

BC No: 240589

SITE DETAILS:

982 A OXFORD ROAD

RANGIORA

LEGAL:

LOT 1

Approved Building Consent Documents and Plans (Full set)

On Site Copy

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

Inspections

For bookings or building enquiries please phone the Building Unit on:

03 311 8906

or

Email inspection bookings to: bcbooking@wmk.govt.nz

- Please refer to your inspection schedule for details of inspections to be carried out.
- At least 2-3 full working days' notice should be given when booking an inspection.
- Please be advised that it may not always be possible to carry out the inspection within the time frame you require.
- Provision is to be made to allow access.
- The Code Compliance Certificate will be issued once the:
 - Final inspection has been carried out and passed.
 - Audit of WDC building consent file has been completed.
 - Payment of any outstanding invoices, including Development Contributions, are received.

WOODBURNER COMMITMENT AND REGISTRATION FORM



WOODBURNER REGISTRATION

Applicant's full name: _____

Postal address: _____

Phone (home): _____ **Mobile:** _____

Email address: _____

Site address: *(Property address of where the wood burner is being used)*

Number & Street: _____

Suburb: _____ City: _____

Burner make & model: _____

CONDITION OF USE

I acknowledge that all users of this woodburner will be required to meet the following conditions.

The discharge of visible smoke from a burner is not allowed, except for 15 minutes at start-up and 5 minutes at refuelling	<input type="checkbox"/> Yes
Only dry, seasoned wood will be used	<input type="checkbox"/> Yes
The burner must be well maintained and appropriate records must be kept	<input type="checkbox"/> Yes

For more information and clean burning tips visit www.letscleartheair.co.nz

Applicant's signature

Date

Note: All properties less than 2ha that are in a Clean Air Zone need to register. To find out if your property is in a Clean Air Zone, please contact Customer Services

Dial Before You Dig

Safety near underground cables and services

MainPower is committed to providing a safe, secure and reliable electricity supply to all customers.

This fact sheet is designed to inform you about safety around electricity, particularly underground cables.

Working near electricity cables

Serious personal injury can result from damaging underground services during excavation and ground penetration. Supply disruption and repairs can be costly and extremely irritating to customers.

The positions where cables are buried are subject to reasonable tolerance however, the depth of cover may have changed since installation.

It is your responsibility to verify the position and depth of cables before excavation.

Steps to ensure safe digging

- Obtain up-to-date plans from the relevant local authorities.
- Use a cable locator, if possible, to mark-out the underground services before commencing work.
- Practice safe digging procedures.
- The Worksafe Guide for Safety with Underground Services sets out agreed work methods and preferred work practices for the location and excavation of underground services. Download the guide at - <http://www.business.govt.nz/worksafe/information-guidance/all-guidance-items/underground-services-guide-for-safety-with/underground.pdf>

Underground electricity cables

For copies of plans showing MainPower's electricity cables phone 03 311 8300, weekdays 8am - 5pm or email us at underground.records@mainpower.co.nz.

Please allow 2 working days to receive copies of plans. MainPower may hold some records of privately-owned cables connected to the MainPower network system; contact MainPower in the first instance.

Additional services MainPower can provide if you are planning your digging:

- Mark-out Services: MainPower can trace cables using an electronic locator.
- On-Site Supervision: For difficult work or locations, MainPower can provide on-site safety supervision.

Disclaimer This fact sheet is not an exhaustive list of all safety matters that need to be considered. Whilst care is taken in the preparation of this material, MainPower does not guarantee the accuracy and completeness of the information.

Underground council services

All contractors are reminded of their legal responsibility to take all practicable steps to locate and protect existing services. In the road corridor, service plans and a Corridor Access Request (CAR) permit need to be obtained through the Beforeudig website (www.beforeudig.co.nz). The Beforeudig service helps contractors to determine the location of any underground services before excavating. For service plans on private property, and lateral locations for work on private property that will not extend into any part of the road reserve, contact the Waimakariri District Council's Customer Services team at office@wmk.govt.nz.

Contact MainPower

To report a fault:
0508 60 70 80

For electricity emergencies:
0508 60 70 80

For general enquiries:
www.mainpower.co.nz
info@mainpower.co.nz
03 311 8300 (8am to 5pm, Monday to Friday)



mainpower

Dial before you dig.

Always remember to locate underground cables and services before digging and avoid serious injury, supply disruption and costly repairs. Phone MainPower for cable location advice.

