

	13,577.22
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Fees

Description	Estimate
Council fees - External alterations & additions	1,300.00
Engineers report	3,555.00
Contents movement fee	379.14
	5,234.14

Overheads

Description	Estimate
Preliminary and general	6,420.16
Margin	9,190.63
GST	15,164.54
	30,775.34

Total Estimate	116,261.49
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Inspection Sign Off

Description	Answer	comments
Contents Damage		
Has the contents schedule been left with claimant?	No	
Have the contents been sighted?	No	
Land Damage		
Is there land damage?	No	
Landslip damage has been assessed on paper	No	
Was a full inspection done?		
In roof space	Yes	
On roof?	Yes	
Under sub floor?	Yes	
Decline Claim		
Recommend Declining Claim	No	
Next Action:		
Over Cap forward to Insurance Company		

Previous Claim Numbers (recorded manually in field)

File Notes

Date Created: 25/01/2012 01:51
Created : Administrator, Alchemy
Subject: COMET sent to EQR on 25/01/2012
Note: COMET sent to EQR on 25/01/2012
Next Action:

Urgent Works Items

* Asbestos tests
* Electrical tests

EQC Claim Assessment

Address	5 DUDLEY STREET, RICHMOND, CHRISTCHURCH, 8013	EQC Claim Number	CLM/2011/217456
Hazards	Nil	EQC Assessor (L,F)	Holwood, Jay
Inspection Date	21-Aug-2011	Placard	No Sticker
		EQC Estimator (L,F)	Pou, Francis

Claimants				
Name	Home Phone	Work Phone	Mobile Phone	Email Address
CUTHBERTSON C			64	

3/4 underfloor Access points → Carpet # lift & relay Master bedrooms lounge & Hallway.

Property Detail - Services		
Element	Description / Damage / Repair Strategy	Measure
Water Supply	Town Connection, Steel	8 m
Sewerage	Town Connection, Clay pipes	8 m
Electrical/Power	Grid Over Head, Wire	8 m
Telephone/Data	Land Line, Copper	8 m

Property Detail - Site		
Element	Description / Damage / Repair Strategy	Measure
Land	Exposed, Soil	400 m2
Land	Under dwelling, Soil	115 m2

Liquefaction under dwelling

Remove contaminated liquefaction from under house 0.3 m3

To be checked when work begins.

MAIN BUILDING	Age 1935 - 1960	Area 94.8m2	Footprint Rectangular
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Structure

Element	Description / Damage / Repair Strategy	Measure
Elevation (North wall 11.2m x 2.75m)		
Wall framing	Timber Frame, Timber (26.88 m2)	
Wall cladding	Cement Board, Brickolite (30.80 m2)	
	Structural damage	
	Replace Brickolite with textured cladding	30.79 m2
Carport	Stand alone, Steel (10.14 m2)	

Exterior walls Cash Settle → From Guy.

Comments: Brickolite Panels

Element	Description / Damage / Repair Strategy	Measure
Elevation (South wall 11.2m x 2.75m)		
Wall framing	Timber Frame, Timber (26.88 m2)	
Wall cladding	Cement Board, Brickolite (30.80 m2)	
	Structural damage	
	Replace Brickolite with textured cladding	30.79 m2

Comments: Brickolite Panels

Element	Description / Damage / Repair Strategy	Measure
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EQC Claim Number CLM/2011/217456

Elevation (East wall 11,5m x 2,75m)

Wall framing	Timber Frame, Timber (27.60 m2)	
Wall cladding	Cement Board, Brickolite (31.63 m2)	
	Structural damage	
	Replace Brickolite with textured cladding	31.62 m2

Comments: Brickolite Panels

Element	Description / Damage / Repair Strategy	Measure
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Elevation (West wall 11,5m x 2,75m)

Wall framing	Timber Frame, Timber (27.60 m2)	
Wall cladding	Cement Board, Brickolite (31.63 m2)	
	Structural damage	
	Replace Brickolite with textured cladding	31.62 m2
Conservatory	Timber, Glass (0.84 m2)	
	Impact damage	
	Remove broken and replace 4mm float glass	0.16 m2

Comments: Brickolite Panels

Element	Description / Damage / Repair Strategy	Measure
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Foundations (Concrete Ring Beam with Concrete Piles)

Piles	Ordinary, Timber (1.00 Item)	
	Floor has moved less than 100mm	
	Lift house and Repile (DOESNT INCLUDE RING FOUNDATION)	108.1 m2
Ring foundation	Load bearing, Concrete (45.40 m)	
	Foundation settlement	
	Remove, dispose, replace ring foundation	45.4 m

Comments: The Dwelling falls South to North 65mm over 10.2m

Element	Description / Damage / Repair Strategy	Measure
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Roof (Concrete tiles)

Comments: The roof is a full hip and valley pitched roof with concrete tiles □ Soffits; 450 Wide Match lined T&G □ Fascia; 150 x 25mm Timber □ Gutters; 100 Marley PVC □ Downpipes; 3 x 75mm round PVC @ 3m

Ground Floor

Room / Element	Description / Damage / Repair Strategy	Measure
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Kitchen Kitchen / Dining (L=3.5m W=7.1m H=2.4m)

Window	Aluminium Sliding, Pane single glazed (1.00 No of)	
Range (Free standing oven)	Electric, Standard Electric (1.00 Item)	
Range (Free standing oven)	Electric, Standard Electric (1.00 Item)	
Hob	Electric, Standard Spec (1.00 Item)	
Wall covering	Gib, Wallpaper (50.74 m2)	
	Cosmetic damage	
	Rake out, plaster and paint	20 m2
	Remove, rake out, plaster, supply and replace wallpaper	20 m2
Work top	Kitchen work top, Laminate (3.50 m)	

EQC Claim Number CLM/2011/217456

Kitchen joinery	Medium Spec, Timber (1.00 Item)	<i>Ease 2 Cupboard door & Patch paint.</i>
Door (Internal)	Single Hollow Core, Timber (1.00 No of)	
Door (External)	Sliding / Ranch sliding door, Aluminium (1.00 Item)	
Ceiling	Softboard, Paint (24.75 m2)	
Floor	T&G, Carpet (24.75 m2)	
Window	Timber medium, Pane single glazed (1.00 No of)	
Window	Timber medium, Pane single glazed (1.00 No of)	
Heating	Wood, Wood burner (1.00 Item)	

Room - Comments: large ranch slider ☐ Half the room wallpapered . Paper only 3 walls ☐ Half the room vinyl other carpet ☐ Large cupboard area.

Room - Additional Notes: *Paint internal door surround frame.*

Hallway (L=2.9m W=1.0m H=2.4m)

Door (Internal)	Glass panel door, Timber (1.00 No of)	<i>Carpet</i>
Ceiling	Hardboard, Paint (2.72 m2)	
	Cosmetic Damage <i>1m</i>	
	Gap fill and paint	2.72 m2 ✓
Wall covering	Hardboard, Paint (18.29 m2)	<i>Gap fill 1m.</i>
Door (External)	Single glass door, Timber (1.00 Item)	
Floor	T&G, Vinyl (2.72 m2)	

Room - Additional Notes:

Lounge (L=3.7m W=5.2m H=2.4m)

Heating	Electric, Heat pump (1.00 Item)	<i>Asbestos test Ceiling & walls. / Carpet</i>
Wall covering	Gib, Wallpaper (42.58 m2)	
	Cosmetic damage <i>dispose.</i>	
	Remove <i>Paint.</i> rake out, plaster, supply and replace wallpaper	42.58 m2 ✓
Ceiling	Lath and Plaster, Paint (19.13 m2)	
	Cosmetic Damage	
	Paint Ceiling	19.13 m2 ✓
	Rake out plaster repair (lath and plaster cracks)	4 m ✓
Door (Internal)	Single Hollow Core, Timber (1.00 No of)	
One story chimney	Single Pot, Brick (1.00 Item)	
	Collapsed chimney	<i>Already done.</i>
	INT - Brick - Ceiling - 1 POT.	1 Item
Floor	T&G, Carpet (19.13 m2)	
Window	Timber medium, Pane single glazed (3.00 No of)	

Room - Comments: Heat pump has been installed by EECA

Room - Additional Notes:

Bedroom Southeast corner (L=3.7m W=3.6m H=2.6m)

Wall covering	Lath & Plaster, Wallpaper (37.96 m2)
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PTO

EQC Claim Number CLM/2011/217456

	Cosmetic damage	Remove, rake out, plaster, supply and replace wallpaper <i>& Paint.</i>	37.96 m2	✓
Ceiling	Lath and Plaster, Stipple (13.32 m2)			
Door (Internal)	Single Hollow Core, MDF (1.00 No of)			
Floor	T&G, Carpet (13.32 m2)			
Window	Timber Large, Pane single glazed (1.00 No of)			
Window	Timber small, Pane single glazed (1.00 No of)			

Room - Additional Notes:

Bedroom Master (L=4.3m W=3.7m H=2.6m)

Wall covering	Lath & Plaster, Wallpaper (41.60 m2)			
	Cosmetic damage	<i>Rake out, plaster,</i>		
	Remove, dispose and replace wallpaper and paint		41.6 m2	✓
Ceiling	Lath and Plaster, Stipple (15.91 m2)			
	Cosmetic Damage			
	<i>Remove, dispose, GIB, Plaster & Cornice.</i>	Paint Ceiling	15.91 m2	✓
		Rake out plaster repair (lath and plaster cracks)	10 m	
Door (Internal)	Single Hollow Core, MDF (1.00 No of)			
Floor	T&G, Carpet (15.91 m2)			
Window	Timber Large, Pane single glazed (1.00 No of)			
Window	Timber small, Pane single glazed (1.00 No of)			

Room - Additional Notes:

Bathroom (L=2.2m W=2.2m H=2.4m)

Room - Additional Notes:

Hallway Entry (L=3.9m W=1.5m H=2.6m)

Wall covering	Lath & Plaster, Wallpaper (28.08 m2)			
	Cosmetic damage <i>dispose</i>	<i>& Paint</i>		
	Remove, rake out, plaster, supply and replace wallpaper		9.72 m2	✓
Ceiling	Lath and Plaster, Stipple (5.85 m2)			
	Cosmetic Damage			
	<i>Remove, dispose, skim</i>	Paint Ceiling	5.85 m2	✓
		Rake out plaster repair (lath and plaster cracks)	4 m	✓
Door (External)	Single glass door, Timber (1.00 Item)			
Door (Internal)	Single Hollow Core, Timber (1.00 No of)			
	Cosmetic damage			
	Replace door hardware at hall closet		120 Sum	✓
Floor	T&G, Carpet (5.85 m2)			

EQC Claim Number CLM/2011/217456

Room - Comments: wood panneling at walls to 1.7h wallpaper .9h

Room - Additional Notes:

Laundry (L=2.3m W=1.8m H=2.4m)

Room - Comments: Ceratone ceilings and walls□Vinyl / T&G floor

Room - Additional Notes:

Toilet (L=0.9m W=1.7m H=2.4m)

Room - Additional Notes:

End Of Assessment

Bathroom ok.

CLM/2011/217456 - Scope Change Summary

Scope Change Summary- Property Details

Claim Number	CLM/2011/217456	Hub Zone	Priority Hub
Contractor Name	Maintain Canterbury Limited	Supervisor	Michael Thornley
Property Address	5 DUDLEY STREET, RICHMOND	Main Contact Name	CATHERINE CUTHBERTSON
Customer name	THE BAXTER TRUST	Customer Email	[REDACTED]
Home Phone	[REDACTED]	Mobile Phone	
Created By	Michael Thornley (EQR)	Form Completed	15/05/2013 11:25:54 a.m.

This form is to record any scope changes or alternative repair methodologies to those described in the EQC assessment documentation. It is vital that for all amendments that 'photos' are taken to assist with the E.Q.C approval of the scope changes

Type of Scope Change	Room (Dimensions)	Element	Changes to Original EQC Scope	E.Q.C. Approval
	General		Scope was also completed with Guy from EQC based in the priority hub. All exterior walls shall be deleted from EQC Claim Assessment 2011/217456, to be cash settled for exterior elevations. New, 3 floor access hatches to be opened for floor leveling, hallway, lounge and master bedroom, following EQR Tech Hub report for floor leveling dated 1st May 2013. <i>190</i>	
Alternative Repair Strategy	Land	Floor	Delete, under dwelling, soil. May be VO'd once floor leveling work has begun and underfloor liquefaction can be inspected.	
Alternative Repair Strategy	Foundations	Floor	Delete, all Foundations work listed on EQC Claim Assessment 2011/217456 New, follow EQR Tech Hub report dated 1st May 2013 for Ring Foundation work, grind out and epoxy fill approx 3.6LM and patch plaster	
Alternative Repair Strategy	Kitchen	Walls	Delete, Rake out, Plaster & Paint 20m2 -Alt remove, rake out, plaster, supply and replace wallpaper +Alt Remove, dispose, rake out 3m, plaster & paint 20m2 New, ease 2 cupboard doors and patch paint plains, approx 1.5m New, scrape and paint internal door frame 5m	
Alternative Repair Strategy	Hallway	Walls, Ceiling, Floor	New, lift and relay carpet. -Alt: Gap Fill & Paint +Alt Gap Fill 1m & Paint 2.72m2 New, Gap fill 1m wall covering.	
Alternative Repair Strategy	Lounge	Walls	-Alt remove, rake out, plaster, supply and replace wallpaper +Alt Remove, dispose, rake out 2m, plaster & paint 20m2 Delete, one story chimney work as already undertaken. New, lift and relay carpet	
Alternative Repair Strategy	Bedroom south east corner	Walls	-Alt remove, rake out, plaster, supply and replace wallpaper +Alt Remove, dispose, rake out 2m, plaster & paint 37.96m2	
Alternative Repair Strategy, Additional Damage	Bedroom master	Walls, Ceiling, Floor	New, lift and relay carpet -Alt remove, dispose and replace wallpaper and paint +Alt Remove, dispose, rake out, plaster & paint 41.6m2 Delete, Rake out, Plaster repair 10m New, Remove lath and plaster, dispose, GIB, plaster & paint ceiling 15.91m2 New, remove and dispose ceiling cornice	
Alternative Repair Strategy	Hallway entry	Walls, Ceiling	-Alt remove, rake out, plaster, supply and replace wallpaper +Alt Remove, dispose, rake out, plaster & paint 9.72m2	

MS-SF0405



CLM/2011/217456 - Scope Change Summary

			-Alt paint ceiling +Alt Remove, dispose, skim and paint ceiling 5.85m2 -Alt replace door hardware at hall closet 120sum +Alt replace door hardware at hall closet 1 - New, lift and relay carpet	
--	--	--	--	--

Fletcher EQR has recorded the above scope changes to the EQC claim assessment at this property.

The above scope changes should be added to the EQC assessment for EQC to review/approve prior to confirmation with customer and issue of any Works Order.

EQR Contracts Supervisor:

Michael Thornley

15/05/2013

Name

Signature

Date

EQC Representative:

Name

Signature

15/05/2013

Date

G PUKE-MASON
SENIOR ESTIMATOR
EQC

MS-SF0405



CLM/2011/217456 - Scope Change Summary

Scope Change Summary- Property Details

Claim Number	CLM/2011/217456	Hub Zone	Priority Hub
Contractor Name	Maintain Canterbury Limited	Supervisor	Michael Thornley
Property Address	5 DUDLEY STREET, RICHMOND	Main Contact Name	CATHERINE CUTHBERTSON
Customer name	THE BAXTER TRUST	Customer Email	[REDACTED]
Home Phone	[REDACTED]	Mobile Phone	
Created By	Michael Thornley (EQR)	Form Completed	15/05/2013 12:30:40 p.m.

This form is to record any scope changes or alternative repair methodologies to those described in the EQC assessment documentation. It is vital that for all amendments that 'photos' are taken to assist with the E.Q.C approval of the scope changes

Type of Scope Change	Room (Dimensions)	Element	Changes to Original EQC Scope	E.Q.C Approval
	General	Walls, Ceiling	Property has to be officially inspected by an EQR approved Electrician.	✓

Fletcher EQR has recorded the above scope changes to the EQC claim assessment at this property.

The above scope changes should be added to the EQC assessment for EQC to review/approve prior to confirmation with customer and issue of any Works Order.

EQR Contracts Supervisor:

Michael Thornley

15/05/2013

Name

Signature

Date

EQC Representative:

Name

Signature

15/05/2013

Date

G PUKE-MASON
SENIOR ESTIMATOR
EQC



**MAINTAIN
CANTERBURY
LIMITED**

10 Birmingham Drive, Middelton
Christchurch 8025
03-929-0080
mike@maintaincanterbury.co.nz



Contract Quotation

Claim No:		2011/217456	Contractor	
Claimant:		Catherine Cuthbertson, [REDACTED]	Address:	
Site Location:		5 Dudley Street, Richmond, Christchurch 8013	Accreditation No:	
			Contractor Phone:	
			GST No:	
Date:		11/06/2013	Total Price (Incl. GST)	\$29,841.10

This Scope Change Summary should be read in conjunction with the EQC Statement of Claim.

The work described in this document covers the full scope of work stated in EQC Statement of Claim.

Rooms		Description of Work/s	Quantity	\$ Rate	EQC Scope Breakdown	EQC Scope Room Total	Scope Change
Lounge:		Walls Remove, dispose wallpaper, skim plaster walls	42.58	35.00	1,490.30		
	6	Walls Rake out plaster, repair lathe and plaster cracks	2	10.00	20.00		
	1	Walls Paint Wall	42.58	24.00	1,021.92		
		Ceiling Sand off milk and plaster stipple from middle of room	19.13	8.00	153.04		
	20	Ceiling Rake out and stop Lathe and Plaster - Ceiling	4	10.00	40.00		
	22	Ceiling Paint Ceiling	19.13	24.00	459.12		
		Trim Remove trim from ceiling and walls and dispose		4.55			
	43	Floor Lift and re-lay existing carpet	19.13	13.50	258.26		
						\$3,442.64	\$0.00
Lounge							
Kitchen:	2	Walls Remove, dispose wallpaper, skim plaster walls	20	35.00	700.00		
	6	Walls Rake out plaster, repair lathe and plaster cracks	3	10.00	30.00		
	1	Walls Paint Wall	20	24.00	480.00		
	37	Joinery Ease cupboard doors (1 x Hot Water Cylinder base, 1 x Left Hand Side mid of back of cupboards)	2	90.00	180.00		
	38	Door Paint external door frame	5	12.00	60.00		
						\$1,450.00	\$0.00
Dining Room:							
Bedroom 1:		Walls Remove, dispose wallpaper, skim plaster walls	41.6	35.00	1,490.30		
	1	Walls Paint Wall	41.6	24.00	1,021.92		
Master	25	Ceiling Remove lathe and plaster and replace with gib board and stop	15.91	125.00	1,988.75		
	22	Ceiling Paint Ceiling	15.91	24.00	381.84		
	43	Floor Lift and re-lay existing carpet	15.91	13.50	214.79		
						\$0.00	\$0.00

Contract Quotation

Rooms			Description of Work/s	Quantity	\$ Rate	EQC Scope Breakdown	EQC Scope Room Total	Scope Change
Bedroom 4:								
							\$0.00	\$0.00
Bedroom 5:								
							\$0.00	\$0.00
Ensuite:								
							\$0.00	\$0.00
Bathroom 1:								
							\$0.00	\$0.00
Bathroom 2:								
							\$0.00	\$0.00
Toilet 1:								
							\$0.00	\$0.00
Toilet 2:								
							\$0.00	\$0.00
Office/Study:								
							\$0.00	\$0.00
Rumpus:								
							\$0.00	\$0.00

Rooms		Description of Work/s	Quantity	\$ Rate	EQC Scope Breakdown	EQC Scope Room Total	Scope Change
Entry:		Walls Remove, dispose wallpaper, skim plaster walls	9.72	35.00	1,490.30		
	1	Walls Paint Wall	9.72	24.00	1,021.92		
		Ceiling Remove, dispose wallpaper, skim plaster walls	5.85	35.00	1,490.30		
	1	Ceiling Paint Wall	5.85	24.00	1,021.92		
		Door Replace door hardware at hall closet	1	160.00	160.00		
		Source at 'Knobs and Knockers' on Mandeville Street					
	43	Carpet Lift and re-lay existing carpet	5.85	13.50	78.98		
						\$5,263.42	\$0.00
Hallway: Rear of house off kitchen	43	Floor Lift and re-lay existing carpet	2.72	13.50	36.72		
	21	Ceiling Paint	2.72	24.00	65.28		
		Walls Gap fill - right hand side of back door (no paint)	1	8.00	8.00		
		Ceiling Gap fill	1	8.00	8.00		
						\$118.00	\$0.00
Stairwell:							
						\$0.00	\$0.00
Laundry:							
						\$0.00	\$0.00
Garage: Internal							
						\$0.00	\$0.00
Sunroom:							
						\$0.00	\$0.00
Other: sleepout							
						\$0.00	\$0.00
Roof:							
						\$0.00	\$0.00
External Walls: North							
						\$0.00	\$0.00

Rooms			Description of Work/s	Quantity	\$ Rate	EQC Scope Breakdown	EQC Scope Room Total	Scope Change
External Walls: South								
							\$0.00	\$0.00
External Walls: East								
							\$0.00	\$0.00
External Walls: West								
							\$0.00	\$0.00
Decks:								
							\$0.00	\$0.00
Chimney Base:								
							\$0.00	\$0.00
Chimney:								
							\$0.00	\$0.00
Other								
							\$0.00	\$0.00
Fireplace:								
							\$0.00	\$0.00
Foundation:	50	Ring	Grind out and epoxy fill cracks 0mm-5mm wide	3.6	120.00	432.00		
	52	Ring	Solid plaster repair	3.6	80.00	288.00		
							\$720.00	\$0.00

Rooms		Description of Work/s	Quantity	\$ Rate	EQC Scope Breakdown	EQC Scope Room Total	Scope Change
Piling:	Floor	3 Floor access hatches to be opened for floor levelling, hallway, lounge and master bedroom	3	300.00	900.00		
	49 Piles	As per Engineer's report - allowance for 30 x Jack and Packed piles and 2 x Notched piles	32	110.00	3,520.00		
						\$3,420.00	\$0.00
Scaffolding							
						\$0.00	\$0.00
						\$0.00	\$0.00
P&Gs		Please itemise P&G:					
		Commercial Clean			450.00		
		Project management - 25 days			1,125.00		
		Scoping and Estimating			200.00		
		Floor Protection			400.00		
		Rubbish removal			360.00		
		Daily site clean - 0.5 hours per day			562.50		
						\$3,097.50	

SUB TOTAL BEFORE MARGIN:		\$25,948.79	\$0.00
Margin (NB: Not calculated on P&G):	0.00%	\$0.00	

Subtotal (Excl. GST)	\$25,948.79
Add 15% GST	\$3,892.32
Total Incl. GST	\$29,841.10

Contractors Signature:	X	Contractors Name:	Mike Barnsley
		Company:	Maintain Canterbury Limited

Variation to Works Order



217456

Claim Number	CLM/2011/123802	Contractor Name	Maintain Canterbury Limited
Customer Name	Catherine Cuthbertson	Supervisor	Mike Thornley
Main Contact		Date	9/09/2013
Property Address	5 Dudley Street, Richm	Customer email	
Phone			

For all Variations please contact your Contract Supervisor before proceeding with any work.

This section must be filled out by the contractor in full with as much supporting information as possible: Descriptions, Repair Strategies, Quantities, Units, Rates, Photos where appropriate - The contractor must ensure the reason for the variation is clearly stated (For example - unforeseen additional scope required, alternative repair strategy required etc...) and that works to be undertaken have not been previously allowed for.

Section 1	Completed by Contractor
------------------	--------------------------------

Reason for Submitting a Variation

The carpet in the lounge, master bedroom and entry was required to be uplifted for the floor releveling. This carpet was turned and tacked which is more far more labour intensive and time consuming for the carpet layers to uplift and replay (as per attached email). Therefore an additional allowance is sought to uplift and relay the carpet to allow for the additional time.

Item	Description	Quantity	Unit	Rate	Amount
1	Main contractor margin	7.5	%	\$2,406.12	\$180.46
2	Negative Variation - Lift and relay existing carpet - Lounge	19.13	m2	\$13.50	\$258.26
3	Lift and relay existing carpet - Lounge	19.13	m2	\$18.00	\$344.34
4	Main contractor margin	7.5	%	\$344.34	\$25.83
5	Negative Variation - Lift and relay existing carpet - Master	15.91	m2	\$13.50	\$214.79
6	Lift and relay existing carpet - Master Bedroom	15.91	m2	\$18.00	\$286.38
7	Main contractor margin	7.5	%	\$286.38	\$21.48
8	Negative Variation - Lift and relay existing carpet - Hallway	5.85	m2	\$13.50	\$78.98
9	Lift and relay existing carpet - Hallway	5.85	m2	\$18.00	\$105.30
10	Main contractor margin	7.5	%	\$105.30	\$7.90
Total					\$419.67

Section 2	Completed by Contract Supervisor
------------------	---

Instruction given for work to proceed

Yes ☒ No ☐

Work sighted

Yes ☒ No ☐

Notes

Name

Thornley

Date

9/9/13

Signature

[Signature]

Section 4	Completed by Quantity Surveyor
------------------	---------------------------------------

Claimed \$ 419.67

Hub Name

Priority

Variation Total \$ 419.67

Hub Number

23 E 23

Tax Invoice/Payment Claim No.

Name

Chris Champion

Date

18.09.13

Signature

[Signature]

Section 5	Completed by EQC Representative
------------------	--

Instruction given for work to proceed

Yes ☒ No ☐

Work sighted

Yes ☒ No ☐

Notes

Photographs provided
See explanation above

APPROVED

J. Nisbet

Name

Date

Signature

EQC Priority Hub

16/09/13

Variation to Works Order



Claim Number	CLM/2011/123802	Contractor Name	Maintain Canterbury Limited
Customer Name	Catherine Cuthbertson	Supervisor	Mike Thornley/Adam Muir
Main Contact		Date	19/12/2013
Property Address	5 Dudley Street, Richm	Customer email	
Phone			

For all Variations please contact your Contract Supervisor before proceeding with any work.

This section must be filled out by the contractor in full with as much supporting information as possible: Descriptions, Repair Strategies, Quantities, Units, Rates, Photos where appropriate - The contractor must ensure the reason for the variation is clearly stated (For example - unforeseen additional scope required, alternative repair strategy required etc...) and that works to be undertaken have not been previously allowed for.

Section 1

Completed by Contractor

Reason for Submitting a Variation

The carpet in the lounge, master bedroom and entry was required to be uplifted for the floor relevening. As flagged at the commencement of work and in previous variations the carpet was unable to be uplifted and relayed without damaging it (as viewed by the CLO and Site Supervisor). Additionally the homeowners carpet in the kitchen was damaged and stained following the earthquakes due to food falling out of the refrigerator. Two quotes for the the supply and install of replacement carpet are therefore attached. Please note the homeowner has selected a cheaper carpet than the axminster carpet that is currently installed in the lounge, hallway and bedroom. Axminster is a premium grade pattern-match carpet product. This product has a pattern inherent that must be matched through the installation. It has a very high unit cost and requires additional carpet be purchased to allow for the pattern-match.