03 311 8300

Think for Safety's Sake

www.mainpower.co.nz

THINGS YOU SHOULD KNOW ABOUT...

Noisy Heat Pumps

AS THE DISTRICT GROWS WE'RE SEEING MORE HOMES BEING BUILT ON SMALLER SECTIONS.

Smaller sections mean that you need to pay closer attention to products which both eliminate and produce noise.

While a heat pump is not assessed under the Building Consent application, and therefore not checked or signed off under any building inspection, some models produce noise which is deemed excessive under the District Plan.

The onus is upon the individual / landlord to ensure that it complies with your local council's District Plan rules.

BELOW ARE QUESTIONS TO ASK YOURSELF BEFORE INSTALLING A HEAT PUMP:

- **Does your heat pump comply with the permitted noise levels allowed by the Waimakariri District Council?**
i.e. Does the noise produced from your heat pump measure less than 50dBA during the day and less than 40dBA at other times? You may not be allowed to use it if complaints are received.
- **Where are you mounting the unit?**
The level of noise produced by your heat pump will depend upon the size, the location and how it has been fixed /mounted.

It is common sense that heat pumps will produce some noise as they do contain a compressor and fan. However what is regarded as 'acceptable noise' is a personal and subjective opinion.



Please note that if the unit makes a constant penetrating monotone engine noise similar to generators or water heater pumps, then those types of noise may cause significant issues for neighbours who will render the noise 'unreasonable'. Such noise may not even be exceeding the noise levels but will potentially still be rated as 'unreasonable'.

Most noise issues occur when the outdoor unit is located too close to the neighbouring boundary or not raised off the ground.

Noise specifications will be found in the sales brochure, and you are advised to check these prior to purchase and installation.

If you are having a heat pump installed, make sure the installer is trade qualified to install air conditioning units and heat pumps. The installer should be a member of IRHACE.

Have your heat pump installed by a qualified installer.

MORE INFORMATION

Visit waimakariri.govt.nz for more information, or contact Customer Services on 0800 965 468 (0800WMKGOV)

BUILDING UNIT

Application for a Minor Variation to a Building Consent

It is the owner's (or authorised agent's) responsibility to notify Council of any changes to the approved plans under *The Building Act 2004, Section 40*

This application is to advise Waimakariri District Council that the following minor variation* is proposed to be undertaken on the building situated at the site address listed below. (As per *The Building Act 2004, Section 45A*)

*For guidance on minor variations, please refer to the fact sheet on our website waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets

This variation will be processed in office and approved by a Building Control Officer.

Consent details

BC number: _____ Site address: _____

Owner/Agent name: _____

Owner/Agent email: _____

Owner/Agent contact number: _____

Applicant's role in project: _____

Applicant name: *(if not Owner/Agent)* _____

Applicant email: *(if not Owner/Agent)* _____

Applicant contact number: *(if not Owner/Agent)* _____

Description of Minor Variation and reason for change: *(Attach only relevant plans and supporting documents)*

Minor Variation requested during inspection Yes No

If yes, note type of inspection and date carried out:

Signature of: Owner Applicant on behalf of owner

Signature: _____ Date: _____

Print name: _____

Invoice to be billed and sent to: Owner Applicant Other:

General information

Processing and administration fees apply. Our latest fees and charges are available on the WDC webpage waimakariri.govt.nz/services/fees-and-charges

NOTE: Any charges incurred are required to be paid by the 20th day of the month following the month in which the invoice is issued and prior to issue of the Code Compliance Certificate.

FACT SHEET - PROPERTY AND BUILDING

Amendments and Minor Variations to Building Consents

The designer, builder and project manager should ensure the property owner and the Building Consent Authority (BCA) are made aware of any proposed variations as soon as they are identified and seek guidance from the BCA on how the variation will be handled.

The property owner is ultimately responsible for the building work, its compliance and for obtaining the Code Compliance Certificate at the end of the works.

All amendments/variatioins must be approved by the Council and comply with all requirements of the Building Code and Building Act 2004 and must be approved before the building work is carried out, otherwise it may result in a failed inspection.

You may also need to include information relevant to the Territorial Authority's other statutory responsibilities, this includes the District Plan under the Resource Management Act 1991.

There are two ways the BCA handles changes:

- Amendments – major changes to a project
- Minor variations - a change which does not deviate significantly from the approved plans and specifications

Additional fees apply for minor variations and amendments.