Item	Description	Quantity	Unit	Rate	Amount
1	Supply and install of caret as per the attached quote.	1	Unit	\$4,149.00	\$4,149.00
2	Main contractor margin	7.5	%	\$311.18	\$311.18
Total					\$4,460.18

Section 2

Completed by Contract Supervisor

Instruction given for work to proceed

Yes ☐ No ☒

Work sighted

Yes ☒ No ☐

Notes

Name Adam MuirDate 19/12/13Signature [Signature]

Section 4

Completed by Quantity Surveyor

Claimed \$ 4 460.18Hub Name TR0217Variation Total \$ 4460.18Hub Number EName R. WARNOCKDate 19/12/17Signature [Signature]

Tax Invoice/Payment Claim No.

Section 5

Completed by EQC Representative

Instruction given for work to proceed

Yes ☒ No ☐

Work sighted

Yes ☒ No ☐

Notes

Building Exposure.
Discussed with Contract Supervisor.
Carpet's unable to be re-laid.
Discussed with Sta & Community Contacts.

APPROVED
J. Nisbet
EQC Priority Hub

19/12/13

Name

Date

Signature

68.93m²Approx 46.08m²\$101.18/m²

Variation to Works Order

217456
027127

Claim Number	CLM/2011/123802	Contractor Name	Maintain Canterbury Limited
Customer Name	Catherine Cuthbertson	Supervisor	Mike Thornley
Main Contact		Date	26/08/13
Property Address	5 Dudley Street, Richmond	Customer email	
Phone			

For all Variations please contact your Contract Supervisor before proceeding with any work.

This section must be filled out by the contractor in full with as much supporting information as possible: Descriptions, Repair Strategies, Quantities, Units, Rates, Photos where appropriate - The contractor must ensure the reason for the variation is clearly stated (For example - unforeseen additional scope required, alternative repair strategy required etc...) and that works to be undertaken have not been previously allowed for.

Section 1

Completed by Contractor

Reason for Submitting a Variation

Allowances sought for the disconnection of electrics at the property to allow for repairs to ceilings and walls and variation sought for a change of allowance for uplift and relay of carpet from the hallway at the rear of the house (where there is vinyl on the floor) to the carpeted kitchen/dining area.

Item	Description	Quantity	Unit	Rate	Amount
3	Disconnection and reconnection of electrics - Lounge ceiling (2 light) for scraping and walls for removal of wallpaper (1 switch, 2 powerpoints).	5	Units	39	\$195.00
4	Disconnection and reconnection of electrics - Kitchen/Dining walls for removal of wallpaper (5 x switches and powerpoints).	5	Units	39	\$195.00
5	Disconnection and reconnection of electrics - Master bedroom ceiling (2 lights) for ceiling replacement and walls for removal of wallpaper (1 switch, 2 powerpoints).	5	Units	39	\$195.00
6	Disconnection and reconnection of electrics - Bedroom 2 walls for removal of wallpaper (1 switch, 2 powerpoints).	3	Units	39	\$117.00
7	Disconnection and reconnection of electrics - Entry ceiling (1 light) for removal of wallpaper.	1	m2	39	\$39.00
8	Remove and reglaze 6mm single glaze in exterior porch (photograph attached)	1	Unit	250	\$250.00
9	Install 90mm gib cove following ceiling replacement - master bedroom. Ceiling currently has decorative cornice but homeowner is happy with gib cove to replace.	16	lm	12	\$192.00
10	Negative VO - Lift and Relay Existing Carpet - Hallway rear of house	2.72	m2	-13.5	\$36.72
11	Lift and Relay Existing Carpet - Kitchen/Dining	20	m2	13.5	\$270.00
Total					\$1,416.28

Section 2

Completed by Contract Supervisor

Instruction given for work to proceed

Yes ☒ No ☐

Work sighted

Yes ☒ No ☐

Notes

Name M. Thornley

Date 5/11/13

Signature

M. Thornley

Section 4

Completed by Quantity Surveyor

Claimed \$1,416.28

Hub Name

Priority

Variation Total \$1,416.28

Hub Number

23 E 23

Tax Invoice/Payment Claim No.

Name Chris Champion

Date 08.11.13

Signature

Chris Champion

Section 5

Completed by EQC Representative

Instruction given for work to proceed

Yes ☒ No ☐

Work sighted

Yes ☐ No ☒

Notes

B McMahon
EQC Priority Hub

Qs to approve
rates.

Name 06/11/13

Date

Signature

Variation to Works Order



Claim Number	CLM/2011/123802- ²¹⁷⁴⁵⁶	Contractor Name	Maintain Canterbury Limited
Customer Name	Catherine Cuthbertson	Supervisor	Mike Thornley
Main Contact		Date	20/09/2013
Property Address	5 Dudley Street, Richm	Customer email	
Phone			

For all Variations please contact your Contract Supervisor before proceeding with any work.

This section must be filled out by the contractor in full with as much supporting information as possible: Descriptions, Repair Strategies, Quantities, Units, Rates, Photos where appropriate - The contractor must ensure the reason for the variation is clearly stated (For example - unforeseen additional scope required, alternative repair strategy required etc...) and that works to be undertaken have not been previously allowed for.

Section 1 Completed by Contractor

Reason for Submitting a Variation

The homeowner phoned as cracking was noticed in the bathroom wall (southern wall of the bathroom) after the repairs were completed and the homeowner had moved back in. The bathroom was not included in the initial scope as there was no damage in this room, however the floor was relevelled in the hallway outside the bathroom and the cracking in the bathroom wall is consistent with this. Photographs are attached of the

Item	Description	Quantity	Unit	Rate	Amount
1	Rake out plaster and paint bathroom walls	21.12	m2	27	\$570.24
Total					\$570.24

Section 2 Completed by Contract Supervisor

Instruction given for work to proceed Yes ☐ No ☒ Work sighted Yes ☒ No ☐

Notes

Name Thornley Date 20/9/13 Signature Net

Section 4 Completed by Quantity Surveyor

Claimed \$570.24 Hub Name Priority
Variation Total \$570.25 Hub Number 23 E 28

Tax Invoice/Payment Claim No. _____

Name Chris Champion Date 27.09.13 Signature Chris Chan

Section 5 Completed by EQC Representative

Instruction given for work to proceed Yes ☒ No ☐ Work sighted Yes ☒ No ☐

Notes **APPROVED**
B McMahon
EQC Priority Hub
As to check rates

Name 25/09/13 Date _____ Signature _____

Priority



Fletcher EQR acting as agent for EQC
(divn of Fletcher Construction)
P O Box 80105
CHRISTCHURCH 8440

Telephone 03 341 9900
Facsimile 03 343 4167

Works Order

To:

Star World Limited T/A Decontamination Medix
32 Dunlops Road
Southbrook
Rangiora 7400
Phone 03 3329272
Email admin@decontaminationmedix.co.nz

Order No E023-00825

Please quote Works Order Number on
all invoices, correspondences etc

Accreditation Number **SPL6519**
Contractor Code **SE39**

From:

Hub **Priority Hub**
Works Order Date **26-Jul-2013**

Project Number **E023**

Please proceed with the works outlined in the attached approved Scope of Works for:

EQC Claim Number	Address	Start Date	\$ Ex. GST
CLM/2011/217456	5 DUDLEY STREET, RICHMOND	01-Aug-2013	680.00
NZ Govt Goods and Services Tax Is Not Included In This Total			Total Cost 680.00

The above stated contract price is deemed to be a complete price to undertake and complete the works as detailed within the attached Scope of Works. The Scope of Works shall not be varied without Fletcher EQR's prior written consent. No additional costs will be accepted unless approved by a written Variation Order issued and signed by Fletcher EQR. Any request for payment based on an invalid variation instruction will be refused.
All Works shall be completed in accordance with the approved Scope of Works unless varied as above.

Authorised By **Richard Warnock**

On behalf of Fletcher Construction

as agent for Earthquake Commission Signature 

IMPORTANT

This Works Order is only valid when authorized and signed by a Fletcher EQR Quantity Surveyor.

This Works Order is to be read in conjunction with the attached approved Scope of Works referencing this Works Order.

If no Scope of Works is attached please contact the issuing Quantity Surveyor for a copy of the Scope of Works.

This Works Order is subject to the terms and conditions contained in the Short Form Agreement for engagement of contractors between the parties.

Please send all invoices and correspondence to the Fletcher EQR Hub responsible for issuing this Works Order.

The Contractor is responsible for all Warranties to be passed onto the homeowner.

No additional private work is to be undertaken. Fletcher EQR reserves the right to terminate the contract and de-accredit any contractor working on site without approval.

EQC and Fletcher EQR employ zero tolerance in relation to fraud and will prosecute offenders.



Works Order

Fletcher EQR acting as agent for EQC
(divn of FletcherConstruction)
P O Box 80105
CHRISTCHURCH 8440

Telephone 03 341 9900
Facsimile 03 343 4167

To:
Maintain Canterbury Limited
P O Box 7809
Sydenham
Christchurch 8023
Phone 0508624682
Email mike@maintaincanterbury.co.nz

Order No E023-00548

Please quote Works Order Number on
all invoices, correspondences etc

Accreditation Number **EQRC0313**
Contractor Code **S241**

From:
Hub **Priority Hub**
Works Order Date **17-Jun-2013**

Project Number **E023**

Please proceed with the works outlined in the attached approved Scope of Works for:

EQC Claim Number	Address	Start Date	\$ Ex. GST
CLM/2011/217456	5 DUDLEY STREET, RICHMOND		25,948.79
NZ Govt Goods and Services Tax Is Not Included In This Total			Total Cost 25,948.79

The above stated contract price is deemed to be a complete price to undertake and complete the works as detailed within the attached Scope of Works. The Scope of Works shall not be varied without Fletcher EQR's prior written consent. No additional costs will be accepted unless approved by a written Variation Order issued and signed by Fletcher EQR. Any request for payment based on an invalid variation instruction will be refused.

All Works shall be completed in accordance with the approved Scope of Works unless varied as above.

Authorised By **Stephen Power**
On behalf of Fletcher Construction
as agent for Earthquake Commission Signature _____

IMPORTANT

This Works Order is only valid when authorized and signed by a Fletcher EQR Quantity Surveyor.
This Works Order is to be read in conjunction with the attached approved Scope of Works referencing this Works Order.
If no Scope of Works is attached please contact the issuing Quantity Surveyor for a copy of the Scope of Works.
This Works Order is subject to the terms and conditions contained in the Short Form Agreement for engagement of contractors between the parties.

Please send all invoices and correspondence to the Fletcher EQR Hub responsible for issuing this Works Order.

The Contractor is responsible for all Warranties to be passed onto the homeowner.
No additional private work is to be undertaken. Fletcher EQR reserves the right to terminate the contract and de-accredit any contractor working on site without approval.
EQC and Fletcher EQR employ zero tolerance in relation to fraud and will prosecute offenders.



Works Order

Fletcher EQR acting as agent for EQC
(divn of FletcherConstruction)
P O Box 80105
CHRISTCHURCH 8440

Telephone 03 341 9900
Facsimile 03 343 4167

To:
SimOcc Consulting Limited
PO Box 33372
Barrington
Christchurch
Phone 39420451
Email prsimmonds@clear.net.nz

Order No E023-00321

Please quote Works Order Number on
all invoices, correspondences etc

Accreditation Number SPA6728
Contractor Code SF77

From:
Hub Priority Hub
Works Order Date 16-May-2013

Project Number E023

Please proceed with the works outlined in the attached approved Scope of Works for:

EQC Claim Number	Address	Start Date	\$ Ex. GST
CLM/2011/217456	5 DUDLEY STREET, RICHMOND		571.80
NZ Govt Goods and Services Tax Is Not Included In This Total			Total Cost 571.80

The above stated contract price is deemed to be a complete price to undertake and complete the works as detailed within the attached Scope of Works. The Scope of Works shall not be varied without Fletcher EQR's prior written consent. No additional costs will be accepted unless approved by a written Variation Order issued and signed by Fletcher EQR. Any request for payment based on an invalid variation instruction will be refused.
All Works shall be completed in accordance with the approved Scope of Works unless varied as above.

Authorised By **Michael Rogers**
On behalf of Fletcher Construction
as agent for Earthquake Commission Signature _____

IMPORTANT

This Works Order is only valid when authorized and signed by a Fletcher EQR Quantity Surveyor.
This Works Order is to be read in conjunction with the attached approved Scope of Works referencing this Works Order.
If no Scope of Works is attached please contact the issuing Quantity Surveyor for a copy of the Scope of Works.
This Works Order is subject to the terms and conditions contained in the Short Form Agreement for engagement of contractors between the parties.
Please send all invoices and correspondence to the Fletcher EQR Hub responsible for issuing this Works Order.

The Contractor is responsible for all Warranties to be passed onto the homeowner.
No additional private work is to be undertaken. Fletcher EQR reserves the right to terminate the contract and de-accredit any contractor working on site without approval.
EQC and Fletcher EQR employ zero tolerance in relation to fraud and will prosecute offenders.

Defects Liability Certificate

Claim Number	CLM/2011/217456		
Date of Completion	30/08/2013	Date defect period ends	28/11/2013
Property address	5 DUDLEY STREET, RICHMOND		
Main contractor	Maintain Canterbury Limited		
Principal	Earthquake Commission (EQC)		

End of Defects Liability Period

The Principal is required to issue a Defects Liability Certificate. The NBC SW Standard Conditions rule 13.1 states that:

The Principal must certify to the Contractor when in relation to the Contract Works or a Separate Section of them:-

- (a) the Defects Liability Period has ended; and
- (b) the Contractor has completed all minor omissions and corrected all minor defects referred to in rule 12.1; and
- (c) the Contractor has completed agreed deferred work.

This Certificate

This is to certify that in accordance with rule 13.1, the above named Contract Works the Defect Liability Period has ended, all deferred work has been completed and all defects have been corrected.

The issuing of this certificate does not affect the Contractor's liability to fulfil any obligation in the Contract which remains unperformed or not properly performed.

The Principal has used all reasonable care and skill in the preparation of this Certificate

This certificate cannot be relied on for any other purpose.

Contracts supervisor

Adam Muir

Date of issue 25/06/2014

on behalf of Fletcher EQR acting as agent to EQC

Schedule **E4** **Defects Liability Certificate**

Contract: Maintain Canterbury Limited

Claim Number: CLM/2011/217456

Location: 5 Dudley Street, Richmond

End of Defects Liability period

The Principal is required to issue a Defects Liability Certificate. The NBC SW Standard Conditions rule 13.1 states that:

The Principal must certify to the Contractor when in relation to the Contract Works or a Separate Section of them:

- (a) the Defects Liability Period has ended; and
- (b) the Contractor has completed all minor omissions and corrected all minor defects referred to in rule 12.1; and
- (c) the Contractor has completed agreed deferred work.

This Certificate

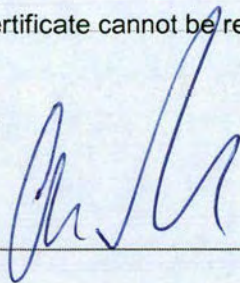
This is to certify that in accordance with rule 13.1, the above named Contract Works the Defects Liability Period has ended, all deferred work has been completed and all defects have been corrected

The issuing of this certificate does not affect the Contractor's liability to fulfil any obligation in the Contract which remains unperformed or not properly performed.

The Principal has used all reasonable care and skill in the preparation of this Certificate

The certificate cannot be relied on for any other purpose.

Signed by/date:



28/3/14
(Date signed)

32 815.16
x 5%

\$ 1640.76

CLM/2011/217456 - Construction Completion Inspection

Scope Meeting Record - Property Details

Claim Number	CLM/2011/217456	Hub Zone	Priority Hub
Contractor Name	Maintain Canterbury Limited	Supervisor	Michael Thornley
Property Address	5 DUDLEY STREET, RICHMOND	Main Contact Name	CATHERINE CUTHBERTSON
Customer name	THE BAXTER TRUST	Customer Email	[REDACTED]
Home Phone	[REDACTED]	Mobile Phone	
Date Started	30/08/2013 02:10:42 p.m.	Date Completed	30/08/2013 03:00:00 p.m.

Description of Works

As per EQC Claim Assessment, EQR Scope Change Summary and Variations

Defects

N

Deferred Works

Kitchen carpet, waiting for EQC to approve. Lounge and master bedroom carpet to be refitted due to small rip in lounge and pins to bedroom carpet showing.

This is to advise that the earthquake repair work performed under this contract has been reviewed and it has been agreed that works has been completed as per EQC Assessment, Approved EQR Scope and approved Variations, excluding any minor defects or omissions.

Contractor Signature:

Maintain Canterbury



30/08/2013

Name

Signature

Date

Owner/Agent Signature:

The Baxter Trust



30/08/2013

Name

Signature

Date

CLM/2011/217456 - Construction Completion Inspection

Fletcher Construction Company Ltd - EQC

Michael Thornley



30/08/2013

Name

Signature

Date

Schedule **E3**

Practical Completion Certificate

2011/217456

Contract: Maintain Canterbury Limited

Location: 5 Dudley Street, Richmond

Principal: EQC

Practical Completion

Practical Completion means that the Contract Works, or a Separate Section of them attain Practical Completion when information and warranties listed in the Specific Conditions have been provided and when, except for:-

- (a) Work which the Principal and the Contractor have agreed to defer for completion during the Defects Liability Period and
- (b) minor omissions and minor defects which the Principal and the Contractor agree
 - (i) the Contractor has reasonable grounds for not correcting promptly; and
 - (ii) do not prevent the Contract Works, or a Separate Section of them, from being used for their intended purpose; and
 - (iii) can be corrected without prejudicing the convenient use of the Contract Works or a Separate Section of them,

the Contractor has fulfilled its obligations under the Contract.

This Certificate

This is to certify that in accordance with rule 12.1, the Contract Works have been inspected and qualified for Practical Completion on 30 August 2013.

The Defects Liability period as detailed in rule 13.1 commenced on this date and continue for a period of three months until 30 November 2013.

The Principal has used all reasonable care and skill in the preparation of this Certificate.

It is provided in accordance with and subject to rule 1.2 Principal's main obligations.

The certificate cannot be relied on for any other purpose.

Signed by/date:

nat

4/9/13.
(Date signed)

FLETCHER EQR AS DULY AUTHORISED AGENT OF EQC

Schedule **E1(a) Contractor's Producer Statement for Construction PS3**

Contract: CLM/2011/217456
Location: 5 Dudley St, Richmond, Christchurch

Issued by

Contractor: Maintain Canterbury Limited
LBP Licence No BP105279

Preamble

The Contractor is required to complete this Producer Statement for Construction PS3 within 5 days of the completion of the Contract Works and issue it to the Hub Supervisor.

This Producer Statement will be relied upon to confirm that the Building Works has, to the best of the Contractor's knowledge, been performed in compliance with the NZ Building Code.

Statement I**Mike Barnsley**..... (name of LPB) undertook or supervised the following building work and confirm that I am satisfied on reasonable grounds that the work performed is in compliance with the NZ Building Code and, where a building consent is applicable, in compliance with the Building Consent.

Description of the work covered by this statement:

Claim Number:CLM/2011/217456.....

Earthquake repairs and redecoration as per EQC Scope of works and approved variation orders.

Signed by/date:



29/8/13
(Date signed)

MS-SF0509



FINAL ACCOUNT AGREEMENT

CLAIM NUMBER:

2011

123802

Property Address: 5 Dudley St
 Richmond
 Christchurch

Date: 11/11/13
Hub: Priority
Contracts Supervisor: Mike Thornley

Property Contact Name: Catherine Cuthbertson

Contractor Details: Maintain Canterbury Ltd
Accreditation No: EQRC0313

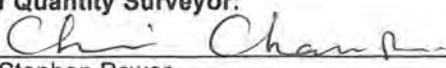
Contact details: Ph. (1) 03 9290080 Ph. (2) 021 567361
 email admin@maintaincanterbury.co.nz

Original Contract Value	(Ex GST)	\$ 25948.79
Variations	(Ex GST)	\$ 4242.07
Final Contract Value	(Ex GST)	\$ 30190.86
Less Previous Payments	(Ex GST)	\$25948.79
GST Amount		\$ 4528.63
Amount for Final payment	(Including GST)	\$ 2767.12

We hereby confirm that this statement represents the full and Final Contract Value and amount outstanding for all matters relating to this subcontract.

Contract Start Date: 09/07/13

Contract Finish Date: 28/08/13

Signature of Contractor:		Date: 11/11/13
Print Name: Maintain Canterbury Ltd		
Signature of Contracts Supervisor:		Date: 11/11/13
Print Name: Mike Thornley		
Signature of Quantity Surveyor:		Date: 11/11/13
Print Name: Stephen Power Chris Champion		

SimOcc Consulting Ltd

P.O. Box 33372
Barrington, Christchurch
New Zealand
GST Registration: 100-262-983

21st May 2013

Michael Thornley/Sara Baird
The Fletcher Construction Company Ltd
Priority Hub
P O Box 80105
Christchurch 8440

Dear Michael and Sara,

RE: Asbestos Sampling at 5 Dudley Street, Richmond (CLM/2011/217456)

At your request the above address was visited on the 20/05/2013 where the following samples were collected for asbestos analysis. The results are presented below:

Sample ID	Area	Surface	Asbestos Content
EQR681	Lounge	Wall plaster	No asbestos detected
EQR682	Lounge	Ceiling stipple and plaster.	No asbestos detected
EQR683	Master bedroom (south west)	Wall plaster	No asbestos detected
EQR684	Master bedroom (south west)	Ceiling stipple and plaster.	No asbestos detected
EQR685	Kitchen	Wall plaster	No asbestos detected
Building description: The dwelling at the above address is single storeyed with mock brick cladding over weatherboard, tile roof and timber floor. The internal walls and ceiling are plaster lined. Other possible asbestos containing materials noted: • Mock brick external wall cladding • Cement sheet around chip burner in kitchen			

Regards



Peter Simmonds
Certified Occupational Hygienist

Phone: +64 3 9420 451
Mobile: +64 2102912826
Email: prsimmonds@clear.net.nz

MS17_T03

CLAIM TRANSFER ADVICE



THE FLETCHER CONSTRUCTION COMPANY EARTHQUAKE RECOVERY

Address 5 Dudley Street, Richmond

Claim Number 2011/217456

Author Mike Christie

Date 17/11/16

This memorandum is notification that the required technical components of the above claim have been completed as identified below

- ☐ FOR CONSTRUCTION ☐ Technical Correspondence
☒ CONCEPT / INFORMATION ONLY ☒ Technical Report

COMPLETION TYPE

- ☐ Level 1 ☐ Exemption Granted (Sch 1, Pt 1.2) ☐ Engineering Not required
☒ Level 2 ☐ Certificate of Acceptance ☐ Claim Not Required
☐ Consent Granted ☐ Potential Overcap ☐ Not Yet Complete

RECHARGE TYPE

- ☐ Level 1 ☒ Construction Observation Visit ☐ Resource Consent Administration
☒ Level 2 Concept ☐ Apply for Building Consent / Exemption ☒ Structural Assessment
☐ Level 2 Simple ☐ Amendment to Building Consent ☒ Zip Level Check
☐ Level 2 Moderate ☐ Other - Engineer Hrs worked
☐ Level 2 Complex ☐ Other - Draughtsman Hrs worked

SUPPORTING DOCUMENTS

- ☐ Exempt Building Work Record ☐ Deep Geotech Report ☐ Specifications / Structural Details
☐ Schedule of Inspections ☐ Shallow Geotech Investigation Report ☐ Other

Comments/
Instructions

Red Moderate Triage.

Exterior cladding to be removed, asbestos testing required. Crack repair to perimeter foundation and re-leveled using a Sika Monotop product. Re-level floor to target levels provided and remediate previous subfloor works. To remain as concept for EQC to cost.

Level 3

Author

Mike Christie

Reviewed by

Aoife Murphy

MS-SF2009b

Technical Report – Concept Only

Date 17/11/2016

Claim Number CLM/2011/217456

Revision 1

Author Mike Christie

5 Dudley Street, Richmond



Dwelling Description

Year of Construction (approx.)	1935-1961	
Number of Storeys	1	
Foundation Type(s)	Type B	
Wall Cladding	Medium Weight	"Brickolite" over weatherboard
Roof Cladding	Heavy Weight	Concrete Tile
Floor Area (approx.)	94.8m ²	

Site Description

Topography	Flat	
Technical Category	TC3	
Likely Soil Types	Silt	
Shallow Geotech Report	No	Will be required
Deep Geotech Analysis	No	May be required
Registered HAIL Site	No	20/10/2016 checked
Flood Management Area	No	20/10/2016 checked
CCC Modelled Flood Parameters	Within CCC modelled 50yr flood extent	

Disclaimer

This report has been prepared solely for 'The Earthquake Commission' and is to be used only for work undertaken under the management of Fletcher EQR within the Canterbury Homes Repair Programme. No use by any other party is permitted without the prior consent of both Fletcher EQR and the Earthquake Commission.

Terms of Engagement

The Earthquake Commission has requested that Fletcher EQR undertake a non-invasive inspection of the dwelling. The purpose of the inspection was to determine the extent of damage caused as a result of the series of seismic events since the September 2010 event and to provide a lawful means of repair to address the damage identified.

This has included the following items:

- *Subfloor Inspection (FEQR ferret) - (14/01/2016)*
- *Final Floor Level Check - (14/01/2016)*
- *Triage File Note - (07/10/2016)*
- *Level Check and Structural Assessment - (14/10/16)*

This claim has already had substantive repairs completed. The purpose of this inspection was to determine the extent of technical repairs required to address earthquake damage and address issues identified. EQC is to confirm this scope of work fulfils the EQC Act and advise the Technical Services Team should any changes to the outlined repair be required.

Background

The EQR technical report dated (01/05/2013) indicated a ground floor level variation of 72mm. There were slopes greater than 0.5% MBIE indicator criteria throughout the dwelling.

The interior of the dwelling suffered typical damage from lateral movement with damage to the internal linings; a number of walls are out of plumb. There were frequent cracks through the exterior "brickolite" cladding. There were numerous cracks in the perimeter foundation ranging in size up to a maximum of 7mm wide. Liquefaction ejecta had covered a large area of the property. The chimney collapsed during the earthquake events and has been removed. There was an old "artesian well" beneath the house that had burst during the earthquake events. It was noted that the majority of the damage is earthquake related.

The following repair strategy was recommended:-

- Area of floor to be raised through jacking and packing 82m² (Approx. 30 piles).
- Area of floor to be lowered 4m² (Approx. 2 piles).
- The crack repair to the perimeter foundation 3.6 lin/m.

There was a change to the repair scope dated (15/05/2013) all exterior walls are to be cashed settled. The foundation is to be repaired as specified in the EQR Tech Hub report dated 01/05/2013

Post Repair – Subfloor investigation (14/01/2016)

Following the subfloor investigation the following was recorded:

1. Minor improvement has been made to the levels in the area the floor was proposed to be notched. Target levels have not been met and floor slopes still exceed the MBIE 0.5% indicator criteria.
2. The notching of the existing bearers exceeds 20mm with no flitch plates sighted.
3. The packing of the existing piles has been done with plastic shims.
4. There are no connections between the piles, packers and timber bearers sighted.
5. There are a few concrete piles that have been damaged and cracked, that will require replacement.
6. There was one new timber pile sighted in the subfloor space.
7. There was no overpinning of the perimeter foundation sighted.
8. The cladding was not removed to undertake the overpinning.
9. There was a large amount of non-complaint works carried out in the subfloor.

Summary

Summary as per Triage report dated (27/07/2016)

The proposed engineering solution has not been successfully implemented. The extent of the relevening works carried out by the contractor has not been sufficient to meet the target levels provided with the original repair report. The floor slopes still exceed the MBIE 0.5% indicator criteria throughout the dwelling. There is no evidence provided to suggest why the floor was not re-levelled as proposed in the repair strategy. The subfloor inspection was partially conducted, the locations of non-compliant work and damage cannot be established due to insufficient footage. There were piles sighted that appear to have cracked and will require replacement. There was notching identified in the subfloor with flitch plates not installed. Flitch plates were not specified by the original engineer. However flitch plates are now a requirement for all notching and are required on all notching greater than 5mm. The work carried out by the contractor has not been carried out to a satisfactory standard, this includes; packing installed in multiple layers, pile and packer to bearer connections have not been installed in accordance with MBIE best practice and there was notching sighted that was greater than 20mm.

Observed Damage

The site inspection undertaken on the (14/10/2016) was focused on identifying the extent of the residual evidence of earthquake related damage. This involves identifying any damage not addressed in the original repair strategy dated (01/05/2013) and any possible issues related to the quality of workmanship.

A level check was undertaken to determine the relative variation in floor heights throughout the dwelling – refer to SK3. This check was conducted using a Zip level with an accuracy of $\pm 2\text{mm}$. Variations in height due to differential floor coverings and minor steps have been taken into consideration. The following was observed:

- A maximum ground floor height variation of 70mm was recorded. A maximum floor gradient of 1.7% was recorded. The floor slopes indicated a trend towards the north western direction.

The following was observed in the interior of the dwelling:-

In the entrance hall the following was observed:

- The door frames to the rooms of the hall way were checked for verticality and were noted as below;
 - The door frame to the front door was measured and recorded for verticality and was noted to be leaning towards the north western direction by 0.8% in the east west axis.
 - The door was noted to have no opening or closure issues.
 - Bedroom 1 was noted to be leaning towards the western direction by 1.0% in the east west axis and in the north south axis the frame was leaning towards the northern direction by 0.8%.
 - The door was noted to have no opening or closure issues.
 - There were typical openings of the frame at the corners observed.
 - Bedroom 2 was noted to be leaning towards the western direction by 0.8% in the east west axis and in the north south axis the frame was leaning towards the northern direction by 0.8%.
 - The door was noted to have no opening or closure issues.
 - The living room door was noted to be leaning towards the northern direction by 0.7% in the north south axis and in the east west axis the door was noted to be leaning towards the western direction by 0.6%.
 - The door was noted to have rotated in the door frame (refer to photo 1).
 - The bathroom door was noted to be leaning towards the northern direction in the north south axis by 0.7% and leaning 0.6% in the east west direction.
 - The door was noted to have no open or closure issues.
 - The kitchen door was noted to be leaning towards the northern direction by 0.6% in the north south axis and leaning towards the western direction by 0.8% in the east west axis.
 - The door was also noted to be catching on the carpet; the homeowner noted that the contractor was to return to fix this.
- The hall cupboard lining was observed to contain cracking throughout.
 - The subfloor hatch was located in this cupboard.

In bedroom 1 the following was observed:

- The windows were noted to have no opening or closure issues.
 - The northern window was measured and recorded for verticality and was noted to be leaning towards the northern direction by 0.8%.

MS-SF2009b

- There were typical openings of the corner frames observed.
- There was a stipple ceiling observed in this room.
- There was nothing else noted.

In bedroom 2 the following was observed:

- The windows were noted to have no opening or closure issues.
- The floor was noted to hump in parts.
- There was nothing else noted.

In the living room the following was observed:

- The windows were noted to have no opening or closure issues.
 - There were typical openings of the frame corners (refer to photo 2).
- The floor was noted to fall towards the northern eastern direction.
- There was nothing else noted.

In the bathroom the following was observed:-

- The window was noted to have no opening or closure issues.
- There was nothing else noted.

In the kitchen the following was observed:-

- The windows were noted to have no opening or closure issues.
 - The window on the southern elevation was measured and recorded for verticality and was noted to be leaning towards the western direction by 0.8% in the east west axis.
- The sliding door was checked for opening and closure issues and was noted to have none.
 - The sliding door frame was measured and recorded for verticality and was noted to be leaning towards the northern direction by 1.0%.
- The door frame to the laundry and WC area was measured and recorded for verticality and was noted to be leaning towards the western direction by 0.8%.
 - The door was also noted to be catching on the carpet; the homeowner noted that the contractor was to return to fix this.

In the rear hall the following was observed:-

- The back door was measured and recorded for verticality and was noted to be leaning towards the western direction by 0.8%.
 - The door was noted to have no opening or closure issues.
- The laundry door was measured and recorded for verticality and was noted to be leaning towards the northern direction by 0.8% in the north south axis and also leaning by 0.8% towards the western direction in east west axis.
- There was nothing else noted.

In the laundry the following was observed:-

- The WC door was measured and recorded for verticality and was noted to be leaning towards the northern direction by 0.8% in the north south axis and also leaning 0.8% towards the western direction in the east west axis.
- There was nothing else noted.

In the WC the following was observed:-

- There was nothing noted.

The following was observed to the exterior of the dwelling:-

Refer to the exterior plan damage SK4.

Along the Northern elevation the following was observed:-

- There was cracking through the "brickolite" cladding observed along the elevation, this formed a step like pattern, typically where the sheets have been joined and also at the ends of openings (refer to photo 3).
- There were observations of previous crack repairs to the foundation. The widths of these were difficult to determine due to the quantity of filler that has been used (refer to photo 4).
- There was also a hairline crack observed near one of the subfloor vents at the old chimney.

Along the western elevation the following was observed:-

- There was cracking through the "brickolite" cladding observed along the elevation, this formed a step like pattern, typically where the sheets have been joined, at the ends of openings and also on the corners of the dwelling.
- There were observations of previous crack repairs to the foundations. The widths of these were difficult to determine due to the quantity of the filler used.
 - There was one large crack that was observed and noted to be 10mm + wide (refer to photo 7).
- There was diagonal cracking observed at North West corner continuing along the western elevation (refer to photo 6).
- There was nothing else noted.

Along the southern elevation the following was observed:-

- There was cracking through the "brickolite" cladding observed along the elevation, this formed a step like pattern, typically where the sheets have been joined, at the ends of openings and also on the corners of the dwelling (refer to photo 9).
- There were observations of previous crack repairs to the foundation. The widths of these were difficult to determine due to the quantity of filler that has been used.
- There was a minor crack to the perimeter foundation observed (refer to photo 10).
- There was nothing else noted.

Along the eastern elevation the following was observed:-

- There was cracking through the “brickolite” cladding observed along the elevation, this formed a step like pattern, typically where the sheets have been joined, at the ends of openings and also on the corners of the dwelling.
- There were observations of previous crack repairs to the foundation. The widths of these were difficult to determine due to the quantity of filler that has been used.
- There was nothing else noted.

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Photo 1:

Photo showing the rotated living room door.



Photo 2:

Photo showing the typical openings at the frame corners.



Photo 3:

Photo showing the typical step cracking through the existing "brickolite" cladding.



Photo 4:

Photo showing the typical perimeter foundation repairs.



MS-SF2009b**Photo 5:**

Photo showing the minor cracking at the subfloor vents on the western elevation.

**Photo 6:**

Photo showing the minor horizontal cracking on the western elevation at the north corner.

**Photo 7:**

Photo showing the large crack repair on the northern elevation.

**Photo 8:**

Photo showing the minor cracking on the eastern elevation at the northern corner.



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Photo 9:

Photo showing the typical cracking at the ends of openings.



Photo 10:

Photo showing the typical repair to the perimeter foundation.



Photo 11:

Photo showing the galvanised strap connecting the concrete pile to bearer.



Photo 12:

Photo showing the plastic shim packing that has been used.



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Photo 13:

Photo showing the plastic shim packers.



Photo 14:

Photo showing the notching of bearers and also the packing with plastic shims.



Conclusions

Based on the site observations and reviewed information the following has been concluded:

The perimeter foundation:-

- The perimeter foundations was noted to contain a series of minor cracks and are to be epoxy repaired.
- Once the exterior cladding is removed and the existing weatherboard cladding underneath is investigated, an overpinning repair strategy can be carried out with a Sika monotop product and the lower weatherboards adjusted or replaced.

Therefore I would recommend that the cracks to the perimeter foundation are repaired using an epoxy injection repair strategy and once the exterior cladding has been resolved a sika mono top product applied to the top of the perimeter foundation to be releveled.

The exterior of the dwelling:-

- A conversation with the EQC to check if the exterior of the dwelling had been cash settled was found to be incorrect.
- The exterior of the dwelling is clad with weatherboard and the brickolite cladding is attached over the top of the weatherboard.
 - The "brickolite" cladding should be removed, prior to removing the brickolite cladding it should be tested for Asbesto.
- The dwelling may require a full re-clad depending on the condition of the timber weatherboard cladding underneath. This should be checked and investigated once exposed.

Therefore before any works proceed the exterior "brickolite" cladding should be tested for asbestos and if the results are positive, then a specialist contractor should be appointed to remove and dispose of the asbestos material. The timber weatherboards should be exposed and investigated to determine the condition. If found to be in a poor state then a full re-clad should be carried out.

Floor Levels:-

During this site inspection, the floor level variations throughout the dwelling were measured with a Technidea Pro-2000 Zip Level unit with a calibrated accuracy of $\pm 2\text{mm}$.

- A maximum ground floor height variation of 70mm was recorded. A maximum floor gradient of 1.7% was recorded.
 - A review of the pre-repair level check, the recently recorded levels and the subfloor investigation would indicate that minor relevening works have been carried out at the property. The exterior cladding was never removed to allow the overpinning of the perimeter foundation carried out.
 - A review of the subfloor investigation indicates that instead of lifting areas of the floor as proposed the floor was lowered by notching of the bearers and then packed in places with plastic shims.
 - The work carried out by the contractor will require remediation to current FEQR standards. This includes the repacking of piles, the flitching of bearers or the

MS-SF2009b

replacement of bearers where notching exceeds 20mm and the connections between pile/packer to bearers should be reinstated.

Repair Solution

The below outlined repair is believed to be a lawful means of repair. EQC are to determine repair scope to "as when new" condition within the limiting factors noted above and as per the EQC Act.

FOR REMEDIAL REPAIRS:

The exterior of the dwelling will need testing for asbestos before any work commences. If tested positive then a specialist contractor will require to be brought in to remove and dispose of the material.

The cracking to the perimeter foundation will need to be repaired using an epoxy injection repair strategy, once the exterior cladding is resolved; a sika monotop product should be applied to the top of the perimeter foundation to relevel the perimeter. The floor will need to be releveled using the target levels provided and the previous subfloor works to be remediated to current FEQR standards and either re-used or replaced to provide a level surface for the dwelling and new perimeter foundation.

FOR REMEDIAL REPAIRS

Remedial works required to current extent of repair (see SK-3, SK-4):

1. Subfloor work repairs required (area)	82.5 m ²
a. Number of pile locations within area (fixings/packers)	12 No.
b. Number of flitch plate locations	6 No.
1. Foundation locations (fixings/packers) within area	7 No.
2. Area to be lifted	75 m ²
a. Number of pile locations within area (fixings/packers)	31 No.
3. Length of sika monotop overpinning	40 lin.m
4. Exterior wall cladding to be removed (Asbestos Testing First)	105.6 m ²
5. Length of crack repair to perimeter foundation	1.5 lin/m

Drawings and Specifications

The following drawings are appended to this report along with a technical specification.

- SK1 Original levels plan
- SK2 Original repair plan
- SK3 Remedial level Plan
- SK4 Exterior Damage Plan
- SK5 Subfloor Plan
- SK6 Perimeter Overpinning Detail

This report is a concept only and is to be passed to EQC for review. It is not for construction.

Author



Mike Christie

Reviewed



Senior Engineer

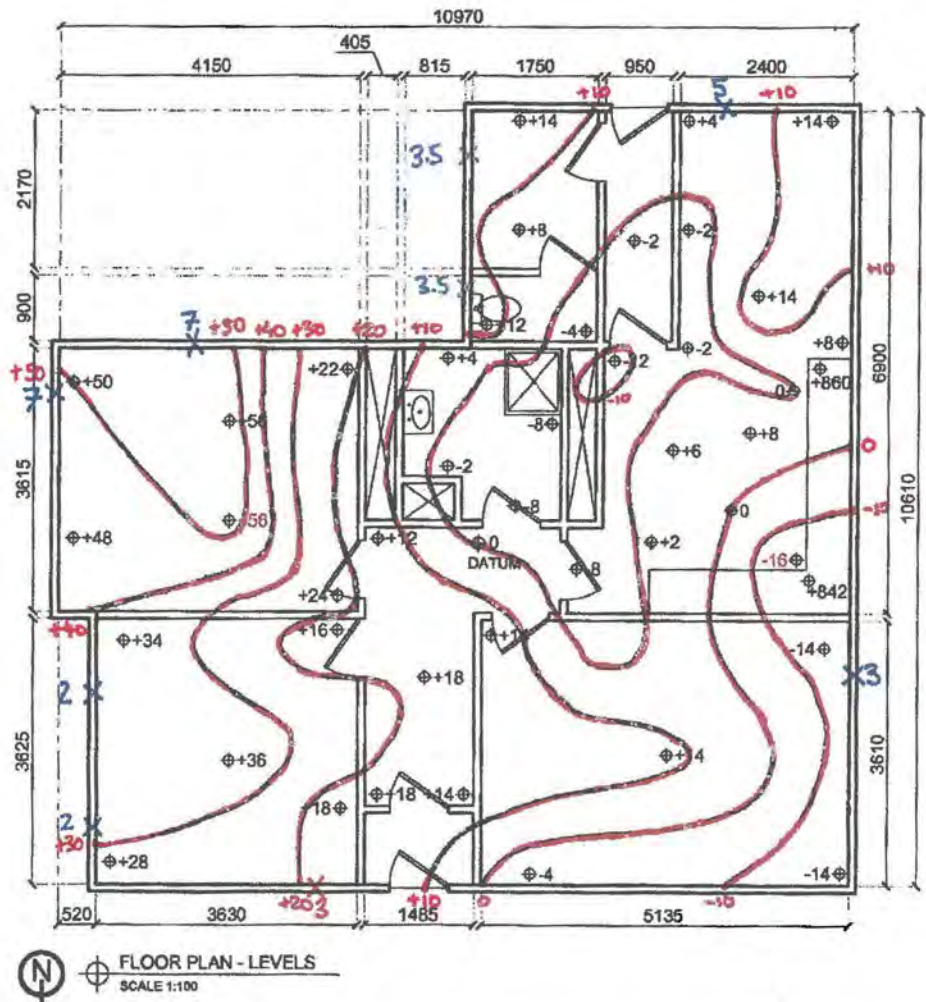
PROPERTY NOTES

Legal Description: LOT 2 DP 14126
 Land Area: 400 m²
 Dwelling: 94.8 m²
 House Construction: TYPE B1/B2
 Light/Medium weight wall cladding & Heavyweight roof cladding.
 Technical Category: TC3

Overall Level Measurement Differential:
 -16 to +56 = 72mm

Notes:
 Levels adjusted for floor coverings
 Zero OK

~ 10mm contour lines
 X Cracks in Ring Beam



SITE LOCATION PLAN
 NOT TO SCALE

Fletcher
Earthquake Recovery

Technical Office,
 11 Deans Avenue, Riccarton
 PO Box 80 105, Riccarton
 Christchurch 8440, New Zealand

TITLE		CLM/2011/217456 LVLS	DESIGNED	DQ
ADDRESS	5 DUDLEY STREET, RICHMOND, CHRISTCHURCH	DATE	17-04-13	DRAWN
		SCALE	1:100	SHEET NO.
				SK1

PROPERTY NOTES

Legal Description: LOT 2 DP 14126
 Land Area: 400 m²
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Notes:

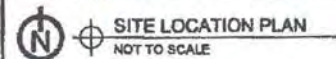
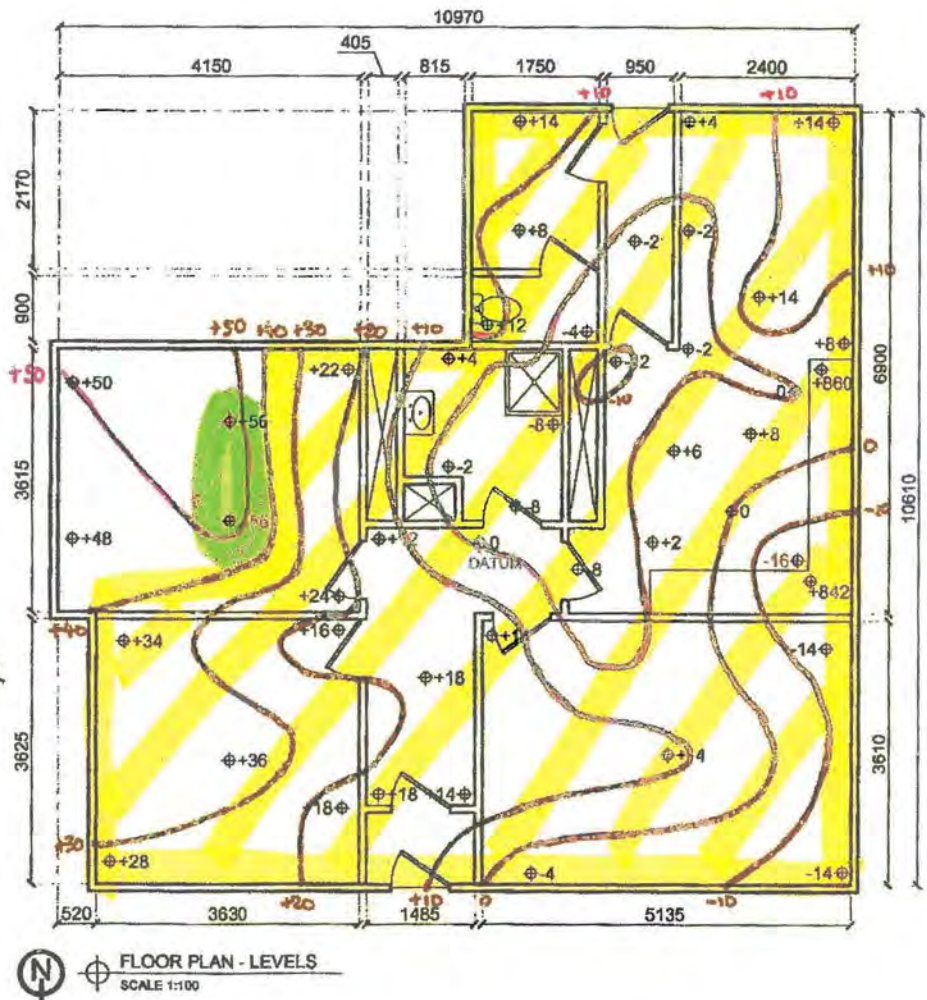
Levels adjusted for floor coverings
 Zero OK

 10mm Contour Lines

 Jack & Pack T.L. = +50

 Notch Bearers T.L. = +50

* Bricklite veneer to be removed completely.
 Weatherboard to be removed as required to expose structure.
 Ring beam top surface to be re-levelled with Sikka Monotop 412 to provide level surface for replacement cladding.



Fletcher
Earthquake Recovery

Technical Office,
 11 Deans Avenue, Riccarton
 PO Box 80 105, Riccarton
 Christchurch 8440, New Zealand

TITLE LEVELS DRAWING
ADDRESS 5 DUDLEY STREET,
 RICHMOND,
 CHRISTCHURCH

CLM/2011/217456 LVLS
DATE 17-04-13
SCALE 1:100

DESIGNED DQ
DRAWN PK
SHEET NO. SK2

NOTES

ADJUSTMENTS FOR FLOOR COVERINGS HAVE BEEN MADE

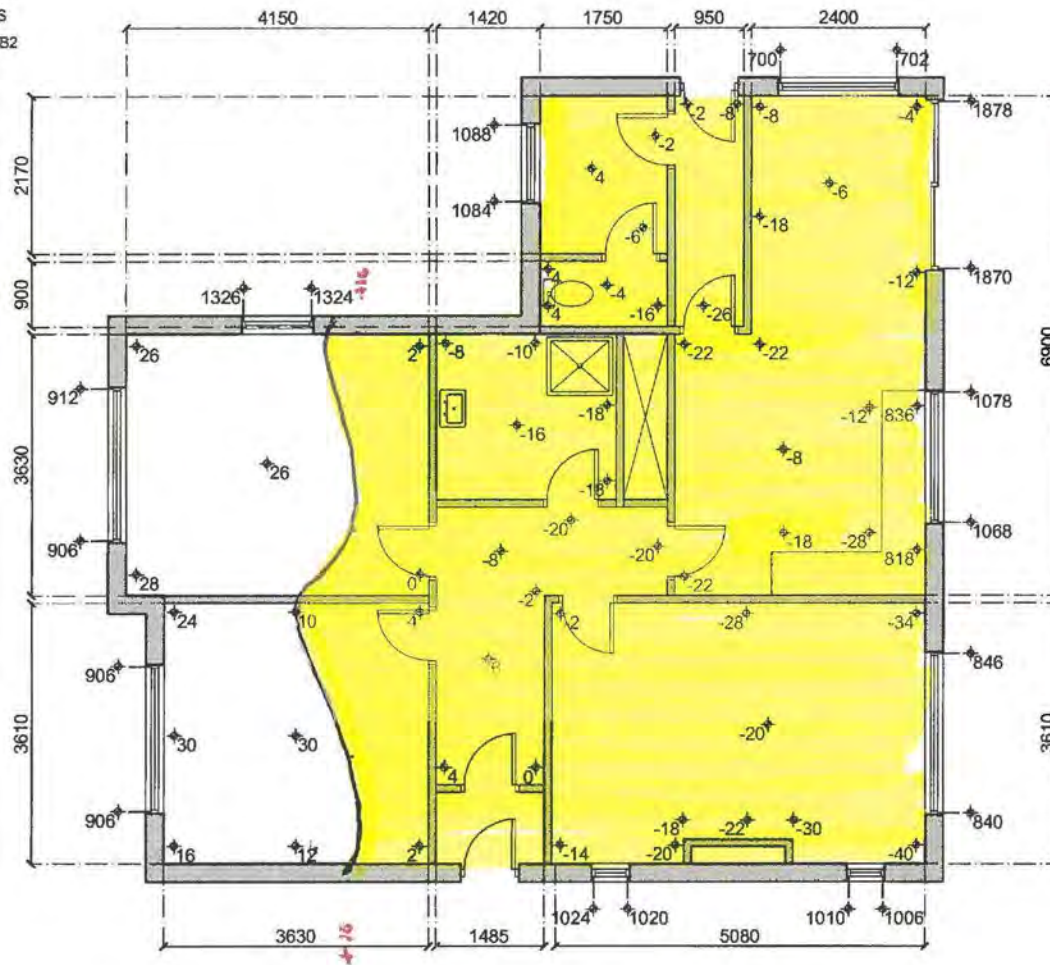
MAX LEVEL DIFFERENCE;

-40mm TO 30mm = 70mm

LEGAL DESC; LOT 2 DP 14126

SITE AREA; XXX HECTARES

CONSTRUCTION TYPE; B1/B2

**LEVEL SURVEY - GROUND FLOOR**

scale 1:100

Target level
+10

Performance Based
Lift

TARGET LEVELS PROVIDED ARE A GUIDE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR DOORS AND WINDOWS, ANY HORIZONTAL SURFACES AND ALL LININGS. IF DAMAGE IS RESULTING DUE TO FLOOR RE-LEVELLING, WORK SHOULD BE STOPPED IMMEDIATELY. RE-LEVELLING IS TO BE PERFORMANCE BASED AND FINAL LEVELS A RESULT OF RETURNING FUNCTIONALITY TO THE DWELLING.

THE CONSTRUCTION DOCUMENTS CREATED HAVE BEEN DESIGNED AND PREPARED FOR THE PURPOSE OF OUR CLIENT EQC. ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE AND OTHER RELEVANT ASSOCIATED STANDARDS, CODES AND TECHNICAL AUTHORITIES BY LAW. THE CONSTRUCTION DOCUMENTS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT ENGINEERS DOCUMENTS. ALL DIMENSIONS SHOWN IN DRAWINGS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORK. DO NOT OBTAIN DIMENSIONS BY SCALING FROM DRAWINGS. THE BUILDER IS TO REFER ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH WORK. ALL PROPRIETARY ITEMS AND MATERIALS WILL BE APPLIED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DESIGNS

**SITE LOCATION**

NTS

Fletcher.
Earthquake Recovery

Technical Office,
11 Deans Avenue, Riccarton
PO Box 80 105, Riccarton
Christchurch 8440, New Zealand

TITLE LEVELS DRAWING
ADDRESS 5 DUDLEY STREET,
RICHMOND,
CHRISTCHURCH 8013

REV NO. REVISION

DATE APP.