Amendments

An application for an Amendment must be accompanied by a completed **Form 2 Application for Project Information Memorandum and/or Building Consent** inclusive of new plans, specifications, design memorandum, amended PS1 and the like.

The amendment will be processed within 20 working days.

Minor Variations

Minor variations can be approved in two ways, onsite by the Building Inspector or in the office by a Building Consent Officer.

You will need to provide the inspector with information to show how the change complies with the Building Code. When the inspector is satisfied the minor variation complies with the building code, the scope of the variation and its approval will be recorded on the inspection notice. Once approved, you do not need to provide any further information to us.

When the inspector does not have enough information to approve the onsite minor variation, you will be asked to apply for an in-office minor variation.

To apply for an in-office minor variation, you will need to complete the **Application for a Minor Variation to a Building Consent** form and provide the updated plans/documents to the Building Unit to be assessed.

Where the scope of work is broader than what can be covered by a minor variation, you will need to apply for an amendment.

Note: *In-office minor variations and amendments may require additional inspections and site inspections may not be able to be booked until the minor variation/amendment has been approved.*

Some common examples of Amendments vs Minor Variations are listed below:

	Amendment	Minor Variation
Change of finished floor level (FFL)	Any change, including when a Building Location Certificate is not as per issued plans	n/a
Change of siting	Changing siting which affects Building Code or District Plan requirements e.g. closer to the boundary which may require a new fire wall or affect the recession plane	When the structure moves further away from boundaries and does not breach the Building Code, District Plan or a Consent Condition
Change to framing	Adding or altering openings or framing not covered by PS1 e.g. Engineer or Truss and Frame manufacturer	Changes to framing covered by PS1 e.g. Engineer or Truss and Frame manufacturer
Changing building wrap	Rigid air barrier to a flexible wrap	Substituting a comparable product
Changing cladding	Different cladding/cladding system	Minor area when cladding details are already part of consent (e.g. above/below windows)
Changing roof cladding	Change of roof cladding e.g. membrane to long run coloursteel	Substituting a comparable product e.g. from corrugated to T-Rib profile
Changes to bracing	Changing to an unknown product	Proposed change is consistent with MBIE guidance Moving the bracing element along the same bracing line
Changes to internal linings - excluding bracing		Substituting standard wall linings including bathrooms e.g. Aqualine to Villaboard in bathrooms
Changing the insulation		Substituting a comparable product
Change of room layout		Bathroom layout (nothing new)
Change of shower	Changing from acrylic to tiles when Consent documents do not include specifications/drawings for tiles	Changing from tile to acrylic OR changing from acrylic to tiles. (Only when drawings and specifications include a second shower, such as when an ensuite shower is tiled)
Change of stormwater disposal	Amendment	n/a
Removing a strip drain/sump in driveway		Remove the strip drain/sump from plan
Change of heating unit	Change of make e.g., Woodsman to Masport or changing the model that is not included in the consent documents	Change of model which is within the approved consent documents. e.g. Woodsman Tarras vs Woodsman Brunner
Drains – change between G13 AS1/ AS2 and AS3 (NZS 3500)	Amendment	n/a
Change of location of effluent disposal field	Where location of the effluent field is outside the proposed envelope	Where location of the effluent field is within the proposed envelope
Change of wastewater treatment unit	Change of treatment unit	Different than approved but included in design report
Removing a structure	Amendment	n/a
Adding a structure	New building consent	n/a
Changes to Specified Systems	Adding or removing a Specified System from a consent	Minor changes e.g., adding an extra vent for HVAC system or different manufacturers

Note: This table is intended to be used as a guide only.

Please visit MBIE's Building Performance website for further information:

building.govt.nz/projects-and-consents/build-to-the-consent/making-changes-to-your-plans/

Find out more at waimakariri.govt.nz, or contact Customer Services on 0800 965 468.

Dwellings, Outbuildings, Swimming Pools and Other Works (Not Commercial)

Section 1 Statutory Forms

- **Inspection List – By Council**
- **Building Consent Form (Form 5) – By Council**
- **Installation & PS3 Forms – By Council**
- **Application Form**
- **LBP Design Certificates**
- **Record of Title or Sales & Purchase Agreement**
- **PIM, Resource Consent – By Council**

PLEASE NOTE

- Although your Consent documentation states 2-3 full working days' notice is required, it may not always be possible to carry out the inspection within the time frame you require.
- If an inspection of the building works is not carried out in accordance with the Inspection Schedule it could affect the issue of the Code Compliance Certificate.

**To book inspections ring WDC on
03 311 8906**

All inspections are subject to a separate charge.

All re-inspections will be charged and recorded separately even if other inspections are carried out on the same day.

Using engineers & other professionals

If an engineer has been engaged to carry out various site inspections you will need to provide copies of his/her site notices to us and a producer statement, a PS4 from the engineer confirming the building elements designed and inspected by the engineer were completed in accordance with the approved design.

Confirmation of installation of products

We require producer statements, warranties & installation certificates from various installers as a way of confirming products have been installed in accordance with the manufacturer's recommendations. These are commonly required for exterior claddings, wet area tanking, membrane roofing/decking and effluent fields. Energy certificates such as electrical and gas certificates need to be provided too. You will need to provide these to us prior to the issue of the Code Compliance Certificate.

Applying for a Code Compliance Certificate (CCC)

When you are satisfied your project is complete please book a final inspection. The owner or their agent is also required to complete a separate application for the Code Compliance Certificate (Form 6) as soon as possible after the building work is completed. The application form to apply can be downloaded via the link below or call 03 311 8906 for further information.

<https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z#building>

You should have this form ready for when the building Inspector arrives on site to carry out the final inspection, or email it to ccc@wmk.govt.nz. Please note all outstanding monies must be paid prior to the issue of the CCC.

Grant or refuse a CCC

We are required to make a decision to grant or refuse a CCC if you do not formally apply for a CCC within two years of the granting of the building consent. The date your consent was granted is the date at the bottom of the building consent form. If you do not apply for a CCC or arrange an extension with us within the two year period we may carry out an inspection of the building work. An additional fee applies for this work.

Lapsing of your consent

Your building consent will lapse if building work has not commenced within 12 months after the date of issue of the building consent. The issue date is deemed to be the day you paid for the consent. In saying this we understand things don't always run smoothly so you can apply for a time extension which we may agree to. A fee applies for this.

Site Inspection Sheet

Application

Madison L Munro, Roy A Frew C/- Ascad Limited 59 Warwick Road RD 5 Rangiora 7475	No.	BC240589
	Issue date	26 August 2024
	Overseer	Chris Keegan

Project

Description	1100 New (& prebuilt) House, Unit, Bach, Crib, Town Houses BC - New or Relocated Dwelling, Solid-fuel (Wood or Coal) fire, New Detached Dwelling, 01 Standard Building Consent(20 W Processing Days)
Intended Life	Indefinite (50+)
Intended Use	Residential
Estimated Value	\$100000.00
Location	982 A Oxford Road RANGIORA
Legal Description	LOT 1 DP 397121 4.000000 Ha
Valuation No.	2159106500

This inspection sheet and all the approved plans and specifications relating to this building consent are to be available on site during construction. If the documentation required for a particular inspection is not available, this will mean automatic failure of the building inspection and will necessitate re booking the inspection at the applicant's expense.

Work cannot proceed past each step until that step has been inspected and approved.

All inspections listed below are to be inspected by a WDC Building Inspector, an Engineer may also need to be engaged to inspect engineer requirements, this will be noted below.

BC240589
Pile Holes - Engineer to inspect also
Subfloor -
Structure Pre Roof Pre Wrap - Engineer to inspect also
Building Wrap & Sill Tape -
Cavity Battens & Flashings -
Sheet Cladding Exterior Early Installation -
Drains -
Effluent Field -
Preline & Plumbing - Engineer to inspect also
Prestopping -
Free Standing Fire / Boiler -
Final -

Please give at least 2-3 full working days' notice for the next required inspection, please be advised that it may not always be possible to carry out the inspection within the time frame you require.

Compliance schedule

A Compliance Schedule is not required for this building.

Attachments

Copies of the following documents are attached to this building consent:

Consented Plans

Consented Specifications

Inspection List

A handwritten signature in blue ink, appearing to read 'Shirley Cresswell', is positioned above the printed name and title.

Shirley Cresswell

Building Unit Administrator

On behalf of: Waimakariri District Council

Date: 26 August 2024

Advice notes

Building consent

BC240589

Advice Notes as at 26/08/2024

Project description

Street address of building: 982 A Oxford Road RANGIORA
Legal description where work is located: LOT 1 DP 397121 4.000000 Ha
Description of consent: CONVERTING PART OF EXISTING SHED TO DWELLING INCLUDING LOGBURNER

Advice Notes

This building consent is issued with the following advice notes listed below. Please read and follow the guidance given. Failure to do so may create difficulties in obtaining a code compliance certificate.