CLM/2011/217456

DESIGNED MC

DATE 27/10/2016

DRAWN OH

SCALE 1:100 @ A4

SHEET NO. 5k-3

NOTES

ADJUSTMENTS FOR FLOOR COVERINGS HAVE BEEN MADE

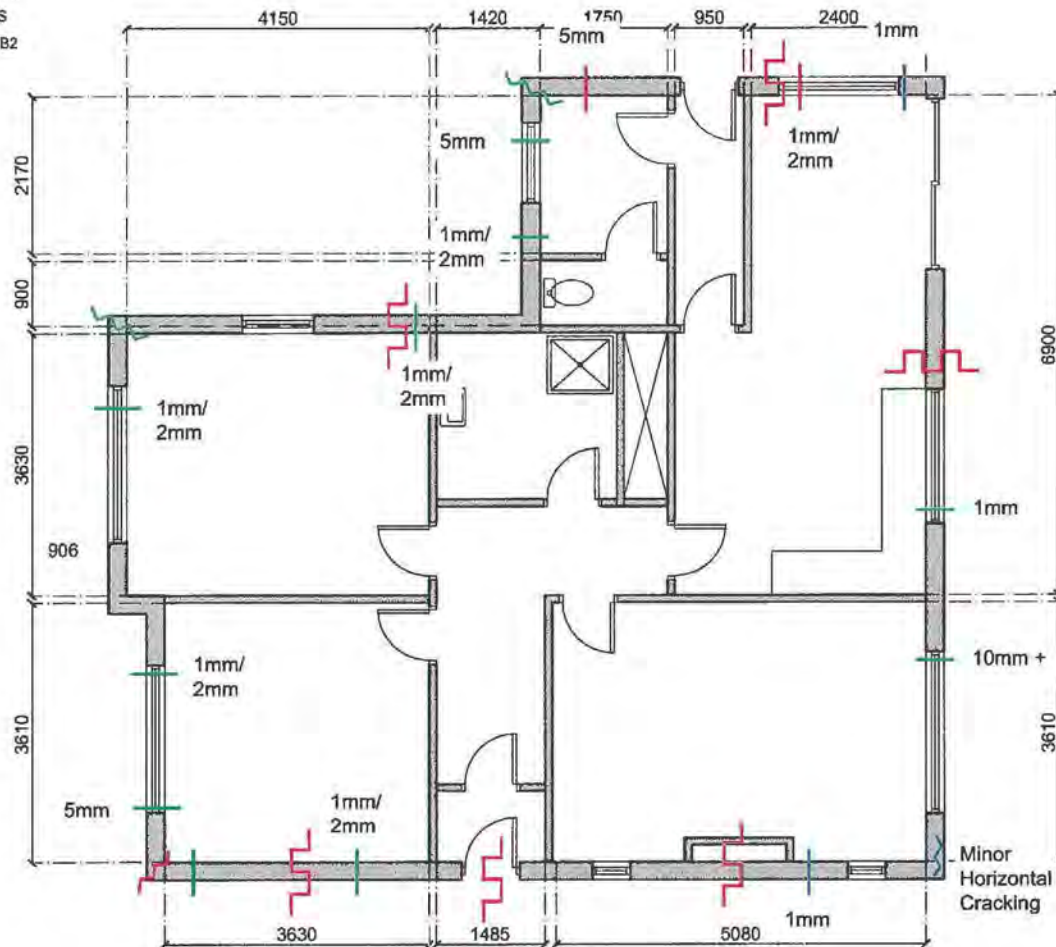
MAX LEVEL DIFFERENCE:

-40mm TO 30mm = 70mm

LEGAL DESC; LOT 2 DP 14126

SITE AREA; XXX HECTARES

CONSTRUCTION TYPE; B1/B2



- Step Cracking In Cladding
- Cracking Repair
- Cracking To Perimeter

Exterior Damage Plan

LEVEL SURVEY - GROUND FLOOR
scale 1:100

Fletcher.
Earthquake Recovery

Technical Office,
11 Deans Avenue, Riccarton
PO Box 80 105, Riccarton
Christchurch 8440, New Zealand

TITLE
ADDRESS 5 DUDLEY STREET,
RICHMOND,
CHRISTCHURCH 8013

REV NO. REVISION

DATE

APP.

CLM/2011/217456

DESIGNED

MC

DATE 27/10/2016

DRAWN

OH

SCALE 1:100 @ A4

SHEET NO.

Sk-4

NOTES

ADJUSTMENTS FOR FLOOR COVERINGS HAVE BEEN MADE

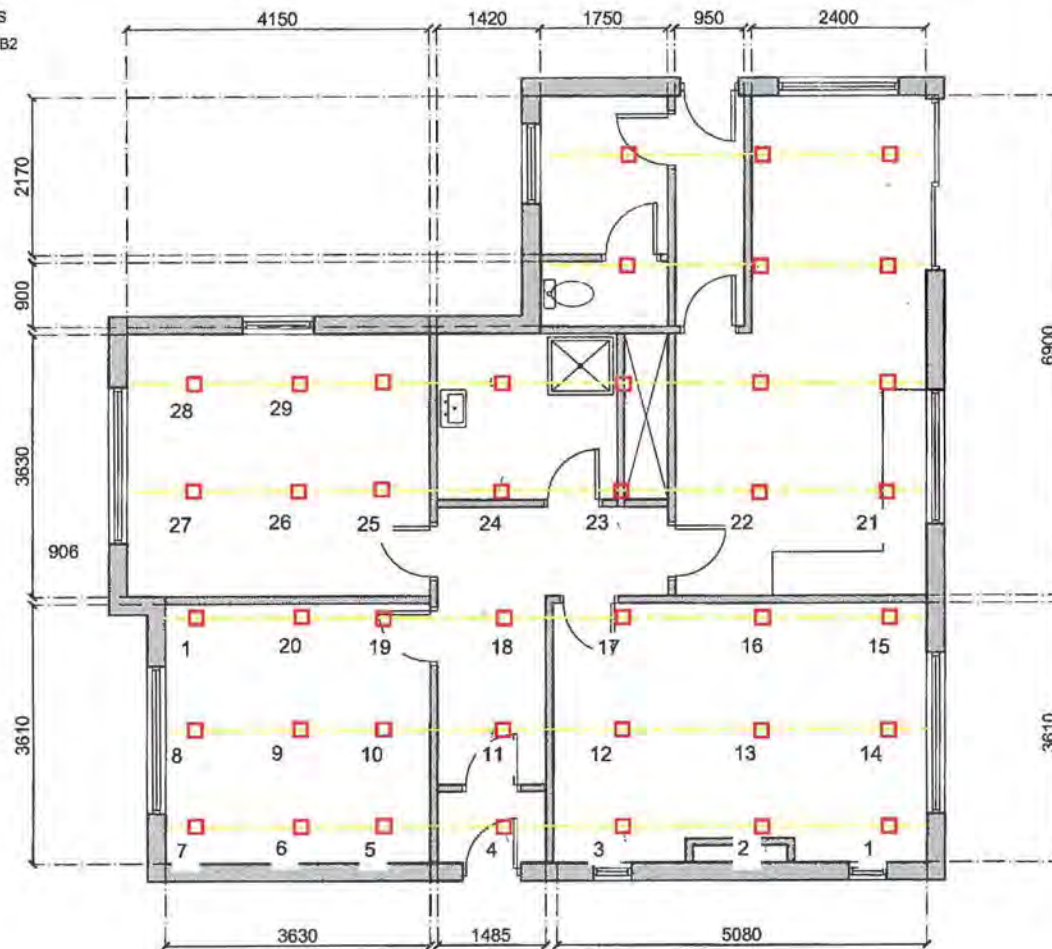
MAX LEVEL DIFFERENCE;

-40mm TO 30mm = 70mm

LEGAL DESC; LOT 2 DP 14126

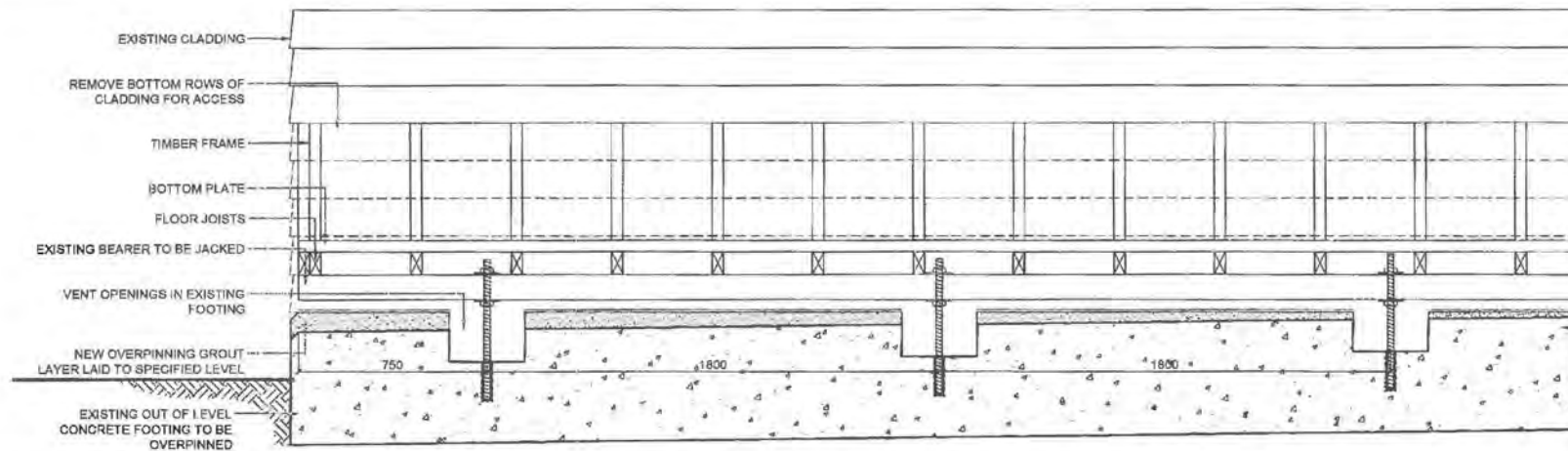
SITE AREA; XXX HECTARES

CONSTRUCTION TYPE; B1/B2

**LEVEL SURVEY - GROUND FLOOR**

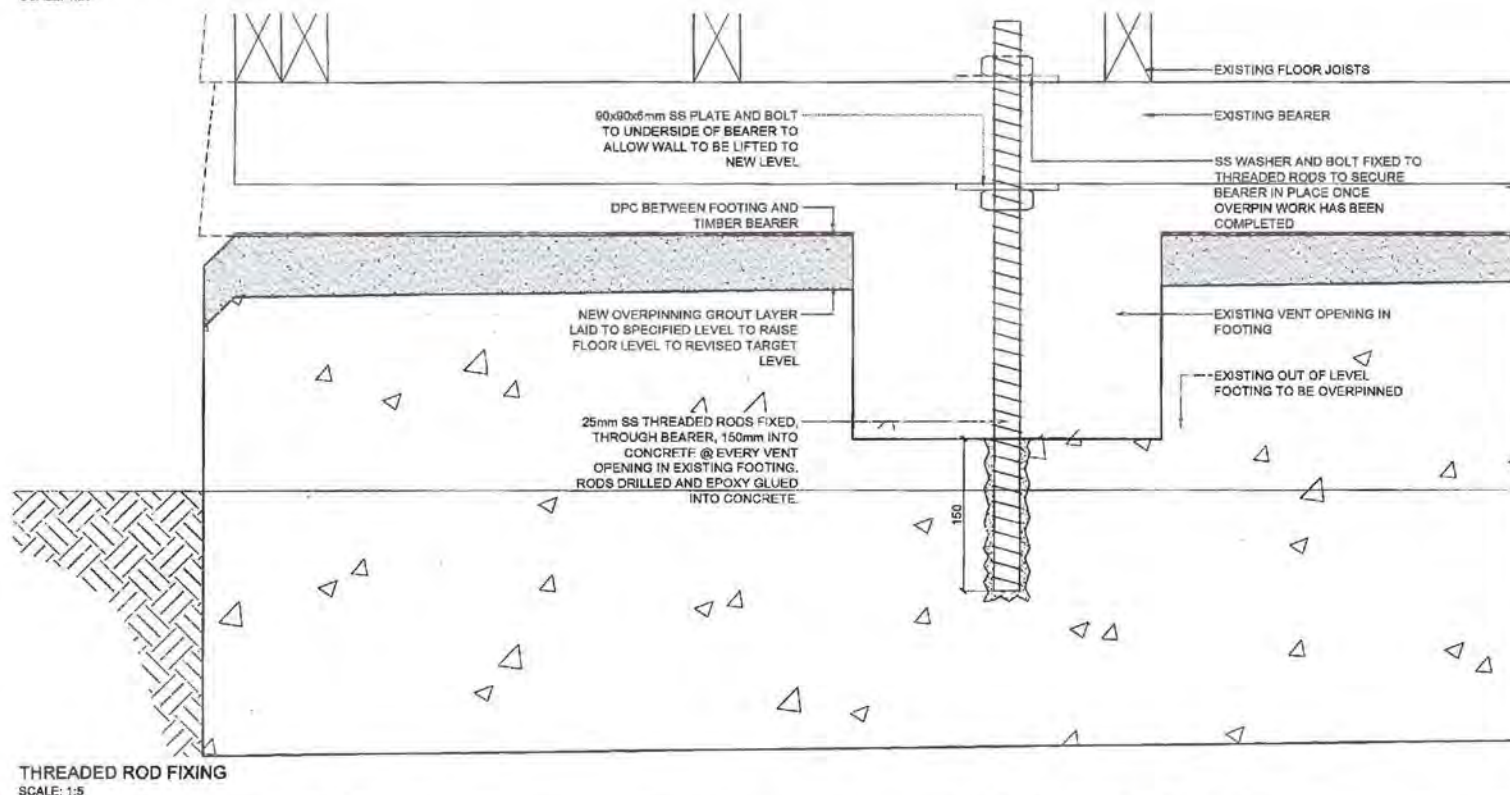
scale 1:100

- Pile 1 - Pile cracked replacement, glavanized fixing.
 Pile 2 - Galvanized fixing.
 Pile 3 - Notching, packing and fixing to be redone.
 Cracked pile, new timber pile installed.
 Pile 4 - No repair work carried out.
 Pile 5 - No repair work carried out.
 Pile 6 - No repair work carried out.
 Pile 7 - No repair work carried out.
 Pile 8 - No repair work carried out.
 Pile 9 - No repair work carried out.
 Pile 10 - No repair work carried out.
 Pile 11 - No repair work carried out.
 Pile 12 - Galvanized connection.
 Pile 13 - Galvanized connection.
 Pile 14 - Galvanized connection
 Pile 15 - No repair work carried out.
 Pile 16 - No repair work carried out.
 Pile 17 - No repair work carried out.
 Pile 18 - No repair work carried out.
 Pile 19 - No repair work carried out.
 Pile 20 - No repair work carried out.
 Pile 21 - No repair work carried out.
 Pile 22 - No repair work carried out.
 Pile 23 - No repair work carried out.
 Pile 24 - Packing, DPC and fixing to be redone.
 Pile 25 - Packing, DPC and fixing to be redone.
 Pile 26 - Notching greater than 20mm, packing, DPC and connection to be redone.
 Pile 27 - Notching greater than 20mm, DPC and connection to be redone.
 Pile 28 - Notching greater than 20mm, packing, DPC and connection to be redone.
 Pile 29 - Notching greater than 20mm, packing, DPC and connection to be redone.



OVERPINNING FOUNDATION

SCALE: 1:20



THREADED ROD FIXING

SCALE: 1:5

NOTES:

- ALL DIMENSIONS TO BE CONFIRMED ON SITE.
- REINFORCEMENT SPACING AND SIZES AS PER NZS4229-2013.
- COVER TO STEEL REINFORCING MIN 75mm.
- DIMENSIONS SHOWN ARE A MIN UNLESS STATED OTHERWISE.
- ALL CONSTRUCTION AND FIXINGS IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE, NZS 3604:2011 & DBH TECHNICAL GUIDANCE.

OVERPINNING MATERIALS:

MC-DUR
EMCEKRETE HP
EMCEKRETE SCC
NAFUFILL KM 250

SIKA
MONOTOP 438

Technical Correspondence



Date 1st May 2013

Claim Number CLM/2011/217456

Address 5 Dudley Street

Engineer D Quinn

Hub Priority

CC

Claim Transfer Advice

This memorandum is notification that the required technical components of the above claim have been complete as identified below.

Status of claim (tick as relates to ECM)

- | | |
|---|---|
| ☐ Input Not Required | ☐ Level 1 |
| ☒ Level 2 General | ☐ Building Exemption Granted |
| ☐ Building Consent Granted | ☐ Confirmed Overcap |

Provided in Aconex, under the above claim number is the following (tick as appropriate)

- | | |
|--|--|
| ☐ Level 1 File Note | |
| ☒ Technical Report | |
| Including: | |
| ☒ Zip Level Survey | ☒ Drawings/Sketches |
| ☐ Design Calculations | ☒ Specifications |
| ☐ Restricted Building Work Inspections | |
| ☐ Geotechnical Investigations | ☐ Shallow ☐ Deep |
| ☐ Approved Building Consent Application | |
| ☐ Approved Schedule 1(k) Building Consent Exemption | |
| ☒ EQR Exempt Building Work File Note | |

Comments/ Instructions: Repair solution attached

Engineer

A handwritten signature in black ink, appearing to be "D Quinn", written over a horizontal line.

D Quinn

Reviewed

A handwritten signature in blue ink, appearing to be "R Wood", written over a horizontal line.

Senior Engineer

Technical Report



Date 1st May 2013

Claim Number CLM/2011/217456

Hub Priority

Engineer D Quinn

5 Dudley Street, Richmond



Dwelling Description

Year of Construction	1935-1960
Number of Storeys	1
Foundation Type(s)	B
Wall Cladding	Medium – Brickolite over weatherboard
Roof Cladding	Heavy – Concrete Tile
Floor Area (approx)	94.8m ²

Site Description

Topography	Flat
Technical Category	TC3
Likely Soil Types	Sand
Shallow Geotech Report	No
Deep Geotech Analysis	No

Technical Report



Observed Damage

Based on the level survey data the floor levels in the house vary by up to 72mm and internal slopes were calculated to be above 0.5%, exceeding the tolerance outlined in the DBH guidelines.

The interior of the house has suffered typical damage from lateral movement and there is clear damage to internal linings. A number of walls are vertically out of plumb. The chimney collapsed and was subsequently removed following the February 2011 event. A heat pump system was installed through emergency works.

An old artesian well had burst under the house due to the earthquake. The claimant's family arranged for it to be cut and capped.

Externally there is frequent cracking throughout the brickolite veneer.



There are numerous cracks in the foundation ring beam ranging in size up to a maximum of 7mm wide.



Technical Report



Liquefaction ejecta had covered a large area of the property and there may be residual ejecta under the house.

The majority of damage is earthquake related.

SK1-Levels Plan with Contours is appended to this report and shows the extent of damage.

Repair Solution

Foundation Solution:

It is proposed to return the floor to within slope tolerances by jacking and packing piles. It will be necessary to jack off the ring foundation to achieve the proposed levels.

The brickolite veneer will need to be removed to allow the packing of joists on the ring foundation. In order to reinstate the veneer an epoxy grout shall be used to provide a level surface. Use Sika Monotop 412. Refer to SK1A and the attached specification for details.

The cracks in the ring beam will require repair according to the attached Crack Repair Specification.

The purpose of re-levelling the foundation of this dwelling is not to make the floors perfectly level, the floors will be brought within what is considered to be a reasonable tolerance, generally between 0.3-0.5% floor slope.

Following re-levelling some doors may require adjustment to ensure that they operate with ease. The most significant humps and depressions in the floor should have been corrected once the sub-floor has been repaired.

Approximate Extent of Repairs

- | | |
|--|------------------|
| 1. Area of floor to be raised | 82m ² |
| (Approximate number of piles 30) | |
| 2. Area of floor to be lowered by notching | 4m ² |
| (Approximate number of piles 2) | |
| 3. Length of Vertical Crack Repair | 3.6 Lin. M |

Note that the remaining repair work identified in the Scope of Damage, except as modified by this report, are still required to be completed.

Drawings and Specifications

The following drawings are appended to this report along with a technical specification

- SK2 Proposed Re-levelling plan
- SK3 Jack and Pack Details
- SK4 Joist Packing Detail
- SK5 Cladding Replacement Detail
- SK6 Notching Detail

Technical Report



Required Inspections

At completion of the re-levelling works an inspection will be required by the contract supervisor to confirm the levels have been brought within what is considered to be a reasonable tolerance. This is in addition to any other inspections required from the BAU Hub supervisor.

The claim may now proceed to final scoping and programming for construction.

Engineer 
D Quinn

Reviewed 
Senior Engineer

Specification



Date 1st May 2013

Claim Number CLM/2011/217456

Address 5 Dudley Street

Engineer D Quinn

Hub North New Brighton

Type B – Jack and Pack

Specification

Maximum total allowable height of packing	90mm
Maximum total allowable depth of notching	25mm
Proposed Level changes	refer attached sketch SK2

Procedure

1. Locate services entry points to the house and allow for disconnection or relief of these during floor levelling operation
2. Check vertical alignment of piles – if out of alignment by more than 50mm in 1m the technical hub is to be contacted for further design
3. Detach piles from bearers and boundary plates from foundation beam
4. Allowable height of packing or notching to take into account pre-existing notches or packs. If either is greater than the limits specified above, then existing pile is to be replaced with new. Refer to relevant drawing for detail
 - a. To raise bearers, locally jack bearers and insert packing to top of pile as required. Jacking and packing to be completed sequentially with adjacent piles to minimise damage to existing structure
 - b. To lower bearers, locally jack bearers and notch with sabre saw or similar by amount required to achieve proposed floor levels
5. Place DPC between pile top and bearer and reattach bearers to piles
6. Reconnect or reinstate services as required
7. Provide a log of any additional consequential damage as a result of the re-levelling process so that this can be included in subsequent repairs.

Notes:

1. Method statement is an adaptation of the example in Appendix A of the MBIE Guidelines: *Repairing and rebuilding houses affected by the Canterbury earthquakes*

PROPERTY NOTES

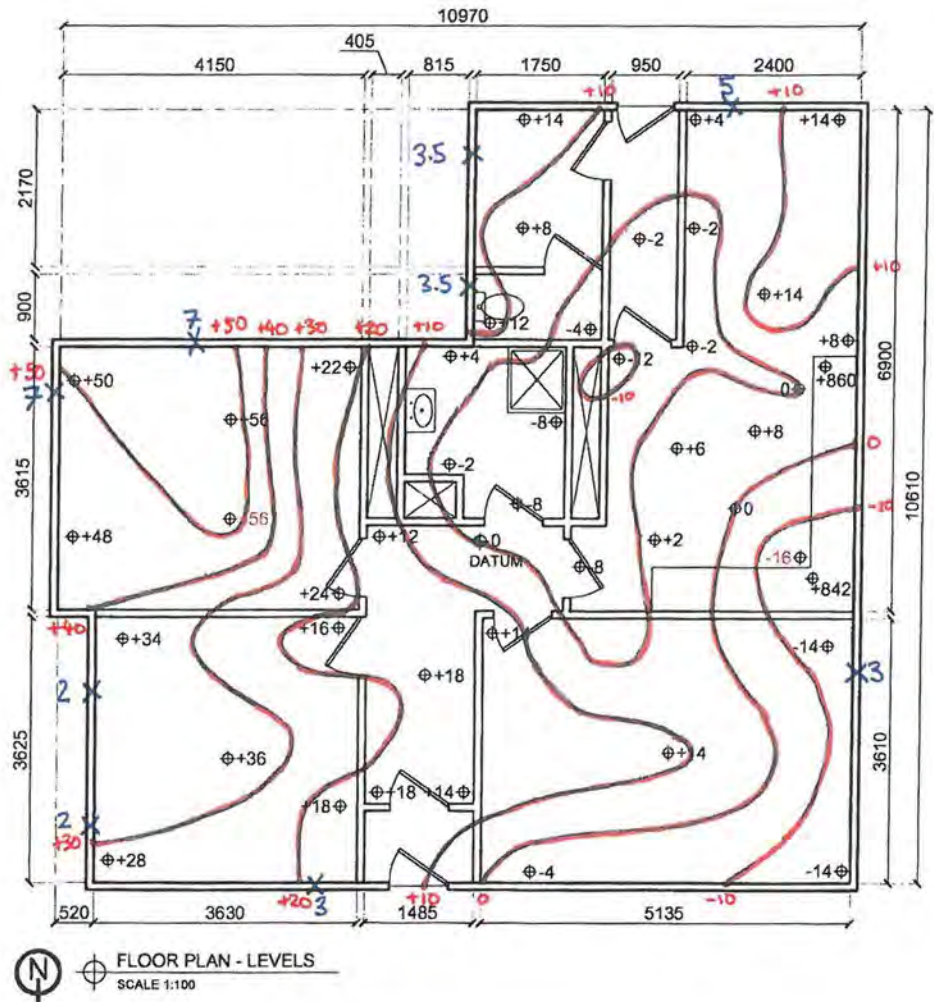
Legal Description: LOT 2 DP 14126
 Land Area: 400 m²
 Dwelling: 94.8 m²
 House Construction: TYPE B1/B2
 Light/Medium weight wall cladding & Heavyweight roof cladding.
 Technical Category: TC3

Overall Level Measurement Differential:
 -16 to +56 = 72mm

Notes:

Levels adjusted for floor coverings
 Zero OK

~ 10mm contour lines
 X Cracks in Ring Beam



SITE LOCATION PLAN
 NOT TO SCALE

Fletcher
Earthquake Recovery

Technical Office,
 11 Deans Avenue, Riccarton
 PO Box 80 105, Riccarton
 Christchurch 8440, New Zealand

TITLE		LEVELS DRAWING	CLM/2011/217456 LVLS	DESIGNED	DQ
ADDRESS	5 DUDLEY STREET, RICHMOND, CHRISTCHURCH	DATE	17-04-13	DRAWN	PK
		SCALE	1:100	SHEET NO.	SK1

PROPERTY NOTES

Legal Description: LOT 2 DP 14126
 Land Area: 400 m²
 Dwelling: 94.8 m²
 House Construction: TYPE B1/B2
 Light/Medium weight wall cladding & Heavyweight roof cladding.
 Technical Category: TC3

Overall Level Measurement Differential:
 -16 to +56 = 72mm

Notes:

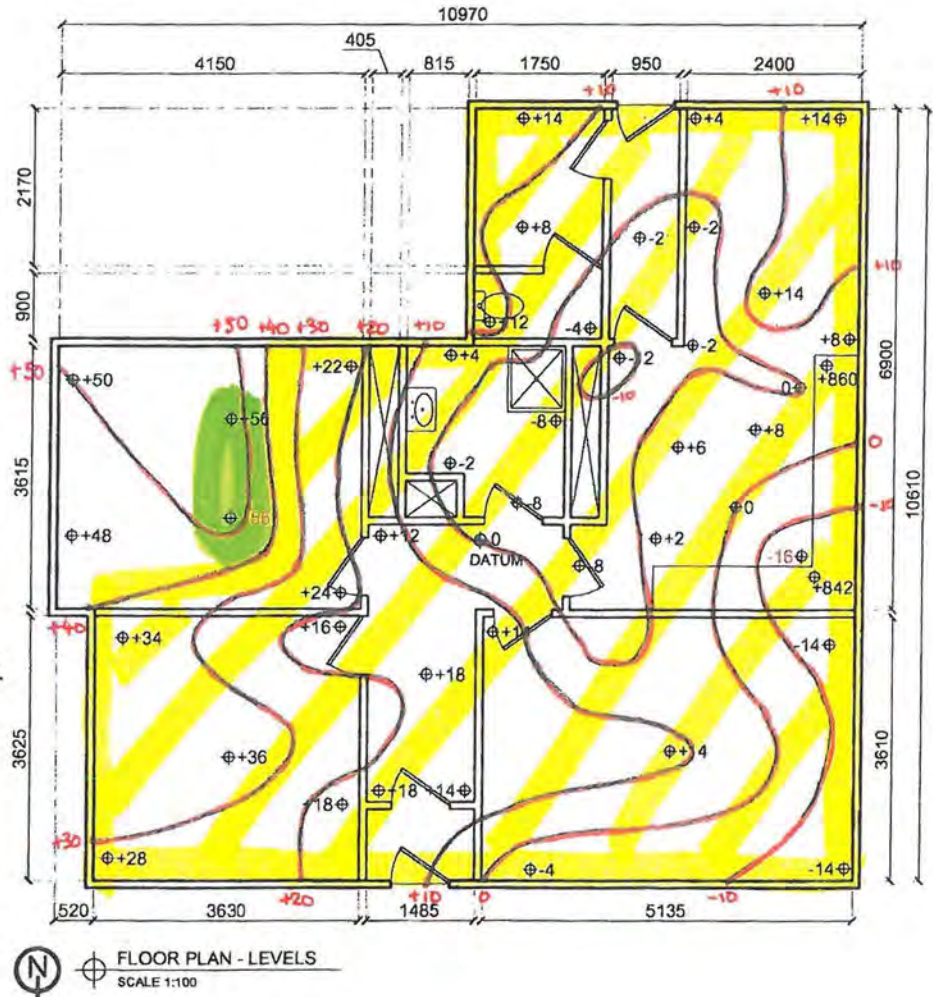
Levels adjusted for floor coverings
 Zero OK

 10mm Contour Lines

 Jack & Pack T.L. = +50

 Notch Bearers T.L. = +50

* Brickolite veneer to be removed completely.
 Weatherboard to be removed as required to expose structure.
 Ring beam top surface to be re-levelled with Sika Monotop 412 to provide level surface for replacement cladding.