All inspections listed must be requested and carried out in accordance with the attached schedule (list) of inspection types. It is advisable to request bookings at least 2-3 full working days' in advance, please be advised that it may not always be possible to carry out the inspection within the time frame you require. It is the owner's responsibility to ensure all necessary inspections are carried out. Please contact the building consent authority if you are unsure what requires inspection - do not cover or enclose any building work without prior inspection.

Please note that the consent fees allow for a single inspection of construction stages of the project as specified in the inspection schedule. Any extra inspections required will be invoiced and must be paid for before a code compliance certificate is issued.

All boundary survey pegs must be located by discovery or redefinition before work is commenced.

Comply with the endorsements on the plan.

An inspection of the installation of the heating unit is required before its first use. Council recommends the heating unit is not lit until the Final Inspection has Passed and the Code Compliance Certificate has been issued.

The duplicate copy of the approved consent documents and inspection schedule must remain on site during construction.

Where a private well or other system is the sole means of providing a domestic water supply to the building covered by this Building Consent a second water (Microbiological) test needs to be provided to Council prior to issue of the Code Compliance Certificate or before occupation occurs, whichever happens first. Please note that if the time elapsed between the original test and this second test is greater than 18 months, or the results from the first test were non-compliant, a full water test (Chemical and Microbiological) will be required. Refer to <https://www.waimakariri.govt.nz/services/3-waters/water-supply/water-supply-schemes>

Engineers site reports are to be kept on site for the review and collection by the building Inspector.

A PS4 construction review will be required from the engineer prior to the issue of a Code Compliance Certificate.

Waste disposal units, or garbage grinders shall not be installed to a septic tank system.

All variations/amendments must be approved by the Council and comply with all requirements of the Building Code and Building Act 2004 and must be approved before the building work is carried out. There are two ways the Building Control Authority handles changes:

- *Minor variations* - a change which does not deviate significantly from the approved plans and specifications.
- *Amendments* - major changes to a project.

Guidance on what constitutes an amendment or minor variation, the approval process, and the forms to apply for an Amendment or In-office Minor Variation are available from the Waimakariri District Council website. www.waimakariri.govt.nz/council/documents/bylaws-plans/fact-sheets
Additional fees apply for minor variations and Amendments.

WorkSafe New Zealand to be notified prior to any disturbance of asbestos or hazardous materials on site during demolition or construction.

The electrical certificate shall be provided to the building consent authority prior to issue of Code Compliance Certificate where the project involves electrical works.

Your consent is issued subject to manufacturers technical information about their products, installation and maintenance is to be as this technical information requires.

Licensed building practitioners records of work shall be provided to the Territorial Authority (TA) / Building Consent Authority (BCA) for foundations, carpentry / primary structure, roof cladding, wall cladding systems, brick & block laying as applicable at the conclusion of the relevant work.

A Building Consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the building consent or any further period that the Building Consent Authority may allow. (Time extensions to commence building work after 12 months must be submitted to the Building Consent Authority in writing stating the reason for the request, prior to the lapse date of the consent.

A Building Consent is not completed until it has been issued with a Code Compliance Certificate. The owner is required to complete a separate application for a Code Compliance Certificate as soon as practicable after the building work is completed. In any event no later than two (2) years after the granting of the Building Consent. Council is required to decide whether or not a Code Compliance Certificate can be issued. If your project will not be completed within two years you will need to apply for a time extension*. *fees apply.

A "Statement of Thermal performance of Windows and doors" to be supplied by window manufacturer/supplier confirming the thermal performance of the windows and doors has met minimum R values required by the building consent being R0.50, prior to the issue of a Code Compliance Certificate

The certifying drainlayer's registration number shall be provided to the Building Consent Authority prior to issue of the Code Compliance Certificate.

The drainlayer shall provide the building consent authority a PS3 for the installation of the effluent field prior to issue of Code Compliance Certificate.

The plumbing pressure test PS3 & plumbers registration number shall be provided to the Building Consent Authority prior to issue of the Code Compliance Certificate.

The gas certificate shall be provided to the building consent authority prior to issue of Code Compliance Certificate.

The installer shall provide a PS3 for the installation of the Heating Unit prior to issue of Code Compliance Certificate.



WAIMAKARIRI
DISTRICT COUNCIL
Private Bag 1005, Rangiora 7440
Ph 03 311 8900, 03 327 6834 Fax 03 313 4432
www.waimakariri.govt.nz

**PRODUCER STATEMENT INSTALLATION OF SOLID/
LIQUID FUEL HEATING APPLIANCE**

For Installer to Complete

BC No.

Issued by (Installer):

At (address):

For (Owner):

In respect of the installation of the solid or liquid fuel heating appliance prior to first use.

HEATING APPLIANCE INSTALLATION

Free standing	Inbuilt	Wet back
Make of SFB		Make of Flue
Model of SFB		

Tick as Appropriate:

Y N N/A

1. Is the SFB and Flue as per the building consent
2. Chimney Cleaned
3. Fireplace surround/chimney face junction sealed with a heat resistant material
4. The flue pipe is constructed of austenitic stainless steel
5. Seismic Restraint fitted
6. Flue sections are secured together with Stainless Steel Rivets
7. The Flue is secured to the heating unit
8. The chimney void has been vented at the top
9. Flue and appliance clearances have been achieved in terms of the Manufacturers Instructions and AS/NZS 2918:2001
10. Flue Joints sealed in Accordance with Manufacturers Instructions
11. Fire Safety Valve connected and working correctly
12. If you have answered "no" to any items please comment:

PLEASE TURN OVER FOR SIGNATURES

INSTALLER

I (print/type name) certify that the above specified installation has been carried out as described and in accordance with the manufacturers installation instructions and the current building code requirements.

Company Name:

Phone:

Address:

Fax:

Email:

Installers Signature:

HHA Registration No:

Date:

WETBACK INSTALLATION

If a wetback heater is fitted, name the Certifying plumber who carried out the supervised work:

Name:

Registration No:

Signature:

Company Name:

Date:



Private Bag 1005, Rangiora 7440
Ph 03 311 8900, 03 327 6834 Fax 03 313 4432
www.waimakariri.govt.nz

PRODUCER STATEMENT PIPEWORK TESTING

BC No.

Issued by (Plumber):

At (address):

For (Owner):

In respect of the testing of water pipe work prior to concealment.

I hereby state that I have personally tested the water pipe work installed in the building authorised under this Building Consent by the method indicated hereunder.

By pressurising the pipe work to 1500 kPa for a period of not less than 15 minutes for the hot and cold water supply and checking to see there are no leaks. (NZBC G12/AS1 7.5.1 (a), (b).)

By pressurising the uPVC pipe work to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/AS1 7.5.2, NZS 7643).

Max working pressure was:

By pressurising the pipe work to 1500 kPa for a period of not less than 5 minutes and checking to see there are no leaks. (NZBC G12 VM1, AS3500:Part 1.2 1998)

And believe on reasonable grounds that the pipe work has passed that test.

All work complies with the NZBC

I also understand that Waimakariri District Council in accepting this producer statement will be relying on it to issue the Code Compliance Certificate at the completion of the building work.

SIGNATURE OF LICENSED CERTIFYING PLUMBER:

Signature:

Registration Number:

Company Name:

Date:

BUILDING UNIT

Form 2 Application for a Project Information Memorandum and/or Building Consent

Dwellings, Outbuildings, Swimming Pools and Other Works e.g. Septic Tank, Bridge, Retaining Wall, Amendments and Exemptions

Under The Building Act 2004, Sections 33, 45 & Schedule 1, Part 1, Clause 2

BC No.:

1. The Building

Street address (street/road/township): *(for structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection)*

Legal description of the land where the building is located: *(state legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent)*

Lot: DP: Valuation Number: Resource Consent:

Building name: *(if applicable)*

Location of building within site/block number: *(include nearest street access)*

Number of levels: Unit/Level No.:

Area: *(total floor area; indicate area affected by the building work if less than the total area)*

Existing: New: Total:

Current lawfully established use: *(include number of occupants per level and per use if more than 1)*

Year building first constructed: *(Approximate date is acceptable, eg 1920's)*

2. The Owner - all details must be the legal owner's

Name of owner: *(include preferred form of address, e.g. Mr, Mrs, Ms, Miss, Dr, if an individual)*

Contact person: *(not required if the owner is an individual. Must have a New Zealand address)*

Mailing address:

Street address/Registered office: *(if different than above)*

Phone number:

Landline: Mobile: Daytime: After hours: Fax:

Email: Website:

Specify the intended use of the building: (e.g. detached dwelling, multi-unit dwelling, show home, sleepout or outbuilding - shed/garage etc.)