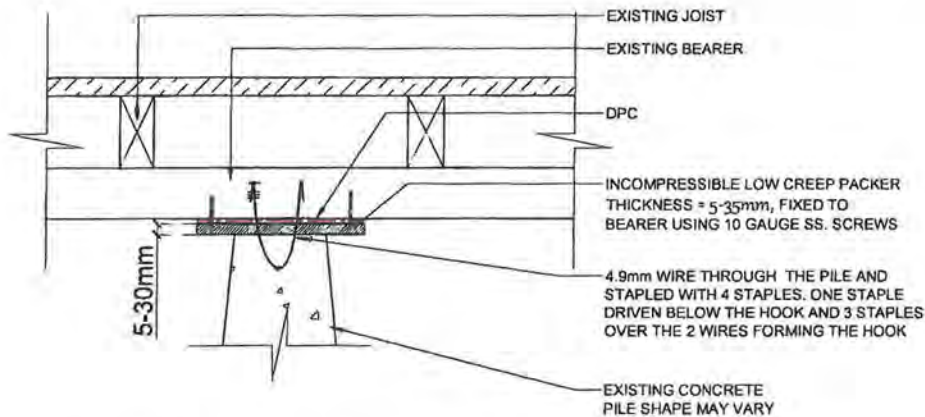


SITE LOCATION PLAN
 NOT TO SCALE

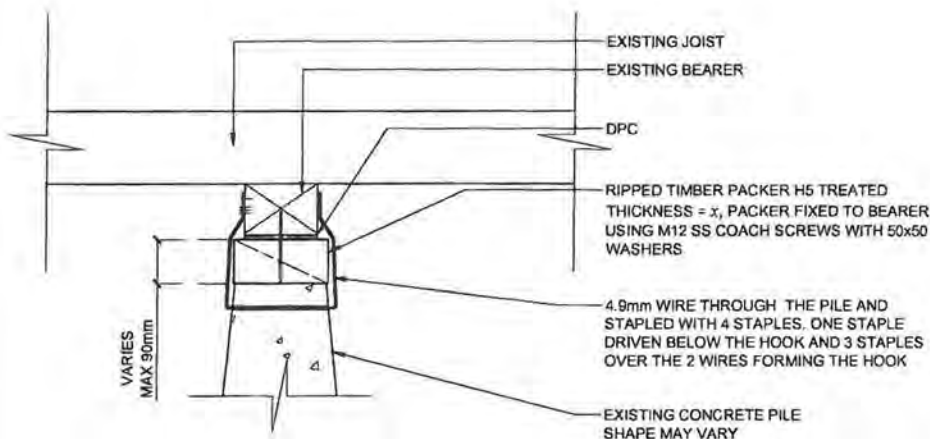
Fletcher
Earthquake Recovery

Technical Office,
 11 Deans Avenue, Riccarton
 PO Box 80 105, Riccarton
 Christchurch 8440, New Zealand

TITLE	LEVELS DRAWING	CLM/2011/217456 LVLS	DESIGNED	DQ
ADDRESS	5 DUDLEY STREET, RICHMOND, CHRISTCHURCH	DATE 17-04-13 SCALE 1:100	DRAWN	PK
			SHEET NO.	SK2



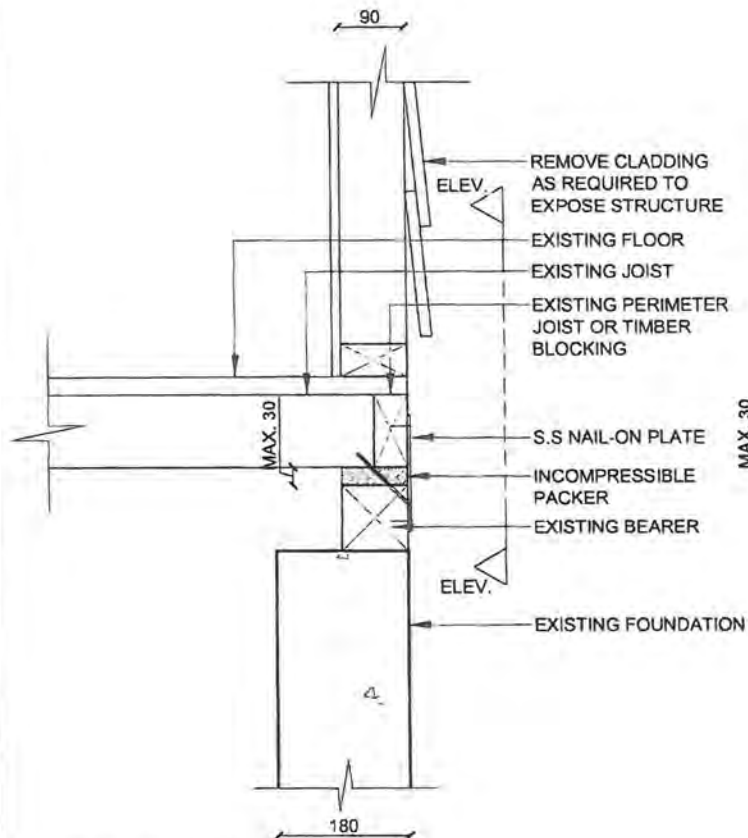
TYP. CONCRETE PILE PACKING DETAIL (plastic shims)



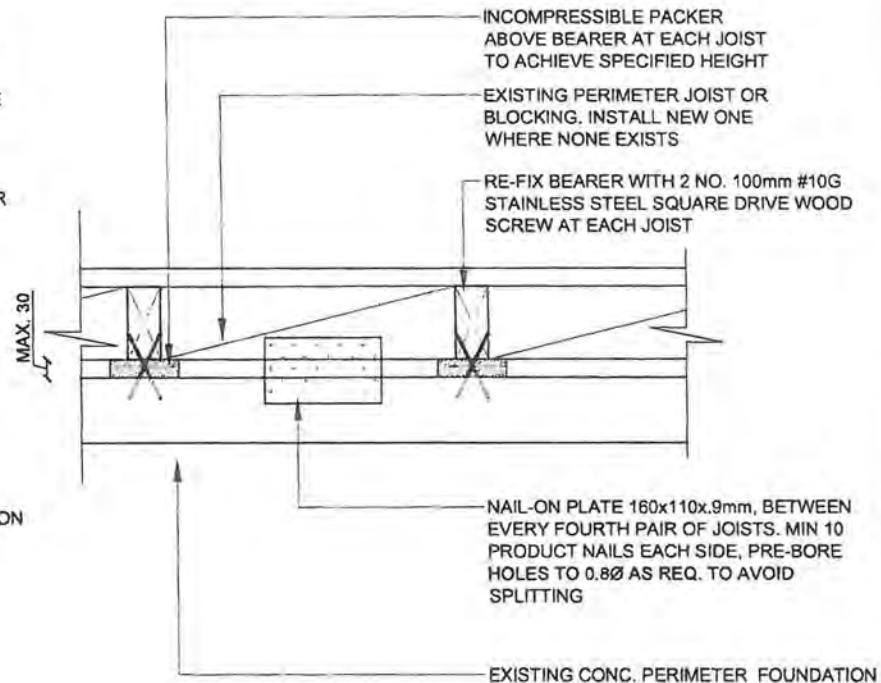
TYP. CONCRETE PILE PACKING DETAIL (ripped timber)

NOTES

- JACK & PACK EXISTING BEARERS TO LIFT SUBFLOOR FRAMING TO DESIRED LEVEL. REINSTATE CONNECTIONS TO NZS3604 OR TO DETAILS SHOWN
- USE PLASTIC SHIMS TO PACK JOIST TO APPROPRIATE LEVEL $X = 5-30\text{mm}$
- USE RIPPED TIMBER PACKER TO BRING FLOOR TO APPROPRIATE LEVEL. MIN. TIMBER PACKER THICKNESS 30mm.
- ALL SAWN TIMBER PACKERS SHALL BE INSTALLED WITH THE GRAIN PARALLEL TO THE BEARER
- WHERE PACKER THICKNESS GREATER THAN 45mm, FIX PACKER WITH 2-M12 SS. COACH SCREWS 90-150mm TO SUIT, WITH 50x50 WASHER, MIN THREAD EMBEDMENT TO BE 50mm
- JACK AND PACK PILES THICKNESS AS SHOWN AND GRADUALLY INCREASE THICKNESS FROM ONE POINT TO ANOTHER
- MAXIMUM PACKING HEIGHT TO BE LESS THAN 100mm OTHERWISE NEW PILES REQUIRED.
- NEW PILE FIXINGS ARE TO COMPLY WITH NZS 3604:2011 SECTION 6
- CONFIRM LEVELS ON SITE PRIOR TO RE-LEVELING
- ALL STEEL FIXINGS TO BE TYPE 304 STAINLESS STEEL
- ALL DETAILS TO BE READ IN CONJUNCTION WITH ENGINEERS TECHNICAL REPORT AND SPECIFICATION.



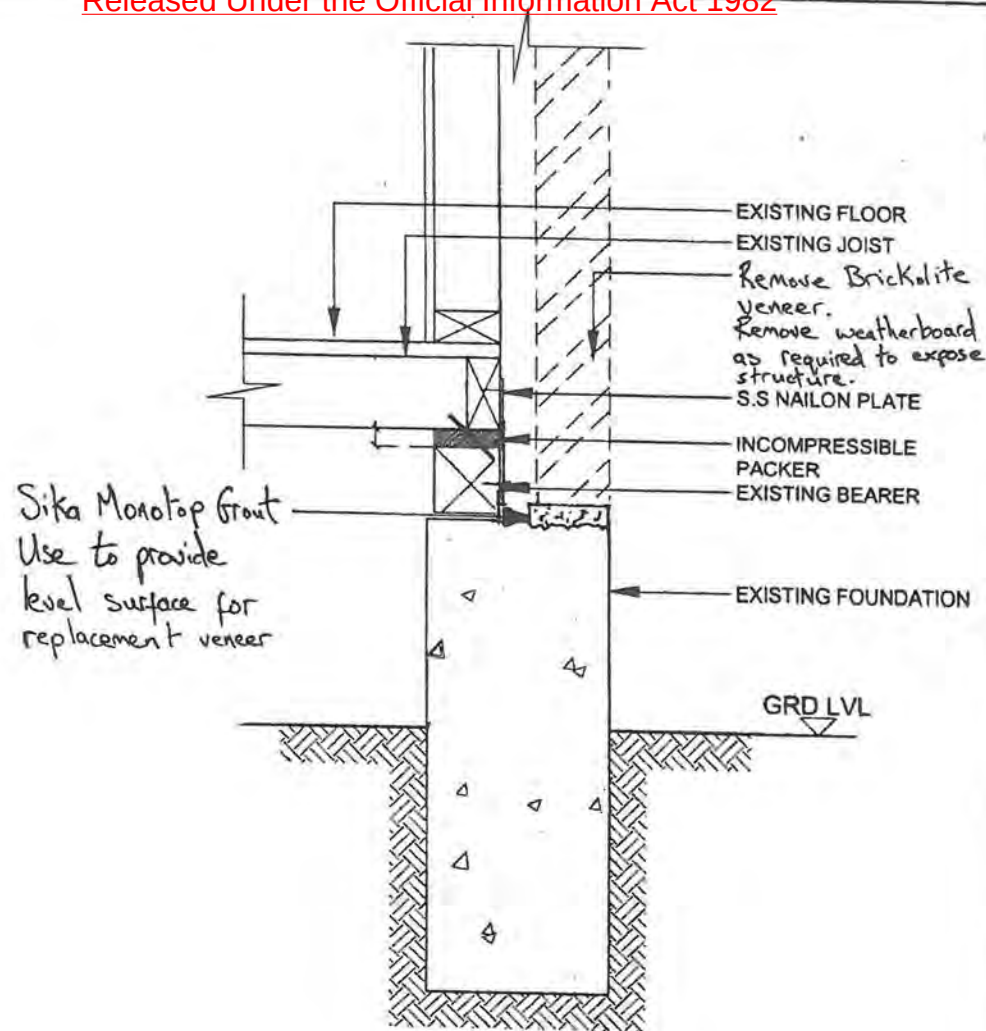
FOUNDATION PACKING DETAIL
WITH S.S NAIL-ON PLATE
SCALE 1:10 @ A4



ELEVATION
SCALE 1:10 @ A4

NOTES

- JACK & PACK EXISTING JOISTS TO LIFT SUBFLOOR FRAMING TO DESIRED LEVEL. REINSTATE CONNECTIONS TO NZS3604:2011
- USE PLASTIC SHIMS TO PACK JOIST TO APPROPRIATE LEVEL FROM X= 0-30mm
- JACK AND PACK PILES THICKNESS AS SHOWN AND GRADUALLY INCREASE THICKNESS FROM ONE POINT TO ANOTHER
- CONFIRM LEVELS ON SITE PRIOR TO RE-LEVELING
- FIX NEW 160x110x0.9mm SS NAIL-ON PLATE BETWEEN EVERY FOURTH PAIR OF PACKED JOISTS. FIX WITH MIN 10 SS PRODUCT NAILS TO PERIMETER JOIST AND TO BEARER
- ALL DETAILS TO BE READ IN CONJUNCTION WITH ENGINEERS TECHNICAL REPORT AND SPECIFICATION



NOTES

Fletcher.
Earthquake Recovery

Technical Office,
11 Deans Avenue, Riccarton
PO Box 80 105, Riccarton
Christchurch 8440, New Zealand

TITLE CLADDING RELEVELLING DETAIL
ADDRESS 5 DUDLEY STREET
RICHMOND

REV NO. REVISION

DATE APP.

CLM/2011/217436

DESIGNED DR

DATE 1.5.13

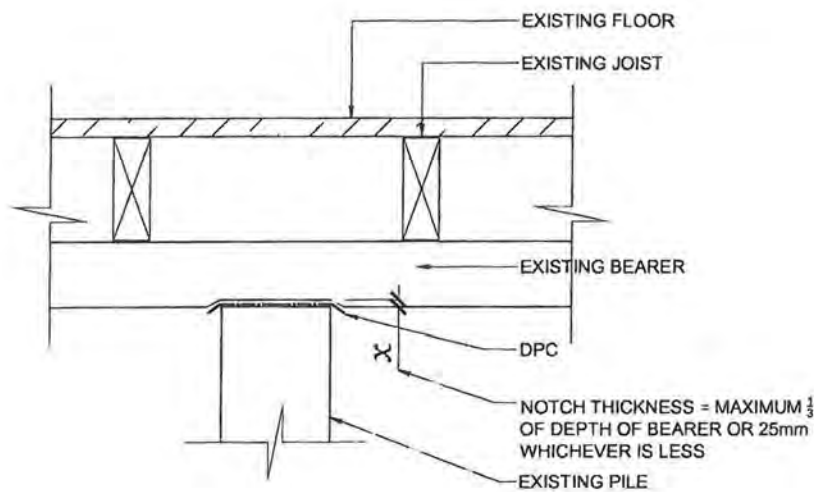
DRAWN DR

SCALE
1:10 @ A4

SHEET NO.
SK5

NOTES

1. ALL DETAILS TO BE READ IN CONJUNCTION WITH ENGINEERS TECHNICAL REPORT AND SPECIFICATION.
2. REINSTATED CONNECTIONS TO COMPLY WITH NZS 3604

TYPICAL NOTCHING DETAIL

Specification



Date 1st May 2013

Claim Number CLM/2011/217456

Address 5 Dudley Street

Engineer D Quinn

Hub Priority

Crack Repair in Foundations and Walls

Definitions

Surface penetration: Where cosmetic repair is required. Some hairline cracking may occur in future.

Partial penetration: Where it is not necessary to reinstate the full structural strength of the concrete but more than a surface repair is required to either protect the durability of reinforcement or where there is some strength requirement for the connection.

Full Penetration: Where it is desirable to reinstate the full strength of the concrete at the location of the crack.

Summary of Required Repairs Based on Crack Width

Category	Vertical faces i.e. -perimeter foundation walls			
	Crack width			
	<0.3mm	0.3-3.5mm	3.5-5mm	5-10mm
Surface Penetration	No repair required	Type VA	Type VA	N/A
Partial Penetration	No Repair required	Type VB	Type VC	N/A
Full Penetration	Type VD	Type VD	Specific design	Specific Repair Required or Partial Foundation Replacement

Specification



Procedure

For all repair types it is first recommended that a small trial section is conducted using the suggested technique. The most common problem likely to be encountered is unreasonable volumes of the repair product being used due to the porous nature of the element being repaired. Clearly a very strong crack repair in poor concrete is often unnecessary. In this case a revised repair technique will need to be developed.

Type VA

Product: Sika Anchorfix 3, MCDur Kleber EP34

- Used for – surface penetration repairs of vertical surfaces for cracks 0.3mm to 5mm
- This repair assumes that access to the crack is from one side only.
- Minimum penetration of the repair product shall be 15% of the depth of the structural member or 30mm whichever is greater.
- Grind out crack to a depth of approximately 30mm to allow penetration of repair product.
- Clean crack by vigorous brushing or with high pressure water. If water used allow to dry.
- Fill crack with a 2 part epoxy anchoring adhesive and finish surface to match existing.
- All products shall be used in accordance with the manufacturer specification.
- Where specified paint over crack to match existing.

Type VB

Product: Sika Injectokit-TH

- Used for – partial penetration repairs of vertical surfaces for cracks 0.3mm to 3.5mm
- This repair assumes that access to the crack is one side only.
- Minimum penetration of the repair product shall be at least 50% of the depth of the structural member.
- Drill 6mm holes along the length of the crack at 100mm centres. Holes to be 30% of the depth of the structural member.
- Clean holes and crack with high pressure water. Allow to dry.
- Surface fix injection ports at each 6mm hole position using manufactures recommended product. Surface seal crack between injection ports.
- Inject thixotropic epoxy into lowest injection port until epoxy is seen coming out of adjacent port. Cap port and move to next injection point. Continue until all ports have been used.
- All epoxy and port injection adhesive must be from the same manufacturer. All products shall be used in accordance with the manufacturer specification.
- When products have cured, remove injection ports and surface sealer and make good surface.
- Where specified paint over crack to match existing.

EXEMPT BUILDING WORK FILE RECORD



THIS IS A RECORD OF THE DECISION TO COMPLETE EARTHQUAKE REPAIRS WITHOUT BUILDING CONSENT AS THE WORKS DESCRIBED HAVE BEEN DETERMINED AS EXEMPT FROM THE NEED FOR BUILDING CONSENT.

Claim Number 2011/217456
Street Address 5 Dudley Street
Suburb Richmond
City/Town Christchurch

A brief description of the work is as follows (and as otherwise described within the body of the claim file);

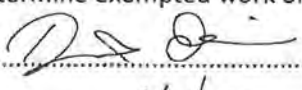
The timber floor is out of level by 72mm and exceeds slopes of 1 in 200 in some areas. The proposed remedial work is to pack/notch bearers to relevel on existing piles and the ring beam, and crack repair.

Under Form B-391 from CCC, section 2: where the building work to existing perimeter foundation wall, foundation piles or concrete floor slab involving just the repair of cracks and levelling within the indicator criteria for a foundation re-level in Table 2.3, Department of building and housing guidance document 'Revised guidance on repairing and rebuilding houses affected by the Canterbury earthquake sequence' this type of building work is exempt under schedule 1 (a).

Accordingly I have determined that this work is exempted under Schedule 1(a) of the Building Act 2004

This assessment and record was completed by myself as an authorised agent of The Fletcher Construction Company Limited, acting under the delegated authority of the company to determine exempted work on behalf of the owner.

Name(print) David Quinn

Signature 

Position⁷ Engineer

Hub Technical

Date 6/5/13

Provided to homeowner/agent Name)..... Date.....
(provided to the property owner or his/her authorised agent on request only).

Note¹ The homeowners/agents authority to apply Exemption status is given in the Building Act 2004, Schedule 1, this exemption information is augmented by supplementary guidance issued by The Department of Building & Housing and by the relevant Councils (i.e. - CCC Form B390).

Note² Only work prescribed within Schedule 1(a- j) and (m & n) of the Building Act 2004 is recorded on this form.

Note³ Work Exempted under Schedule 1(k) of the Building Act 2004 is not to be recorded on this form. Claimants should refer to the formal "Exemption from building consent" records of the relevant City or District Council. (viewing EQR Aconex File Recording System may assist).

Note⁴ For background information refer to 'Your guide to the repair process (with Fletcher EQR)' the home owners information bulletin provided by EQR staff, usually the Community Liaison Officer, just prior to or at the time of the scoping of the works.

Note⁵ This record applies to earthquake damaged residential buildings in the Canterbury Region following earthquake events of 2010/2011.

Note⁶ Building remediation work for the majority of Fletcher EQR projects is completed by Licensed Building Practitioners (LBP's)

Note⁷ This record will usually be completed by the Works Supervisor, but may be completed by his/her immediate (Hub) Works Manager.

Note⁸ This record is held in the Fletcher EQR Aconex File Recording System (an online information management system).

Product Data Sheet
Version Nos.: 12/12 (replaces 12/11)

Sika® MonoTop®-412 N

R4 Structural Repair Mortar

Product Description	Sika® MonoTop®-412 N is a 1-component, fibre reinforced, low shrinkage structural repair mortar meeting the requirement of Class-R4 of EN 1504-3.
Uses	• Suitable for restoration work (Principle 3, method 3.1 & 3.3 of EN 1504-9). Repair of spalling and damaged concrete in buildings, bridges, infrastructure and superstructure works. • Suitable for structural strengthening (principle 4, method 4.4 of EN 1504-9). Increasing the bearing capacity of the concrete structure by adding mortar. • Suitable for preserving or restoring passivity (principle 7, method 7.1 and 7.2 of EN 1504-9). Increasing cover with additional mortar and replacing contaminated or carbonated concrete. • Tested for application under live dynamic loading.
Advantages	• Superior workability • Suitable for hand application • Can be applied up to 50 mm thick per application layer • Class R4 of EN 1504-3 • Suitable for structural repair • Sulphate resistant • Very low shrinkage behaviour • Does not require a bonding primer even when manually applied • Low permeability • A1 fire rating
Tests / Approval / Standards	(BAM) Bundesanstalt für Materialforschung und -prüfung - Prüfung von Instandsetzungsmörtel nr. VII.1/126904/1 dated 1 July 2008 Measurement of Specific Electrical Mortar Resistance report, Hochschule für Technik Switzerland dated 14th April 2010
Product Data	
Appearance / Colour	Grey powder
Packaging	25kg bag
Storage & Shelf-Life	Twelve (12) months from date of production if stored properly in undamaged original sealed packaging, in dry cooled conditions.
Technical Data	
Chemical Base	Sulphate resistant cement, selected aggregates and additives
Density	Fresh mortar density: ~ 2.100kg/l
Grading	D _{max} : 2.0mm
Layer Thickness	6mm min / 50mm max.
Mechanical / Physical Properties	20°C in lab conditions



Compressive Strength (EN 196-1)			
	1 day	7 days	28 days
	~ 17 N/mm ² (MPa)	~ 40 N/mm ² (MPa)	~ 55 N/mm ² (MPa)

Flexural Strength (EN 196-1)			
	1 day	7 days	28 days
	~ 4 N/mm ² (MPa)	~ 6 N/mm ² (MPa)	~ 8 N/mm ² (MPa)

Shrinkage	~500 µm/m @ 20°C 65% relative humidity at 28 days	(EN 12617-4)
Thermal Expansion Coefficient	10.5 x 10 ⁻⁶ m/m°C	(EN 1770)
Electrical Resistivity	< 100 kΩcm	(EN 12696)
Chloride Ion Penetrability Class	< 2000 coulombs - Low	(ASTM C-1202)

System Information

System Structures	Sika® MonoTop®-412 N is part of the range of Sika mortars complying with the relevant part of European Standard EN 1504 and comprising of:	
	Bonding primer and reinforcement corrosion protection	
	- Sika MonoTop®-910 N:	Normal use
	- SikaTop® Armatec® 110 EpoCem®:	Demanding requirements
	Repair mortar:	
	- Sika MonoTop®-412 N:	Structural hand & machine applied repair mortar (R4 type)
	Fairing coat:	
	- Sika MonoTop®-723N:	Pore sealer and smoothing mortar

Application Details

Consumption	This depends on the substrate roughness and thickness of layer applied. As a guide, ~ 19kg of powder per cm thick per m ² 1 bag yields approximately 13.7 litres of mortar
Substrate Quality	<i>Concrete:</i> The concrete shall be free from dust, loose material, surface contamination and materials which reduce bond or prevent suction or wetting by repair materials. <i>Steel reinforcement</i> Rust, scale, mortar, concrete, dust and other loose and deleterious material which reduces bond or contributes to corrosion shall be removed. Reference shall be made to EN1504-10 for specific requirements.

Substrate Preparation / Priming**Concrete:**

Delaminated, weak, damaged and deteriorated concrete and where necessary sound concrete shall be removed by suitable means.

Steel reinforcement:

Surfaces shall be prepared using abrasive blast cleaning techniques or high pressure water-blasting.

Bonding primer:

On a well prepared and roughened substrate a bonding primer is generally not required. When a bonding primer is not required pre-wet the surface. The surface shall not be allowed to dry before application of the concrete repair mortar. The surface shall achieve a dark matt appearance without glistening, and surface pores and pits shall not contain water.

When a bonding primer is necessary apply Sika® MonoTop®-910 N (refer to the relevant Product Data Sheet) or the same product – Sika® MonoTop®-412 N – mixed wetter than normally required, applied well on the substrate with a stiff brush. In both cases, subsequent application of the repair mortar shall be done wet on wet.

Reinforcement coating:

Where a reinforcement coating is required as a barrier (e.g. in case of insufficient concrete cover), apply to the whole exposed circumference two coats of Sika® MonoTop®-910 N (Refer to the relevant Product Data Sheet).

Application Conditions / Limits

Substrate Temperature +5°C min.; +30°C max.

Ambient Temperature +5°C min.; +30°C max.