Will the building work result in a change of use of this building? Yes No

If Yes, provide details of the new use:

Will hazardous substances be stored in the building? Yes No

Intended life of the building:

Indefinite but not less than 50 years Or specified as years

Is this a staged consent? Yes No

If staged, provide details (e.g. Stage 1 of 3)

List Building Consents previously issued for this building (if any): (i.e. is this project being constructed in stages? Is this consent for a relocated or transportable building?)

Estimated value of the building work on which the building levy will be calculated (incl. GST): (state estimated value as defined in section 7 of the Building Act 2004)

\$

If this is an application to amend a building consent, advise the estimated value of amended building work (incl. GST) \$

Is this in addition to, or reduction from, what was stated with the original application?

Addition Reduction No change

7. Restricted building work

Will the building work include any restricted building work? Yes No

If Yes, provide the following details of all Licensed Building Practitioners who will be involved in carrying out or supervising the restricted building work (if these details are unknown at the time of the application, they must be supplied before the work begins).

Licence class	Name	Licensed building practitioner number (or registration number if treated as being licensed under section 291 of the Building Act 2004)
Foundations		
Carpentry		
Exterior Plasterer		
Bricklayer		
Blocklayer		
Roofer		

Key personnel

Builder

Name: _____ Reg. No.: _____
 Address: _____
 Phone No.: _____ Email: _____

Designer(s)

Name: _____ Reg. No.: _____
 Address: _____
 Phone No.: _____ Email: _____

Certifying drainlayer

Name: _____ Reg. No.: _____
 Address: _____
 Phone No.: _____ Email: _____

Certifying plumber

Name: _____ Reg. No.: _____
 Address: _____
 Phone No.: _____ Email: _____

Certifying gasfitter

Name: _____ Reg. No.: _____
 Address: _____
 Phone No.: _____ Email: _____

Registered electrician

Name: _____ Reg. No.: _____
 Address: _____
 Phone No.: _____ Email: _____

Structural engineer

Name: _____ Reg. No.: _____
 Address: _____
 Phone No.: _____ Email: _____

8. Project Information Memorandum - this section is not applicable if this application is for a building consent only

The following matters are involved in the project:

Subdivision

Alterations to land contours

New or altered connections to public utilities

New or altered locations and/or external dimensions of buildings

New or altered access for vehicles

Building work over or adjacent to any road or public place

Disposal of stormwater and wastewater

Building work over any existing drains or sewers or in close proximity to wells or water mains

Registered historic site or place, tick if applicable (only applies where a PIM has not previously been issued for the building work)

Other matters known to the applicant that may require authorisations from the territorial authority:

Notes

Other notes or comments which you may wish to add, eg: Resource Consents

9. Building consent - this section is not applicable if this application is for a Project Information Memorandum only

The following plans and specifications are attached to this application, or refer to the Appendix section for plans and specifications provided.

The building work will comply with the Building Code as follows: *(Note: if you are not sure what clauses are applicable, consult with your builder, designer or architect)*

Clause <i>(Tick relevant clause numbers of Building Code)</i>	Means of compliance <i>(Refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications)</i>	Waiver/modification required <i>(State nature of waiver or modification of building code required)</i>
B1 Structure		
B2 Durability		
C1-C6 Protection from fire		
D1 Access routes		
D2 Mechanical installations for access		
E1 Surface water		
E2 External moisture		
E3 Internal moisture		
F1 Hazardous agents on site		
F2 Hazardous building materials		
F3 Hazardous substances and processes		
F4 Safety from falling		
F5 Construction and demolition hazards		
F6 Visibility in escape routes		
F7 Warning systems		
F8 Signs		
F9 Means of restricting access to residential pools		
G1 Personal hygiene		
G2 Laundering		
G3 Food preparation and prevention of contamination		
G4 Ventilation		
G5 Interior environment		
G6 Airborne and impact sound		
G7 Natural light		
G8 Artificial light		
G9 Electricity		
G10 Piped services		
G11 Gas as an energy source		
G12 Water supplies		
G13 Foul water		
G14 Industrial liquid waste		
G15 Solid waste		
H1 Energy efficiency		