Application Instructions

Mixing Ratio ~ 3.6 to 3.9 litres of water for 25 kg powder

Mixing

Sika® MonoTop®-412 N can be mixed with a low speed (< 500 rpm) hand drill mixer. For machine application, a force action mixer may mix 2 to 3 bags or more at once depending on the type and size of mixer. In small quantities, Sika MonoTop®-412 N can also be manually mixed.

Pour the water in the correct proportion into a suitable mixing container. While stirring slowly, add the powder to the water. Mixed thoroughly at least for 3 minutes to the required consistency

Application Method / Tools

Sika® MonoTop®-412 N can be applied either manually using traditional techniques or mechanically using wet spray equipment.

When a bonding primer is required, ensure it is still tacky when the repair material is applied (wet on wet technique). When applied manually, press the repair mortar with a trowel, pressing it firmly on the substrate.

Finishing for both hand and machine application, can be done with the relevant roughcast as soon as the mortar has started to stiffen.

Cleaning of Tools

Clean all tools and application equipment with water immediately after use. Hardened material can only be mechanically removed.

Pot life

at +20°C: ~40 minutes

Notes on Application / Limitations

- Refer to the Method Statement for Concrete Repair using the Sika® MonoTop® system for more information regarding substrate preparation or refer to the recommendations provided in EN 1504-10
- Avoid application in direct sun and/or strong wind.
- Do not add water over recommended dosage
- Apply only to sound, prepared substrate
- Do not add additional water during the surface finishing as this will cause discoloration and cracking
- Protect freshly applied material from freezing

Curing Details**Curing Treatment**

Protect the fresh mortar from early dehydration using the relevant curing method.



Value Base	All technical data stated in this Product Data Sheet are based on laboratory tests. Actual measured data may vary due to circumstances beyond our control.
Local Restrictions	Please note that as a result of specific local regulations the performance of this product may vary from country to country. Please consult the local Product Data Sheet for the exact description of the application fields.
Health and Safety Information	For information and advice on the safe handling, storage and disposal of chemical products, users shall refer to the most recent Material Safety Data Sheet containing physical, ecological, toxicological and other safety-related data.
Legal Notes	The information, and, in particular, the recommendations relating to the application and end-use of Sika products, are given in good faith based on Sika's current knowledge and experience of the products when properly stored, handled and applied under normal conditions in accordance with Sika's recommendations. In practice, the differences in materials, substrates and actual site conditions are such that no warranty in respect of merchantability or of fitness for a particular purpose, nor any liability arising out of any legal relationship whatsoever, can be inferred either from this information, or from any written recommendations, or from any other advice offered. The user of the product must test the product's suitability for the intended application and purpose. Sika reserves the right to change the properties of its products. The proprietary rights of third parties must be observed. All orders are accepted subject to our current terms of sale and delivery. Users must always refer to the most recent issue of the local Product Data Sheet for the product concerned, copies of which will be supplied on request.



Sika (NZ) Limited
PO Box 19192 | Auckland 1746 | NZ
0800 745 269 | www.sika.co.nz

Innovation & Consistency | since 1910

CASH SETTLED CLAIM(S)

The following information contains documents relating to claim(s) that were cash settled for the property.

If you require sign off or repair completion documents, they may be obtainable from the contractors who completed the substantive repairs at the property.



Statement of Claim Checklist / Repair Strategy

Date: 29/1/11

Author: Rob Woodworth

CLM/2010/027427

Catherine Cuthbertson

5 DUDLEY STREET

RICHMOND

CHRISTCHURCH

H: [REDACTED]

W:

M:

LA: Rob Woodworth

Estimator: Colin Russ

Room	Earthquake Damage Y/N	Walls ✓	Ceiling ✓	Floor ✓	Repair Strategy
Lounge	Y	✓	✓		take out - stop - paint ceiling take out stop + paint walls
Dining Room	Y	✓			strip paper - take - stop cracks rehang wallpaper.
Kitchen					
Family Room					
Bedroom 1	Y		✓	✓	lift + restretch carpet. take - fill - paint cornice - ceiling.
Ensuite					
Bedroom 2	N				
Bedroom 3					

c.c.

Catherine Cuthbertson
 5 DUDLEY STREET
 RICHMOND
 CHRISTCHURCH
 H [REDACTED]
 W:
 M:

SOC / Repair Strategy - Page 2

Room	Earthquake Damage	Walls	Ceiling	Floor	
	Y/N	✓	✓	✓	
Bedroom 4					
Bathroom	N				
Toilet 1	N				
Toilet 2					
Office / Study					
Rumpus					
Entry / Hall(s)	Y	✓			Strip paper - rake out + stop cracks. rehang wallpaper above timber panelling 1.9 high.
Stairwell					
Laundry	N				
Garage					
Back Other Porch	N				

Catherine Cuthbertson
 5 DUDLEY STREET
 RICHMOND
 CHRISTCHURCH
 H: [REDACTED]
 W:
 M:

SOC / Repair Strategy - Page 3

Item		Event Damage Y / N	
Roof		N	
EXTERNAL WALLS	North	Y	Rake out + repoint mortar cracks
	South	Y	Rake out + repoint mortar cracks (Brick cladding)
	East	Y	Rake out + repoint mortar cracks
	West	Y	Rake out + repoint mortar cracks
	West	Y	Replace glass pane 630x530 640x530 wind break near entry door.
Decks		N/A	
CHIMNEY	Base	N	
	Ceiling Cavity	N	
	Above Roof	Y	reinstate chimney to former height. claimant has had removed and made weathertight
	Fireplace	N	

C.C.

 (Initials)

SOC / Repair Strategy – Page 4

Catherine Cuthbertson
 5 DUDLEY STREET
 RICHMOND
 CHRISTCHURCH
 H: [REDACTED]
 W:
 M:

Item	Event Damage	
	Y / N	
Foundations	N	
Piling	N	
Services	N/A	
Other Dwelling Items	N/A	
Outbuildings Carport	N	
Land & Retaining Walls (Discuss with Supervisor)		

Supplementary Notes:

I confirm the rooms and areas listed above have been inspected by an EQC representative.

Damage caused by the event has been noted and to my knowledge there are no other areas of damage resulting from the event.

Signature of Claimant: C. Cuthbertson Dated: 29/1/11

.....
 (Initials)

NOTE: THIS FORM IS TO BE COMPLETED IN THE CLAIMANT'S PRESENCE.

OFFICE USE ONLY - LOSS ADJUSTER TO COMPLETE

Date: 29/1/11Claim Number: 2010/027427Loss Adjuster: Rob WoodworthCosting Estimate

\$1800.00 Lounge	\$1600.00 Dining Room	\$ Kitchen
\$N/A Family Room	\$850.00 Bed 1	\$N/A Ensuite
\$ - Bed 2	\$N/A Bed 3	\$N/A Bed 4
\$ - Bathroom	\$ - Toilet 1	\$N/A Toilet 2
\$N/A Office/Study	\$N/A Rumpus	\$584.00 Entry/Hall(s)
\$N/A Stairwell	\$ - Laundry	\$ - Outbuildings/Garage carport

OFFICE USE ONLY - LOSS ADJUSTER TO COMPLETE

Date: 29/1/11 Claim Number: 2010/027427

Loss Adjuster: Rob Woodworth

\$95.00 South	\$65.00 North	\$300.00 West
\$110.00 East	\$4400.00 Chimney	\$
\$	\$	\$

Column Totals:

\$ 2005.00 \$ 6915.00 \$ 884.00

Sub Total: \$ 9804.00

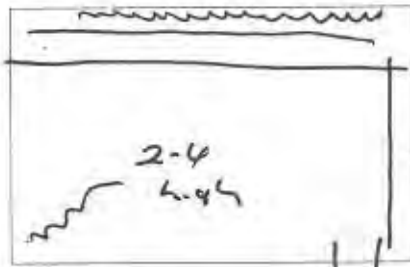
P&G, Margin, GST: \$ 3590.23

TOTAL: \$ 13 394.23

EARTHQUAKE COMMISSION

Date: 29/1/11	Claim Number: 2010/ 027427	Estimator Name: Colin Russ
------------------	-------------------------------	-------------------------------

Dwelling Inspection Checklist: Show measurements indicate damage



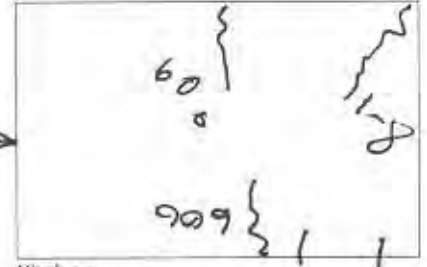
Lounge

5-1

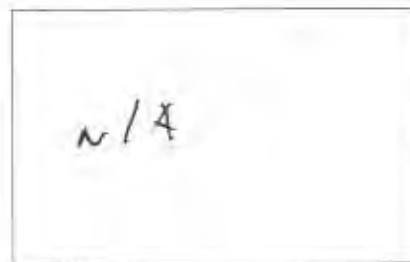


Dining Room

6-9



Kitchen



Family Room

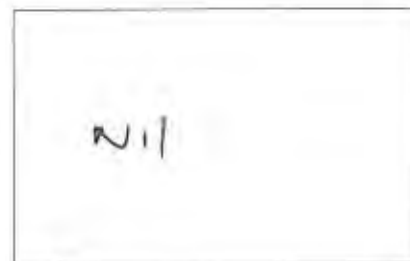


Bed 1

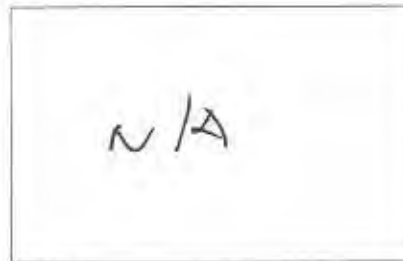
3-6



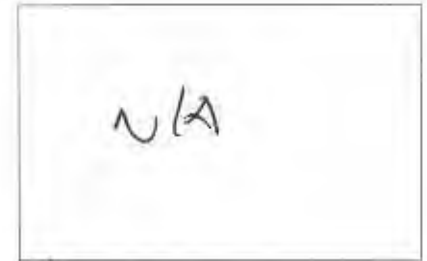
Ensuite



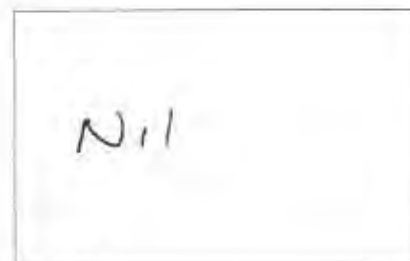
Bed 2



Bed 3



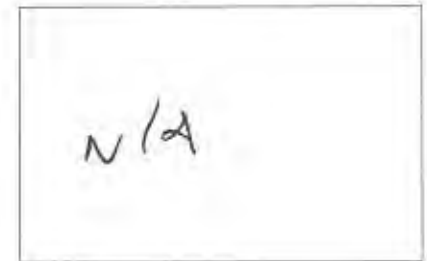
Bed 4



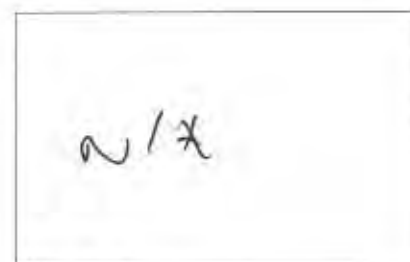
Bathroom



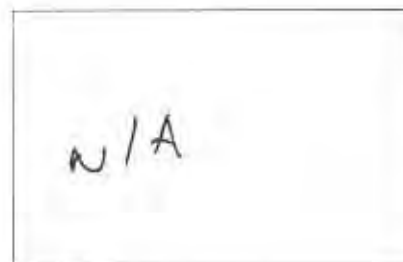
Toilet 1



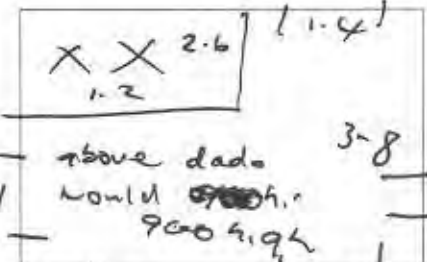
Toilet 2



Office/Study



Rumpus



Entry/Hall(s)

e.e.

Date:

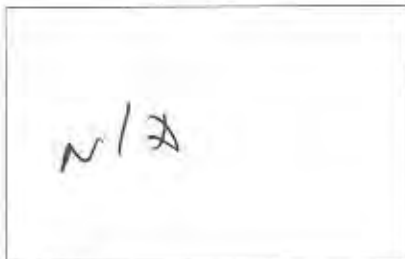
29/1/11

Claim Number: 2010/

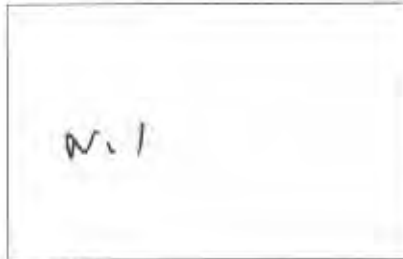
027427

Estimator Name:

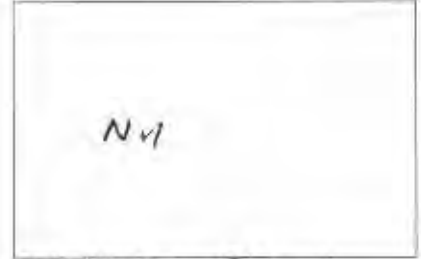
Colin Russ

Dwelling Inspection Checklist: Show measurements indicate damage

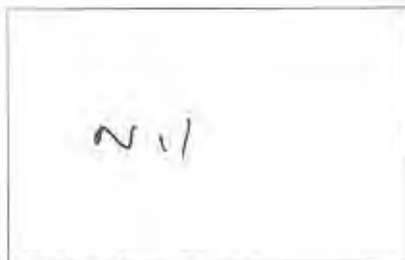
Stairwell



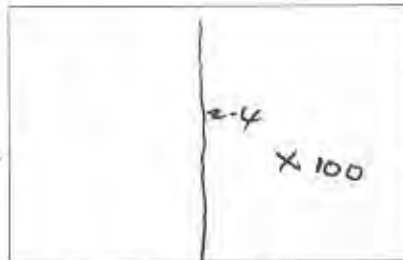
Laundry



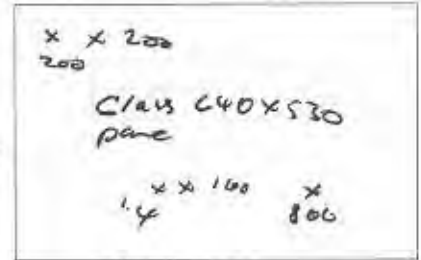
Outbuilding/Garage Carport



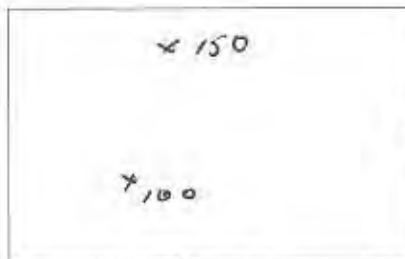
Back Porch



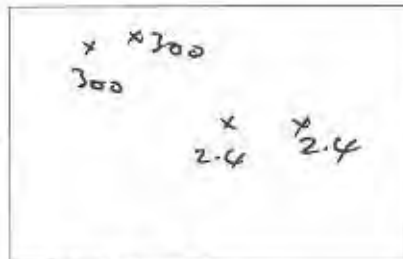
South 3-8



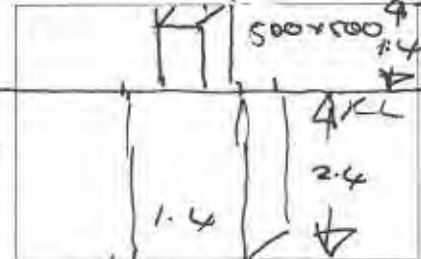
West 11.8



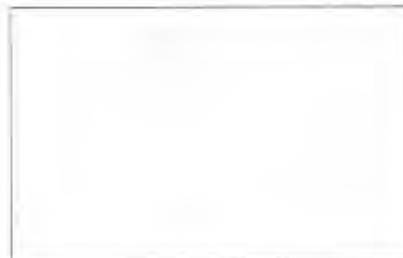
North 11.0



East 11.8



chimney.

**Legend**

—	Crack to ceiling (show length)
~~~~~	Crack to wall (show length)
X	External damage
O	Foundation damage

e.e.

Date:

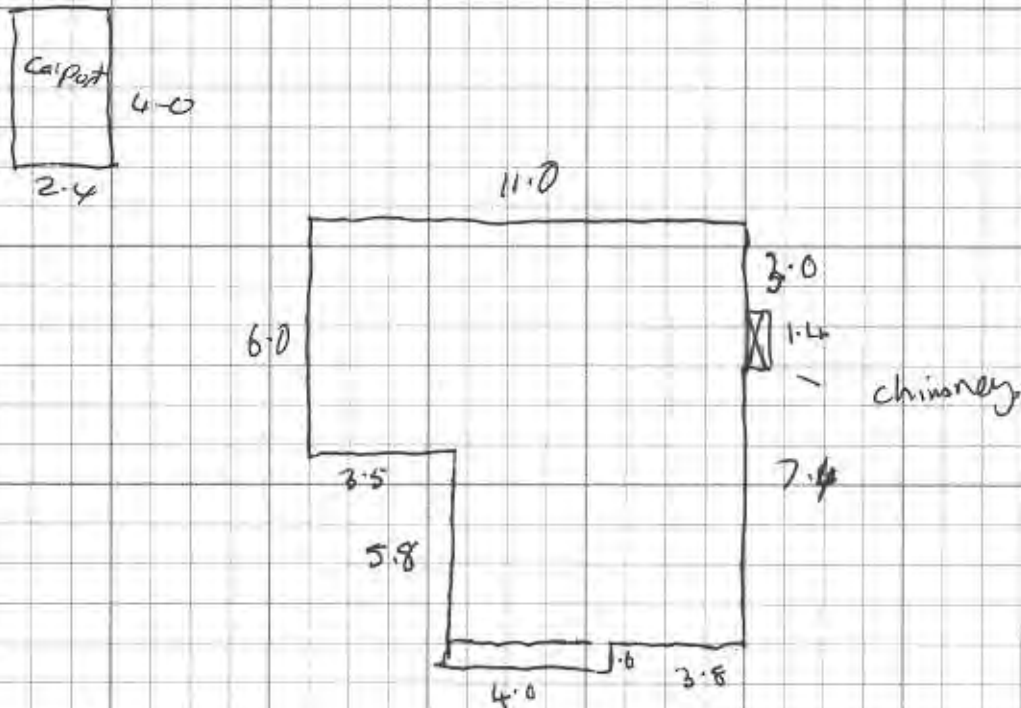
29/1/11

Claim Number: 2010/

027427

Estimator Name:

Colin Russ

**Dwelling Inspection Checklist: Show measurements indicate damage**

Area m2:

112 m²carport 9.6 m²

Stud Heights:

2-4

Wall Finish:

Wallpaper

Plastered

Paint Finish

Other:

Services:

Specify Damage:

Chimneys:

Construction Type: BRICKHeight 2-0Damage Description: Above Roof Below Roof Total RepairFoundations  
Damage:Timber Concrete Ring Concrete Slab Other (Specify):

Minor Moderate Severe

House Moved off Foundations? No

Concrete Slab Cracked? Crack Width: ..... Crack Length: .....

Roof:

Framed TrussedType: Clay Tiles Concrete Tiles Rolled Metal OtherDamage: N.I.

Cladding Type:

Weatherboard

Brick Veneer

Hardi Plank

OtherBrick cladding

e.e.

**HUB FILE NOTE:**

<b>Completed By:</b>	<b>Mike Gudsell</b>	<b>Claim Number:</b>	<b>2011 / 217456</b>
<b>Date:</b>	<b>20/05/2017</b>	<b>Customer Name:</b>	<b>Catherine Cuthbertson</b>
<b>Role:</b>	<b>ESTIMATOR</b>	<b>Address:</b>	<b>5 Dudley Street</b>
			<b>Richmond</b>
			<b>Christchurch 8013</b>

<b>Hub:</b>		
<b>Type(tick one)</b>	<input type="checkbox"/> <b>SCOPE/COST VARIATION</b>	<input type="checkbox"/> <b>PARTIAL /FULL CASH SETTLEMENT</b>
	<input type="checkbox"/> <b>NEW/ADDITIONAL DAMAGE</b>	<input type="checkbox"/> <b>REPORT/CLAIM INFORMATION</b>
	<input type="checkbox"/> <b>POSSIBLE OVERCAP</b>	<input type="checkbox"/> <b>OTHER</b>
	<input type="checkbox"/>	<input type="checkbox"/>

<b>ASSOCIATED CLAIMS:</b>	
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<b>NOTES/ DESCRIPTIONS:</b>
-----------------------------

**House Description**

The house at this property is a single storey dwelling; exterior is clad in brickolite veneer, with a concrete tile roof. Foundation is a perimeter ring foundation with internal piling supporting a timber framed floor. Land classification is TC 3.

**Background**

The substantive repairs have been completed by the PMO.

The substantive repairs have failed to remedy the earthquake damage to the foundations.

The floor has a 72mm floor variation based on Fletcher 2013 measurement.

The following recommended repair solution as per the 1st May 2013 Technical Report, the engineer recommends the following as a minimum repair are needed to adequately address the earthquake damage.

1. Area of the floor to be raised 82m2- Jack and pack
2. Area to be lowered 4 m2- Notching
3. Cracking to the ring foundation 3.6 lm
4. Brickolite veneer to be replaced.

A desktop scope of works has been prepared for a TC3 type foundation replacement. Allowance has been made for the replacement of the damaged ring foundation, and piles for a suitable TC 3 foundation repair, including replacement of heavy concrete roof for a light weight iron roof.

Geo tech is to be completed to confirm repair strategy.

The Comet SOW dated 21/08/2011 was referenced for element types and quantities.

**Total of this prepared scope of works is \$ 238,851.65 inc GST.**

**A valid and affected works template has been completed**

**NEXT ACTION/ RECOMMENDATION FOR HUB SUPPORT**

--

**HUB FILE NOTE:**

	\$27,672.26
--	-------------



# Scope of Works



Completed By:	Mike Gudsell	Claim Number:	2011 / 217456
Date:	20/05/2017	Customer Name:	Catherine Cuthbertson
Page	1 OF 3	Address:	5 Dudley Street Richmond Christchurch 8013

Description	Select from drop down box or enter your own description
-------------	---------------------------------------------------------

Line Items:					
Element :		Units	Qty	Rate	Cost
Building Type	Main Dwelling				
Floor Number	Ground Floor				
External Element	North Wall				
Wall Cladding	Remove dispose asbestos sheeting supply & install fibre cement sheet	m2	30.79	\$270.00	\$8,313.30
Trim	Remove dispose supply and install and paint trim	m	20.00	\$28.07	\$561.40
Wall Cladding	Paint Textured wall	m2	30.79	\$27.25	\$839.03
External Element	South Wall				
Wall Cladding	Remove dispose asbestos sheeting supply & install fibre cement sheet	m2	30.79	\$270.00	\$8,313.30
Trim	Remove dispose supply and install and paint trim	m	20.00	\$28.07	\$561.40
Wall Cladding	Paint Textured wall	m2	30.79	\$27.25	\$839.03
External Element	East Wall				
Wall Cladding	Remove dispose asbestos sheeting supply & install fibre cement sheet	m2	31.62	\$270.00	\$8,537.40
Trim	Remove dispose supply and install and paint trim	m	20.00	\$28.07	\$561.40
Wall Cladding	Paint Textured wall	m2	31.62	\$27.25	\$861.65
External Element	West Wall				
Wall Cladding	Remove dispose asbestos sheeting supply & install fibre cement sheet	m2	31.62	\$270.00	\$8,537.40
Trim	Remove dispose supply and install and paint trim	m	30.00	\$28.07	\$842.10
Wall Cladding	Paint Textured wall	m2	31.62	\$27.25	\$861.65
Conservatory	Remove and install existing for other trades	m2		\$180.00	
External Element	Foundation- TC 3 land - Geo tech to completed to finalise repair strategy				
	Repair strategy costed- lift house, remove dispose and replace with a TC3 type foundation,				
	House Lift and removal of debris	Ea	1.00	\$18,250.00	\$18,250.00
Ring Foundation	Underpinning ring foundation per pad (does not include for access)	No	28.00	\$1,104.90	\$30,937.20
Ring Foundation	Solid plaster repair	m2	18.00	\$92.50	\$1,665.00
Ring Foundation	Remove dispose supply install entire broken ring foundation	m	45.40	\$312.08	\$14,168.43
Piles	Driven Pre cast piles	No	19.00	\$113.05	\$2,147.95
Sub Floor	Remove dispose supply and install bearer	m	70.00	\$87.75	\$6,142.50
Services	All Services				
	Disconnect and reconnect	Sum	1.00	\$5,000.00	\$5,000.00
External Element	Chimney				
Chimney One story	External - Brick - Collapsed to Base - 1 POT	item	1.00	\$8,983.00	\$8,983.00
External Element	Roof				
Soffit	Paint cracked soffit	m2	17.00	\$23.60	\$401.20
Roof Covering	Remove dispose concrete roof tiling supply & install steel equivalent	m2	115.00	\$105.00	\$12,075.00

* Unit categories to be used as follows: Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week, Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.	Sub Total	\$139,399.33
	Preliminaries & General	\$11,151.95
	Margin	\$15,055.13
	<b>SUB TOTAL (Excluding GST)</b>	<b>\$165,606.40</b>



## Scope of Works



Completed By:	Mike Gudsell	Claim Number:	2011 / 217456
Date:	20/05/2017	Customer Name:	Catherine Cuthbertson
Page	2 OF 3	Address:	5 Dudley Street Richmond Christchurch 8013

Description	Line Items:				
Element :		Units	Qty	Rate	Cost
<b>Building Type</b>	<b>Main Dwelling</b>				
<b>Interior Room</b>	<b>Kitchen (Dining)</b>				
Wall Covering	Rake out & stop plasterboard joint cracks & paint	m2	20.00	\$32.90	\$658.00
Wall Covering	Remove dispose rake out plaster supply install wallpaper (PC Sum \$45/roll)	m2	20.00	\$64.30	\$1,286.00
Door Internal	Re-align Door	No	1.00	\$98.75	\$98.75
Ceiling	Paint ceiling	m2	24.75	\$23.60	\$584.10
<b>Interior Room</b>	<b>Hallway</b>				
Wall Covering	Paint wall	m2	18.29	\$21.10	\$385.92
Ceiling	Paint ceiling	m2	2.72	\$23.60	\$64.19
Door Internal	Re-align Door	No	1.00	\$98.75	\$98.75
<b>Interior Room</b>	<b>Lounge</b>				
Wall Covering	Remove dispose rake out plaster supply install wallpaper (PC Sum \$45/roll)	m2	42.58	\$64.30	\$2,737.89
Ceiling	Paint ceiling	m2	19.13	\$23.60	\$451.47
Door Internal	Re-align Door	No	1.00	\$98.75	\$98.75
<b>Interior Room</b>	<b>Bedroom ( South East cnr )</b>				
Wall Covering	Rake out & stop plasterboard joint cracks & paint	m2	37.96	\$32.90	\$1,248.88
Ceiling	Paint ceiling	m2	13.32	\$23.60	\$314.35
Door Internal	Re-align Door	No	1.00	\$98.75	\$98.75
<b>Interior Room</b>	<b>Bedroom 1 Master</b>				
Wall Covering	Remove dispose rake out plaster supply install wallpaper (PC Sum \$45/roll)	m2	41.60	\$64.30	\$2,674.88
Ceiling	Paint ceiling	m2	15.91	\$23.60	\$375.48
Door Internal	Re-align Door	No	1.00	\$98.75	\$98.75
<b>Interior Room</b>	<b>Bathroom</b>				
All Elements	No Damage				
<b>Interior Room</b>	<b>Hallway/Entry</b>				
Wall Covering	Remove dispose rake out plaster supply install wallpaper (PC Sum \$45/roll)	m2	9.72	\$64.30	\$625.00
Ceiling	Paint ceiling	m2	5.85	\$23.60	\$138.06
Door Internal	Re-align Door	No	1.00	\$98.75	\$98.75
<b>Interior Room</b>	<b>Laundry</b>				
All Elements	No Damage				
<b>Interior Room</b>	<b>Toilet</b>				
All Elements	No Damage				

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week, Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

**Sub Total** \$12,136.72

**Preliminaries & General** \$970.94

**Margin** \$1,310.77

**SUB TOTAL (Excluding GST)** \$14,418.42



# Scope of Works



Completed By:	Mike Gudsell	Claim Number:	2011 / 217456
Date:	20/05/2017	Customer Name:	Catherine Cuthbertson
Page	3 OF 3	Address:	5 Dudley Street
			Richmond
			Christchurch 8013

## TOTALS PAGE :

### P & G's Page:

P & G's - Page	\$27,672.26
P & G's Page - Sub Total	\$27,672.26

### Building Damage Page:

Scope Of Works Page 1	\$165,606.40
Scope Of Works Page 2	\$14,418.42
Scope Of Works Pages - Sub Total	\$180,024.83

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

**Sub Total** \$207,697.09

**GST** \$31,154.56

**TOTAL** \$238,851.65



2010/027427 E

**Bushnell  
Builders**LIMITED  
REGD. MASTER BUILDERSTELEPHONE: 03 344 5972  
FAX: 03 344 5976  
EMAIL: admin@bushnell.co.nz198 Springs Road  
P O BOX 13 362  
CHRISTCHURCH**Tax Invoice**

Customer:

GST Reg. Number:

91-082-527

**Mrs C Cuthbertson  
5 Dudley Street  
CHRISTCHURCH**

Tax Invoice No.:

00002284

Order No.

earthquake repairs

Date:

30/09/2010

QTY.	DESCRIPTION	PRICE	AMOUNT
	re: EQC Number: 2010/027427 Emergency removal of chimney and make good roof due to earthquake		
1	Materials: 50 tiles & 7 caps	\$188.10	\$188.10
1	3m 100 x 50 H3, 9m tile battens	\$28.75	\$28.75
1	2 bags sand, 1 bag cement	\$27.25	\$27.25
1	Scaffolding	\$100.00	\$100.00
1	Tipping Fees	\$50.00	\$50.00
1	Labour: 16 hours @ \$43.00 (Tradesman)	\$688.00	\$688.00
<i>Payment may be made direct to our bank account: 03 0855 0468389 00 Please quote your invoice number.</i>		Sub Total:	\$1,082.10
		GST	\$135.26
		Total Amt:	\$1,217.36
		Paid Today	\$0.00
		<b><u>BALANCE DUE</u></b>	<b>\$1,217.36</b>
<i>Remittance Advice: Please return with payment to Bushnell Builders Ltd, P O Box 13 362, Christchurch</i>			
Mrs C Cuthbertson		Invoice: *00002284*	
		Date: 30/09/2010	
		<b><u>Balance Due: \$1,217.36</u></b>	



67 Vardon Crescent  
Shirley  
Christchurch 8061  
M. 027 224 8218

GST Reg. Number: 52-476-860

GST Invoice No.: 00000975

Bill To:

Mrs Catherine Cuthbertson  
5 Dudley St  
Richmond  
Christchurch  
8013

CUSTOMER O/N		TERMS		DATE	PG.
CLM/2011/051978		Net 7		6/03/2011	1
QTY.	DESCRIPTION	PRICE	UNIT	SUBTOTAL	
1	Medium Pressure Cyl 90Ltx460	\$711.84	ea	\$711.84	
1	Br Gatevalve m/f 20mm	\$45.87	ea	\$45.87	
1	Br C/C Elbow 20mm	\$22.52	ea	\$22.52	
1	Br C/F Elbow 20mm	\$20.54	ea	\$20.54	
2	Brazing Elbow 20mm	\$5.63	ea	\$11.26	
0.5	Copper tube 20mm	\$36.02	m	\$18.01	
1	Kit Cyl Restr Dom Simplefix/2	\$32.00	ea	\$32.00	
4	90x45 Rad MSG 8 Timber	\$4.50	m	\$18.00	
0.5	sundries	\$40.00	ea	\$20.00	
10	Labour	\$60.00	hr	\$600.00	
1	Vehicle	\$15.00	ea	\$15.00	
COMMENT Replace damaged hot water cylinder,rebuilt stand and fitted seismic strapping. This work was due to the earthquake and was an emergency.			SALE AMOUNT	\$1,515.04	
			GST	\$227.26	
			TOTAL AMOUNT	\$1,742.30	
			<b>BALANCE DUE</b>	<b>\$1,742.30</b>	

Owership of Goods on this invoice does not pass until payment in full has been received. Labour charge includes time involved travelling, collecting materials as required for this job. Milage is for motor vehicle costs.

Collection Costs will be incurred with any accounts forwarded to collection services.

**Payment by Direct Credit to Westpac : 03 1700 0262401 000**

67 Vardon Crescent  
Shirley  
Christchurch 8061  
M. 027 224 8218

GST Reg. Number: 52-476-860

GST Invoice No.: 00000980

Bill To:

Mrs Catherine Cuthbertson  
5 Dudley St  
Richmond  
Christchurch  
8013

CUSTOMER O/N			TERMS	DATE	PG.
CLM/2011/051978			Net 7	15/03/2011	1
QTY.	DESCRIPTION	PRICE	UNIT	SUBTOTAL	
1	Electrician	\$190.00	1	\$190.00	
COMMENT Aranged for electrician to reconnect electricity to hot water cylinder this work was necessary due to earthquake damage to hot water cylinder.			SALE AMOUNT		\$190.00
			GST		\$28.50
			TOTAL AMOUNT		\$218.50
			<b>BALANCE DUE</b>		<b>\$218.50</b>

Owership of Goods on this invoice does not pass until payment in full has been received. Labour charge includes time involved travelling, collecting materials as required for this job. Milage is for motor vehicle costs.

Collection Costs will be incurred with any accounts forwarded to collection services.

**Payment by Direct Credit to Westpac : 03 1700 0262401 000**

2011/249996

Released Under the Official Information Act 1982

## TAX INVOICE/STATEMENT

Date

180094

To G + A. Weber Family Trust  
5 Dudley St.

Chris Church 8013

From A. M. Twidie Well Drilling

1- Stephen St. Rangiora 7400

RECEIVED

21 DEC 2011

BY:

GST Reg. No. 64282743 Ref. O/N

Qty	Unit	Description	Unit Price	\$	c
28th	of	est. 5 Dudley St. inspct earth quake damaged exterior wall under the house			
		3 hrs @ \$10.00	30.00	210.00	00
		Travel		50.00	00
31st	of	est. Travel to Dudley St. by the builder fr. Rangiora to cut hole in the floor Begin well + put floor back		120.00	00
		4 hrs		280.00	00
		50 kms		50.00	00
TOTAL EXCLUSIVE GST \$				710.00	00
PLUS % GST \$				106.50	00
TOTAL INCLUSIVE GST \$				816.50	00

12/11/11  
A. M. Twidie  
8013

# LAND DOCUMENTS

The following information contains documents relating to the land assessments that were either cash settled or declined:

*The attached land document(s) help NHC Toka Tū Ake identify information that may be relevant to its assessment of your residential land claims. They are not intended to form a complete technical report on land damage to your land. The land information, including valuations, repair costs and estimates, do not necessarily reflect the final land settlement received*

# Scope of Works

Completed by: TOOD NICCOL

Date:

16/5/13  
dd / mm / yy

Page: 1 of 1



CLM / 2010 / 027427  
 THE BAXTER TRUST  
 5 DUDLEY STREET  
 RICHMOND  
 CHRISTCHURCH  
 H: & W:  
 M:

Description: **Damage to Land**

Repair Strategy: Removal and/or import materials and labour to repair land

7.5 m²

Description – Removal of Debris/Minor Works	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Transporter- machine	each					\$160	
Machine Hire	hrs					\$110	
Truck Hire	hrs					\$100	
Labour	hrs					\$45	
Contaminated Spoil Removal	m ³					\$100	
Spoil Removal/Tip Fees (clean)	m ³					\$20	
Skip (4m ³ )	each					\$190	
Small Job fee	each				1	250	250. =

NB A Small/Minor Works cost may only be applied when there is only land repair to the site/property; a total area of damage under 15m²; no further works required

Description - Supply and level hard fill	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Land Under Residential Buildings (Type 'A') – Supply and level hard fill	m ²					\$12	
Land Under Access way (Type 'B') – Supply and level hard fill	m ²					\$12	
Land Under Pavers/Patio/Concrete (C1) (Type 'C') – Supply and level hard fill	m ²	3	2.5		7.5	\$12	90. =
Land Under Lawn Areas (Type 'C') – Level and Seed	m ²					\$10	
Lateral Spread Cracks under 10mm but greater than 5mm	Lm					\$25	
Lateral Spread Cracks greater than 10mm	Lm					\$90	

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre,  
 Per hour, Per day, Per week.

Cubic metre calculations must include length, breadth and depth  
 figures.

Square metre calculations must include length and breadth figures.

Sub-total

340. =

P&amp;G, Margin &amp; GST (Figure x 1.3662)

124.50

Total

464.50



CHECKED

V1.35, FEB 2013

KJ.



## Scope of Works

Completed by: TOOD NICCOLDate: 16/5/13 Page: 1 of 1

dd / mm / yy



C L M / 2 0 1 0 / 0 2 7 4 2 7  
 THE BAXTER TRUST  
 5 DUDLEY STREET  
 RICHMOND  
 CHRISTCHURCH  
 H: & W:  
 M:

Description: **Enabling Works – 8/9 – Structures**

Enter this information onto the Enabling Works 8/9 SOW, where P&amp;G, margin and GST will be added.

Description – Creating Access/Reinstating	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Transporter- machine	each				1	\$160	160.00
Machine Hire	hrs				8	\$110	880.00
Truck Hire	hrs				4	\$100	400.00
Breaker Hire	day					\$70	
Skip (4m³)	each					\$190	
Contaminated Waste	m³	8	1	1	8	\$100	800.00
Clean Waste	m³					\$20	
Labour	hrs				16	\$45	360. =
Pergola/Gazebo	m²					\$100	
Garden Shed/ <del>Glass House</del>	m²	3.7	2.1		7.77	\$100	777. =
Play House/ Sand Pit	Sum					\$500	
Clothes Line/ <del>Kenel</del>	Sum				1	\$250	250. =
Spa Pool	Sum					\$1,500	
Swimming Pool (3m dia)	Sum					\$1,500	
Swimming Pool (8m x 4m)	Sum					\$25,000	
Swimming Pool (15m x 5m)	Sum					\$55,000	
B.B.Q							
LANDSCAPING	m²	287	1		287	\$15	4305.00
Fencing 1.8m	l/m					\$125	
Fencing Hebel 1.8m	l/m					\$470	
Artificial Surface	m²	17.4	2.5		43.5	\$35	1522.50
Carport	m²	5	2.2		11	\$200	2200. =
Artificial Surface	m²	12.3	1		12.3	\$35	430.50
Patio	m²					\$185	
						Total:	12085.00



CHECKED

ver03, APR 2013

# Scope of Works

Completed by: Jenny BaierDate: 16/05/13 Page: 1 of 1  
dd / mm / yy

THE BAXTER TRUST  
5 DUDLEY STREET  
RICHMOND  
CHRISTCHURCH  
H: & W:  
M:

Description: **Enabling Works – 8/9 – Dwellings**Dwelling Type Ring Foundation ☒ Piled ☒ Concrete Slab ☐ Combined Piles/Slab ☐Average finished floor level above ground level: 300 mm Unable to determine ☐ (refer to file note)

Enter this information onto the Enabling Works 8/9 SOW, where P&amp;G, margin and GST will be added.

Description – Creating Access/Reinstating	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Site Establishment	each				1	\$9,000	9000
Dwelling Storage (off site)	each				1	\$5,000	5000
Dwelling Lift 0-150 <u>114 m²</u>	m ²				1	\$12,200	12200
150-200	m ²				1	\$13,300	
200-250	m ²				1	\$18,500	
250-2 Storey	m ²				1	\$22,000	
Removal of Debris 0-150	m ²				1	\$6,050	6050
150-200	m ²				1	\$8,250	
200-250	m ²				1	\$11,000	
250-2 Storey	m ²				1	\$13,750	
Garage (incl Removal of Debris)							
Metal Profiled: Remove, Store on Site, Reinstale	m ²					\$667	
Concrete Block: Demolish and Reinstale	m ²					\$908	
Total:							32250

CHECKED RT

# Scope of Works

# EQC

Completed by: Jenny Baier

C L M / 2 0 1 0 / 0 2 7 4 2 7

THE BAXTER TRUST

5 DUDLEY STREET

RICHMOND

CHRISTCHURCH

H: &amp; W:

M:

Date:

16/05/13

Page: 1 of 1

dd / mm / yy

Description: **Enabling Works – 8/9**What is the insured land area to repair (m²)?109^{m2}

This sheet summarises costs determined in Enabling Work sheets for structures, services &amp; dwellings.

Please transcribe all sheet figures below and provide a total. Please number all enabling work sheets.

Description is either Services, Dwellings or Structures.

Sheet No.	Description	Cost
<u>1</u>	<u>SERVICES</u>	<u>12404.00</u>
<u>2</u>	<u>STRUCTURES</u>	<u>12085.00</u>
<u>3</u>	<u>DWELLING</u>	<u>32250.00</u>
Sub-total		<u>56739.00</u>
P&G, Margin & GST (Figure x 1.3662)		<u>20777.82</u>
Total		<u>77516.82</u>



CHECKED

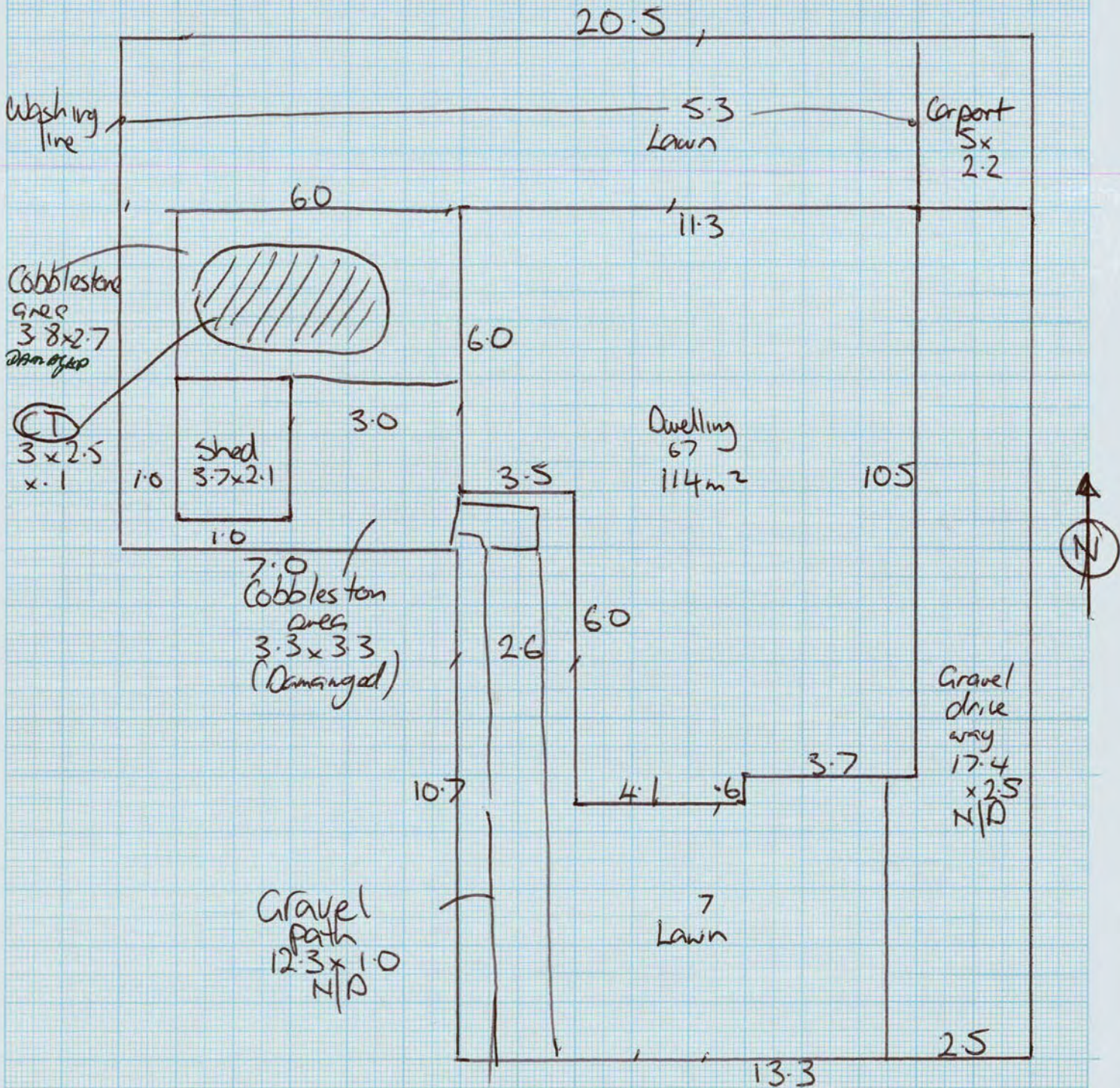
V1.32, FEB 2013



THE BAXTER TRUST  
5 DUDLEY STREET  
RICHMOND  
CHRISTCHURCH  
H: & W:  
M:

TODD NICCOL  
16/5/13

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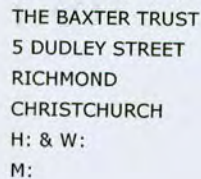
CHECKED

Whole site within EQC cover

Section size  
409m²

Claim N^o: .....

Situation of Loss: .....



## Complex Flat Land Claims

Date: 16/05/13

Author: Tenny Brien

CHECKED 15

V1.32, FEB 2013

# Inspection Summary

# EQC

Completed by: Jenny Brien

Date: 16/05/13 Page: 1 of 1  
dd / mm / yy

  
CLM / 2010 / 027427  
THE BAXTER TRUST  
5 DUDLEY STREET  
RICHMOND  
CHRISTCHURCH  
H: & W:  
M:

Time arrived at site: 14:30 Time left site: 16:00 Was an inspection carried out? Yes ☒ No ☐

Customer present: Yes ☒ No ☐ Customer Name: CATHERINE CUTHBERTSON  
Access denied ☐ Loose dogs ☐ Other ☐ If other, please provide reason

If No inspection carried out, why not? ☐ ☐ ☐

## Where an inspection has been conducted:

	Yes	No	Notes
- Any land damage under the main access way or other hard surfaces?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Were any bridges or culverts damaged within EQC Cover?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Were any retaining walls damaged within EQC Cover?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Is an engineer required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Is a valuation required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Is a resource consent required for any remediation work? (proximity to protected trees and waterways)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Has anything in this pack been escalated?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Customer has advised of invoices for emergency work?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Customer advised of next action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
- Was any silt found under the dwelling?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

- If there was nil damage, why was that? Building removed ☐ Building repairs have fixed ☐ No visible damage ☐

- If a potential or actual 8/9 property, was the dwelling present? Building removed ☐ Building present ☒

## Land Damage to Area A? If Yes, add details

Yes ☐ No ☒

## Land Damage to Area B? If Yes, add details

Yes ☐ No ☒

## Land Damage to Area C? If Yes, add details

Yes ☒ No ☐ CI REFER legend

Total m² of Damaged Land: 7.5 m² Notional Land Damage Value @\$300/m² (Incl GST): \$ 2250

CHECKED 

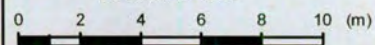
Next action AWAIT Confirmation of Category 8 & 9 Status





Notes:

A4 SCALE 1:250



Drawn by:

Date:



22 FEB 2011 - EARTHQUAKE  
RICHMOND, CHRISTCHURCH  
(C098-041356) - 5 Dudley Street

EQC Claim No: 201 _ /

SB 24/6/11

Released Under the Official Information Act 1982



1206923 2011 CHCH EQC LAND ENGINEERING REPORT

EQC Claim Number:	New: 201 / Old: 201 /	Significant Risk to Safety:	YES (NO)
Claimant Name :		Engineer's Names :	S. Roberts / C. Henry
Claimants Address:	5 Dudley St, Richmond	Engineers E-mail:	sally.roberts@eqc.co.nz
		Date:	5/5 /2011 Team no: 14

Was an EQC Engineering Land Assessment undertaken following the Darfield Earthquake (4 September 2010) and prior to 22 February 2011: YES NO

**GENERAL**

Type of Damage	Earthquake	Landslip	Storm/Flood	Other
EQC Priority of claims	1 - Home/Land seriously damaged and uninhabitable	2 - Home/Land seriously damaged but habitable		
	3 - Home/Land moderately damaged & Habitable	4 - All other damage		
Is this natural Disaster Damage?	YES	NO		
Is there an Imminent Risk of Loss?	YES	NO	(If 'YES' - Fill in Summary Information Table and Imminent Loss Checklist)	

**INSPECTION DATA & DISCUSSION WITH CLAIMANT(S)**

Discussion with Claimant/Occupier?	YES	NO
What happened? Claimant's story	* Sand down drive & road in back yard * Windows & doors shaking * Internal cracks * Lateral water cracks * Chimney came down in September 2010 * Broken window * Dips in back lawn	

**SITE DESCRIPTION (Refer Site Plan and/or Cross Section)**

General:

**LAND - (DAMAGED ACCESS, LAND, & DESTROYED LAND, & RETAINING WALLS, BRIDGES, CULVERTS )**

None

LIQUEFACTION/Flat land damage	None	Sand boils	Lateral spreading	Settlement	Remediation Rqd (TBC in office)		
					Yes	No	Notes
Land damage observed:							Refer to the Potential Remedial Works page of this report
(i) Cracks	Distribution:	Single crack	Multiple cracks				
	Crack Width:	0 - 100mm	0 - 100mm				
		>100mm	>100mm				
	Resulting from:	Lateral spreading	Liquefaction	Ground oscillation			
(ii) Undulating land	Cosmetic	Barely discernable	Significant	Obvious			
(iii) Surface water flow	Localised ponding/depression		Property no longer draining to road/public services				
(iv) Lateral Spreading	Crust not significantly affected (<50mm displacement over property)	Crust significantly affected (>50mm displacement over property)					
(v) Flood risk (TBC in office)	Above 50yfl pre 4 Sept	Above 50yfl pre 22 Feb	Above 50yfl post 22 Feb	No Increased Flood Risk			
	Below 50yfl pre 4 Sept	Below 50yfl pre 22 Feb	Below 50yfl post 22 Feb	Increased Flood Risk			

Comments:

**OTHER Flat land damage**

None	Settlement resulting from:	Ground Oscillation
		Consolidation of fill
Other (specify).....		

## LAND - (DAMAGED ACCESS, LAND, &amp; DESTROYED LAND, &amp; RETAINING WALLS, BRIDGES, CULVERTS ) Continued

LANDSLIDE/SLOPING LAND DAMAGE	None	Landslip	Rockfall	Retaining wall damage	Other	
Geological situation (fill/loess/bedrock etc):					Imminent risk (Y/N)	Remediation (TBC in office)
Groundwater situation (seepage/runoff etc):						
Landslip:	Tension Cracks	Toe-bulge	Erosion	Surface slump		
	Rotational Slip	Translational Slip	Ridge-renting	Other.....		
Description:						
Rockfall:	Source:	Upslope	Within property boundary			
		Downslope	Beyond property boundary			
Description:						
Retaining wall damaged?	None	No. of walls damaged .....				
Description:						
Type of damage to retaining wall(s) :	Cracks	Rotated/leaning	Slid	Bulging		
	Settlement					
Location of retaining wall(s) :	Within 8m of building	Within 60m & needed to protect of land within 8m of accessway/building				
	Other					
Are multiple properties affected:	Yes	No				
If Yes, list affected properties:	.....					
Comments:						

Land beneath Main access way damaged?	No-N/A	Within 60m of building	Other.....
Areas of land Damage	Entire Site	Portion of Site	None
		AREA (m2)	
Detailed Areas	Total Site Area:		
within 8 m of Dwelling (and appurtenant structures)	Evacuated		
	Evacuated - Imminent Risk		
	Inundated		
	Inundated - Imminent Risk		
on or supporting accessway	Evacuated		
	Evacuated - Imminent Risk		
	Inundated		
	Inundated - Imminent Risk		
	Non EQC Area:		

EQC Claim Number: 201_ /

**LAND REMEDIAL OPTION & COST (Refer Site Plan and Cross Section)**

Land Remedial option	Drainage	Retaining Wall	Pallisade Wall	Soil Nail/Rock Bolt	Earthworks
	Debris Wall/Catch Fence	Remove rock hazard	Other	Combination of Above	
Estimated Land Remedial Cost	\$0	<\$10k	\$10k - \$50k	\$50k - \$100k	\$100k - \$250k
	\$250k - \$500k	\$500k - \$1M	> \$1M	To Be Determined	

**DWELLING DESCRIPTION (Refer Site Plan and Cross Section)**

General : (eg. Single level, roof type, foundations, cladding etc)	Single storey brick house, concrete tile roof, concrete perimeter footing with piles
-----------------------------------------------------------------------	--------------------------------------------------------------------------------------

**BUILDING DAMAGE - GENERAL**

Has the building been Damaged?	YES	NO			
Is the Dwelling at Imminent Risk?	YES	NO			
Estimated Remedial Value?	\$0	<\$10k	\$10k - \$25k	\$25k - \$50k	\$50k - \$75k
	\$75k - \$100k	>\$100k	TBC by Estimator		
Have any Appurtenant structures been damaged?		YES	NO		
Are any appurtenant structures at Imminent Risk?		YES	NO	(Does not include Patios/Paving)	
Have any services within 60 m of dwelling been damaged?		YES	NO		
Are any services within 60 m of dwelling at Imminent Risk?		YES	NO		

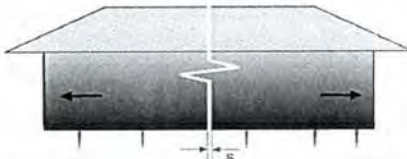
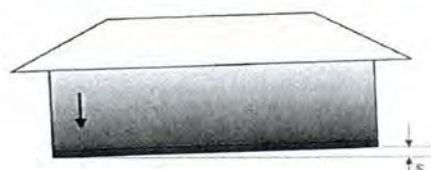
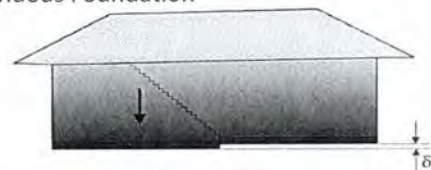
**DAMAGED DWELLING, APPURTENANT STRUCTURES, & SERVICES (Refer Site Plan and Cross Section)**

Dwelling : features damaged :	None	External walls	Internal walls	Ceiling	Door/window frames
	Window glass	Steps	Foundation/slab	Roof	Chimney
	Other				
Type of damage to Dwelling:	Cracks (walls)	Cracks (ceiling)	Cracks (window glass)	Cracks (chimney)	Floor sloping
	Racking/sagging	Walls etc out of vertical	Crack in slab	Crack in footing	Other
Appurtenant structure(s) damaged :	None	Garage/shed	Carport	Deck	Other
What services have been damaged?	Water	Sewer	Drainage	Gas	Electrical
	Telephone	Service structures	Don't Know	Other	None

**GENERAL :**

* Hairline internal & external cracks  
 * hairline footing cracks  
 * Chimney came down in September 2010

Floors and Foundations	Roof Cladding	Wall Cladding
Timber floor on piles	Light: Iron roof	Light: weatherboard/plywood/stucco etc
Timber on internal piles with perimeter concrete footing	Heavy: concrete tiles/clay tiles/slate etc	Heavy: brick veneer/stone/solid plaster
Concrete slab on grade		

Damage to Dwelling predominantly from:	Shaking	Land damage	
Type of Damage	Severity		
	Minor	Moderate	Major
Stretching 	0 to 5mm	5 to 30mm	>30mm
Hogging 	0 to 20mm	20 to 50mm	>50mm
Dishing 	0 to 20mm	20 to 50mm	>50mm
Racking/Twisting 	0 to 10mm	10 to 30mm	>30mm
Tilting 	0 to 20mm	20 to 50mm	>50mm
Discontinuous Foundation 	0 to 10mm	10 to 20mm	>20mm
Global Settlement 	0 to 50mm	50 to 100mm	>100mm

## Potential Remedial Works

The works described below are to repair or protect insured land (i.e. within the property boundary, on or supporting the main access within 60m of the dwelling, or within 8m of a residential building) and the structure(s) that has/have been damaged or is/are at imminent risk as a direct result of the natural disaster that has occurred.

A solution that reinstates the damaged land and removes the imminent risk threat would comprise the following works:

- Remove Sand
- Level lawn (Trim top off undulations and fill depressions)
- 
- 
- 

Additional information for cost estimation:

<u>Construction Issues</u>	<u>Easy</u>	<u>Moderate</u>	<u>Hard</u>	<u>N/A</u>
• Construction Access	/			
• Drilling	/			
• Reinstatement	/			

This preliminary design is for the purposes of costing for the claim settlement process only, it is not for construction. There may be a solution that is more cost effective and/or appropriate. Even if this concept is considered to be appropriate, further subsurface investigation, detailed design and consenting may be required prior to construction.

We estimate the cost (excluding GST) to construct the proposed solution will be as follows:

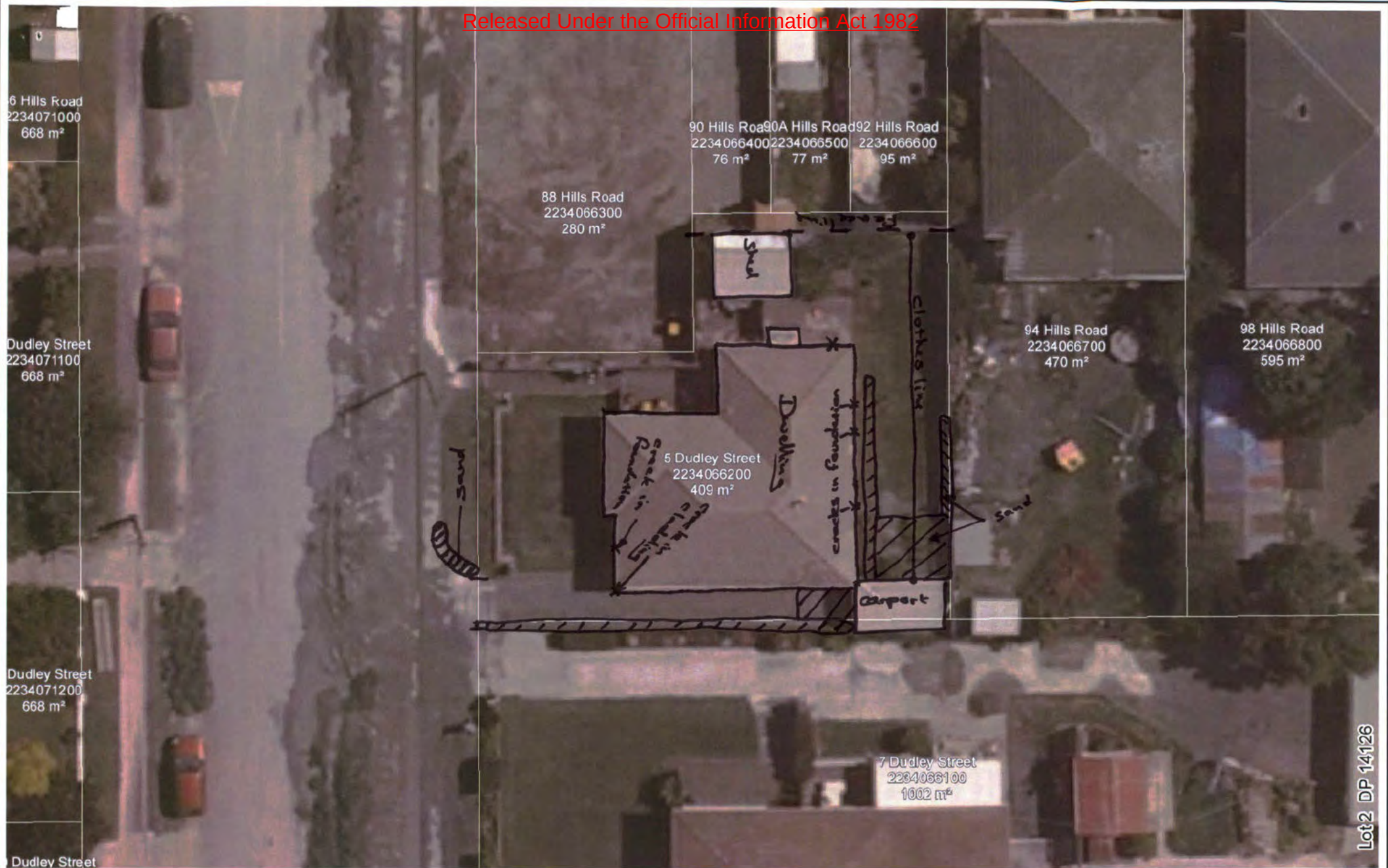
Engineering investigation, design and drawings	\$ 0
Construction Observations and PS4	\$ 0
Survey (if required)	\$ 0
Building/Resource consents (if required)	\$ 0
Project Management	\$ 0
Construction of .....(as detailed above)	
(Cost to be determined by cost estimator)	\$ TBC
<b>TOTAL non construction Costs (Excluding GST)</b>	<b>\$ 0</b>

The total construction cost estimates should be confirmed by a contractor or estimator.

**Preliminary Summary Information** (all costs excl GST)

Is this Natural Disaster damage?	Yes
<b>Land within 8m of dwelling or appurtenant structures</b>	
Area of Land damaged Evacuated: Inundated: None	409m
Area of Land at imminent risk Evacuation: None Inundation:	/
<b>Main access way within 60m of dwelling (or an appurtenant structure)</b>	
Area of Land damaged on accessway or supporting accessway: Evacuated: Inundated: None	/
Additional Area of Land at imminent risk on accessway or supporting accessway: Evacuation: None Inundation:	/
<b>Retaining Walls within 8m of Dwelling or Appurtenant Structure</b>	
Description.....(list and describe each affected wall)..... Damaged: (face area - m2); At imminent risk: (face area - m2);	None
<b>Dwelling &amp; Appurtenant Structures</b>	
Has dwelling or appurtenant structure been damaged as a result of the natural disaster? Hair line internal & external cracks Description.....	✓
Cost to repair damage:	TBC
Is dwelling (or appurtenant structure) at imminent risk as a result of the natural disaster: Description.....	No
Cost to remove imminent loss threat to dwelling (or appurtenant structure):	TBC
Value of imminent risk damage to dwelling (or appurtenant structures) :	n/a
<b>Services within 60m of Dwelling or Appurtenant Structure</b>	
Services damaged (list) unknown Services at imminent risk (list) None	unknown
Remedial Option: Description..... Remove sand, Level lawn.....	TBC (excluding GST)

TBC – To be calculated &amp; confirmed by cost estimator



Lot2 DP 14126

Notes:

A4 SCALE 1:250  
0 2 4 6 8 10 (m)



Drawn by:

CH

Date:

5/5/11



22 FEB 2011 - EARTHQUAKE  
RICHMOND, CHRISTCHURCH  
(C098-041356) - 5 Dudley Street

EQC Claim No: 201 _ /



# Increased Liquefaction Vulnerability (ILV) Engineering Assessment



**Exceptional thinking together**

[www.tonkintaylor.co.nz](http://www.tonkintaylor.co.nz)

## Property details

Property address	5 DUDLEY STREET, RICHMOND, CHRISTCHURCH 8013
Property ID (QPID)	1206925
Master claim number	CLM/2010/027427
Date	01 October 2015

## Engineering assessment

This ILV engineering assessment identifies that the Property	DOES meet the engineering criteria for ILV land damage
--------------------------------------------------------------	--------------------------------------------------------

## Introduction

This report sets out the engineering results for the individual property above (the Property) to determine whether Increased Liquefaction Vulnerability (ILV) land damage has occurred as the direct result of the Canterbury earthquake sequence.

ILV land damage refers to the physical change to residential land as a result of ground surface

subsidence from the 2010 - 2011 Canterbury earthquake sequence, which materially increased the vulnerability of that land to liquefaction damage in future earthquakes.

More information on ILV can be found on the Earthquake Commission (EQC) website ([www.eqc.govt.nz/ILV](http://www.eqc.govt.nz/ILV)).

## ILV engineering assessment methodology

Tonkin + Taylor (T+T) has undertaken the ILV engineering assessment of the Property in accordance with the ILV Assessment Methodology. This methodology is set out in the report titled Canterbury Earthquake Sequence: Increased Liquefaction Vulnerability Assessment Methodology (T+T, 2015).

A copy of this report is available on the EQC website ([www.eqc.govt.nz/ILV](http://www.eqc.govt.nz/ILV)).

The ILV Assessment Methodology is designed to consider whether, on the balance of probabilities, two engineering criteria are met for the Property. The engineering criteria are as follows:

<b>Engineering Criterion 1</b>	The residential land has <i>material</i> vulnerability to liquefaction damage after the Canterbury earthquake sequence; and
<b>Engineering Criterion 2</b>	The vulnerability to liquefaction damage of the residential land in future earthquakes has <i>materially</i> increased as a result of ground surface subsidence of the land caused by the Canterbury earthquake sequence.
The material vulnerability under Criterion 1 and the material increase in vulnerability under Criterion 2, are each measured at up to 100 year return period levels of earthquake shaking.	

## About the engineering criteria

Both engineering criteria must be met in order for a property to qualify as having ILV land damage.

To determine whether the Property meets the two engineering criteria, T+T has assessed the level of vulnerability to liquefaction and the change in vulnerability to liquefaction. The ILV Assessment Methodology report provides a comprehensive explanation of how this assessment was done. A brief outline is provided below.

Material liquefaction vulnerability is assessed by considering the likelihood of moderate-to-severe liquefaction related land damage at up to 100 year return period levels of earthquake shaking.

A material increase in liquefaction vulnerability is assessed by comparing the likelihood of liquefaction related land damage prior to the Canterbury earthquake sequence with the likelihood of liquefaction related land damage after the Canterbury earthquake sequence. The ILV Assessment Methodology report sets out what can be regarded as material in this context.

Liquefaction and land subsidence do not always result in ILV land damage. Whether or not ILV occurs will depend on the soil and groundwater conditions and the amount of ground surface subsidence.

## ILV engineering assessment results

The results of the ILV engineering assessment for the Property are shown below:

Does the Property meet Criterion 1?	Yes
Does the Property meet Criterion 2?	Yes
Does the Property meet the engineering criteria for ILV land damage?	Yes

## ILV engineering assessment approach

T+T has used the following inputs for the assessment of ILV land damage:

Ground surface levels	Ground surface levels, relative to sea level. These were derived from aerial LiDAR surveys of the Canterbury region undertaken between 2003 and 2008 and after each of the four main earthquakes in the Canterbury earthquake sequence. Ground surface subsidence is estimated by comparing ground surface levels after each of the four main earthquakes.
Groundwater levels	Groundwater levels throughout Canterbury.
Aerial photography	High resolution aerial photographs taken after each of the four main earthquakes in the Canterbury earthquake sequence.
Land performance observations	Observed land performance, including liquefaction due to the Canterbury earthquake sequence.
Earthquake shaking intensity	Peak Ground Acceleration (PGA) models, which estimate the level of earthquake shaking for each of the four main earthquakes in the Canterbury earthquake sequence.
Subsurface ground information	Soil composition and strength data obtained from extensive geotechnical investigations, including Cone Penetration Tests (CPTs), subsurface drilling, and laboratory tests. Geological maps, soil maps and other historical land use and drainage maps.

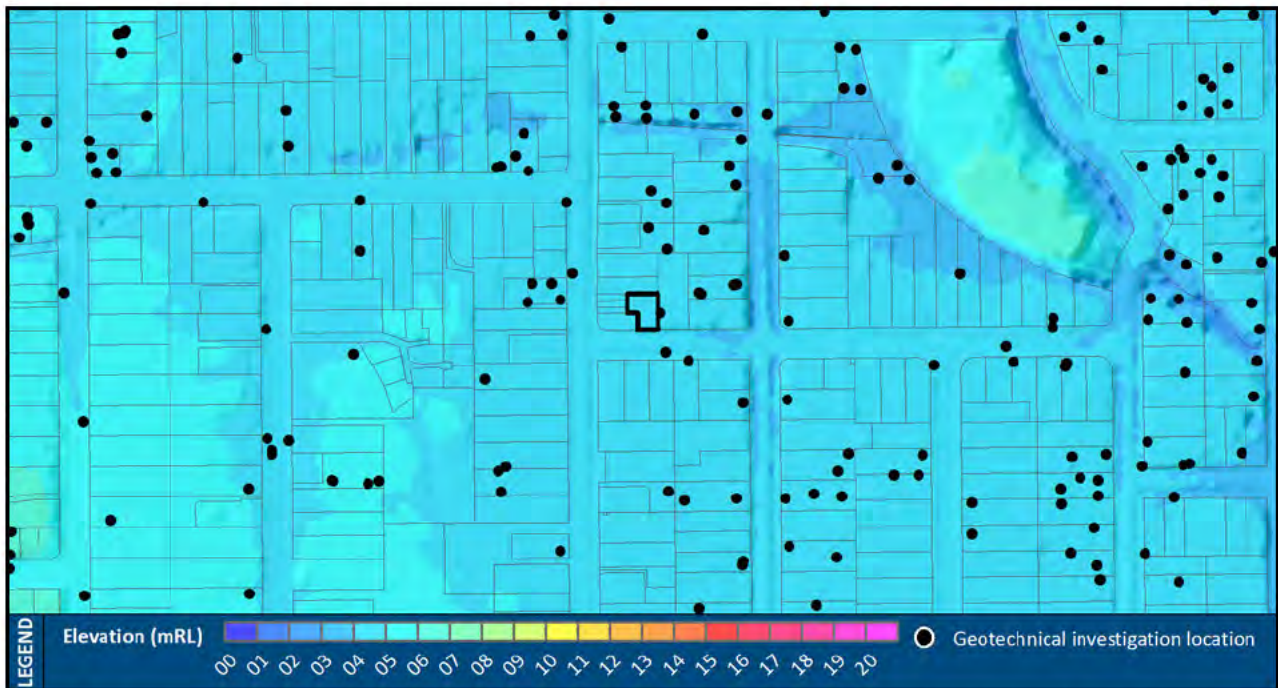
## ILV engineering assessment maps

ILV engineering assessment maps are shown on the following pages.

On each of these maps, the Property is shown in the black border in the centre of the map.

An explanation is provided below each map.

The maps show key sources of information that T+T has used in assessing whether the ILV engineering criteria are met.

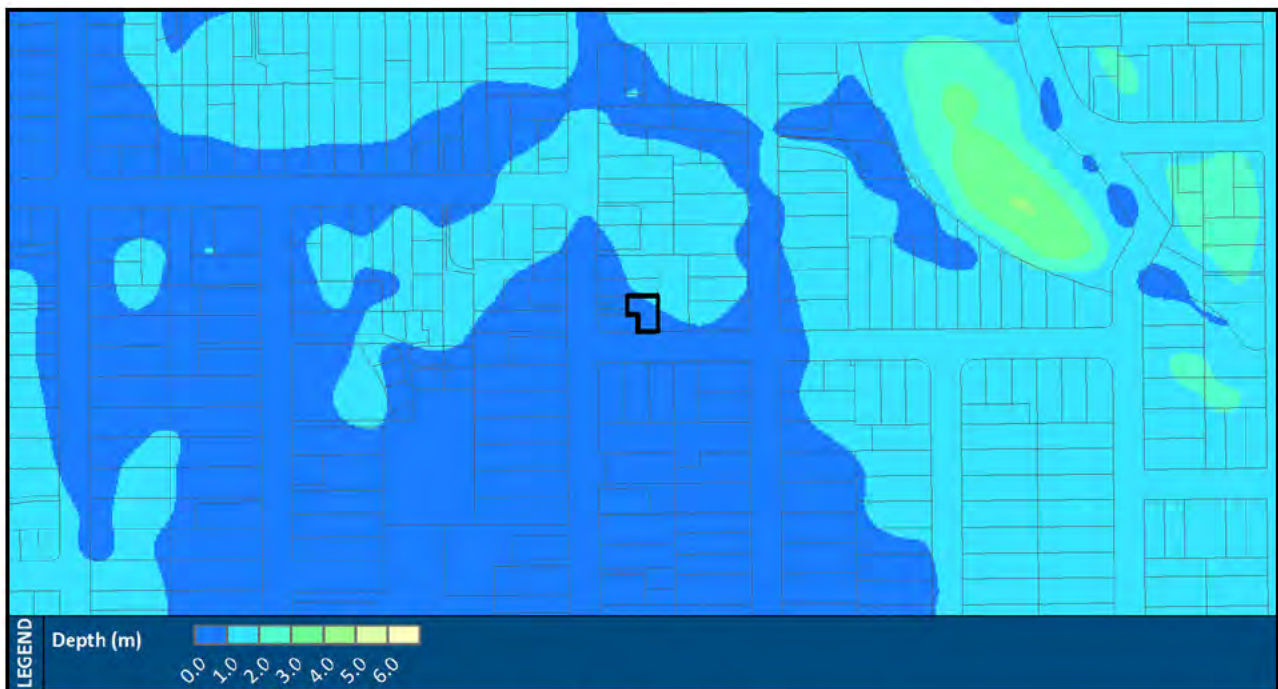


**Map 1: Post Canterbury earthquake sequence ground surface elevation and geotechnical investigation locations**

This map shows the ground surface elevation (i.e. the height of the land) following the Canterbury earthquake sequence. The elevation shown is the height above mean sea level.

The black dots show the locations of geotechnical investigations. These comprise a combination of Cone Penetration Tests (CPTs), boreholes and laboratory tests.

The ground surface elevation was measured using an aerial LiDAR survey, which involved scanning the ground surface from an aircraft. This post-earthquake ground surface elevation survey is a key input into the ILV engineering assessments.



**Map 2: Post Canterbury earthquake sequence depth to groundwater**

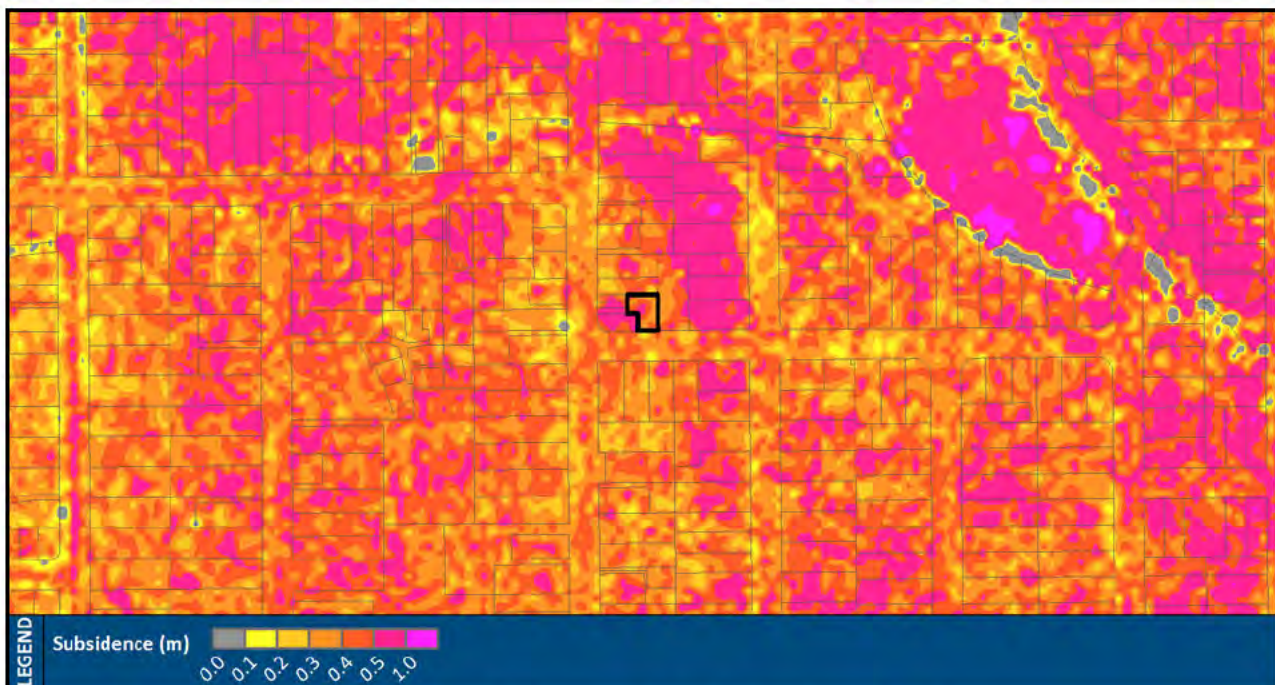
This map shows the median depth to groundwater below the ground surface after the Canterbury earthquake sequence.

Data from approximately 1,000 shallow groundwater monitoring wells have been used in the development of the groundwater model.



**Map 3: Worst observed land damage due to the Canterbury earthquake sequence**

This map shows the worst observed land damage recorded for the four main earthquakes during the Canterbury earthquake sequence. Descriptions of the observed land damage categories are: **None to Minor** – no observed liquefaction related land damage through to minor observed ground cracking but with no observed ejected liquefied material at the ground surface; **Minor to Moderate** – observed ground surface undulation and minor-to-moderate quantities of observed ejected liquefied material at the ground surface but with no observed lateral spreading; and **Moderate to Severe** – large quantities of observed ejected liquefied material at the ground surface and severe ground surface undulation and/or moderate-to-severe lateral spreading.



**Map 4: Total ground surface subsidence due to the Canterbury earthquake sequence**

This map shows the estimated total amount of ground subsidence as a result of the Canterbury earthquake sequence. Ground surface subsidence is estimated by comparing ground surface levels after each of the four main earthquakes. Adjustments have been made to the map to remove subsidence or uplift that is not as a result of the Canterbury earthquake sequence (e.g. man-made activities such as earthworks).

## Further information

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For more information about ILV land damage and the ILV engineering assessment, refer to the EQC website ([www.eqc.govt.nz/ILV](http://www.eqc.govt.nz/ILV))

## Data references

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Parcel database sourced from the LINZ Data Service and licensed by LINZ for re-use under the Creative Commons Attribution 3.0 New Zealand license.

Important notice: The maps in this report were created from data extracted from the Canterbury Geotechnical Database (<https://canterburygeotechnicaldatabase.projectorbit.com>), which were prepared and compiled

for EQC to assist in assessing insurance claims made under the Earthquake Commission Act 1993. The source maps and data were not intended for any other purpose. EQC and its engineers, Tonkin + Taylor have no liability for any use of the maps and data or for the consequences of any person relying on them in any way. This “important notice” must be reprinted wherever these maps or derivatives are reproduced.

## Disclaimer

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This report was produced for EQC purely for the purposes of assisting EQC to determine whether it has any liabilities under the Earthquake Commission Act 1993. T+T understands that EQC will provide this report to the EQC customer.

The ILV engineering assessment has been undertaken in accordance with EQC’s ILV Policy and the Canterbury Earthquake Sequence: Increased Liquefaction Vulnerability Assessment Methodology. Copies of these documents are available on the EQC website ([www.eqc.govt.nz/ILV](http://www.eqc.govt.nz/ILV))

24 June 2014



Earthquake Commission  
c/o Christchurch Land Settlement Team  
PO Box 34-027  
Fendalton  
CHRISTCHURCH 8540

**EQC Ref: 2010-027427**  
**Date of Valuation: 3 September 2010**  
**Date of Inspection: 5 June 2014**

**LAND CLAIM: THE BAXTER TRUST, 5 DUDLEY STREET, RICHMOND, CHRISTCHURCH**

In accordance with Earthquake Commission requirements and pursuant to the Earthquake Commission Act 1993, values (GST inclusive, if any) based on a kerbside assessment are assessed as follows:

Description	Area	Value
1a Value of minimum sized site		N/A
1b Area of land (minimum sized site under the District Plan)	450 m ²	
1c Actual site area	407 m ²	\$ 167,000
2.Land within EQC cover	407 m ²	

Comment: Description of damage provided in the EQC mud map dated 16 May 2013 has been adopted for valuation purposes. Actual boundaries are assumed to reflect legal boundaries and our assessment is on the basis of a clear Title. This brief report, which should be viewed as a summary, has been prepared to meet the requirements of The Earthquake Commission and it is acknowledged that it does not meet IVS reporting standards.

**Quotable Value**

A handwritten signature in black ink, appearing to read 'Jonathon Dix', written over a light blue circular stamp.

**Jonathon Dix**  
**Registered valuer**