10. Compliance schedule - this section is not applicable if there are no specified systems or if the application is for a Project Information Memorandum

The specified systems for the building are as follows: *(specified systems are defined in regulations)*

The following specified systems are being altered, added to, or removed in the course of the building work:

There are no specified systems in the building

11. Attachments

The following documents are attached to this application:

Plans and specifications (list under section 9)

Memoranda from licensed building practitioner(s) who carried out or supervised any design work that is restricted building work

Project information memorandum

Development contribution notice

Certificate attached to project information memorandum

Completed relevant application checklist(s) – refer to Appendix

Please continue on the Appendix as follows for further information requested by the Waimakariri District Council.

Appendix - further information requested by the Waimakariri District Council

National Environment Standard (NES)

This section relates to the [National Environmental Standard for Assessing & Managing Contaminants in Soil to Protect Human Health \(NES\)](#).

The NES includes regulations controlling **soil disturbance, change of use, subdivision, and removal/ replacement of fuel storage systems** on properties which have been used either now or in the past for a hazardous activity or industry (known as HAIL) that may have resulted in contamination of the soil. The table below determines whether the NES applies to your proposal.

Yes No

Is the application site listed on Environment Canterbury's Listed Land Use Register (LLUR)? www.llur.ecan.govt.nz If **YES**, please include a copy of the LLUR statement with your application.

If the site is not listed on the LLUR, is an activity described on the Hazardous Substances and Industries List (HAIL) currently being undertaken on the piece of land to which this application relates, or is it more likely than not to have ever been undertaken on the land?

The HAIL list is available to view at [Hazardous Activities and Industries List \(HAIL\)](#)

Type of HAIL activity:

If the answer to either of the above questions is YES, then the NES will apply, depending on the type of activity. Please identify whether the application involves the activities below.

PLEASE NOTE - *If the answer to both of the previous questions is No, you do not need to answer the remaining questions in this section.*

Yes No

Has the property been recently subdivided?

Will the proposed activity involve the disturbance of more than 25m³ of soil (per 500m² of disturbed area)? Volume of soil disturbed:

Will the proposed activity involve the removal of more than 5m³ of soil (per 500m² of disturbed area) from the site? Volume of soil removal:

Does the application involve changing the use of the land to one which, because the land has been subject to a HAIL activity, is reasonably likely to harm human health? (e.g. orchard to a residence)

Does the application involve replacing or removing fuel storage systems or parts of it?

If the answer to any of the above activity questions is also YES, then the NES will apply and you will need to establish whether the proposed activity complies with the NES.

- Changing the land use will require resource consent if the permitted activity requirements of the NES are not complied with. These include provision of a Preliminary Site Investigation carried out by a suitably qualified and experienced practitioner.
- Soil disturbance or removal exceeding the specified volumes require resource consent.
- Removal or replacement of a fuel storage system will require consent if the permitted activity requirements of the NES are not complied with.

Does the proposed activity require resource consent under the NES?

If **YES**, a resource consent is required and with the application an assessment under the NES must be provided. A Detailed Site Investigation may be required.

Vehicle crossing

Is a new vehicle crossing required or an existing crossing altered for this project?

Yes No Resource consent applied for

If yes, please complete and submit the [Vehicle Crossing Application Form](#) and send to office@wmk.govt.nz

Application form

(One copy)

Office use only

These have been provided:

- All sections fully completed as applicable to the project
- Means of Compliance with NZBC - designer to complete
- Provide the correct legal description (Council can help with this)
- Provide one copy of the current Record of Title, or Sales and Purchase Agreement - not more than one month old
- Give name and contact numbers of contact person (if not the owner)
- State the project location (street address or location details as near as possible if no address)
- Application authorised and dated
- Agent relationship to owner stated (where applicable)
- Certificate/s of design work (LBP)

Bookmarks

PLEASE NOTE - Our current software does not enable us to maintain bookmarks within the consent documents during processing and granting. (This may be reviewed once a software solution becomes available.)

Project Information Memorandum (PIM)

This section must be completed if you are applying for a PIM. **DO NOT** complete this section if a PIM has already been issued. The following documents are attached to this application:

- Site plan, Floor plans, Elevations for proposed building (electronic preferred or if hard-copy minimum size A3)
- Record of Title, or Sales and Purchase Agreement if Record of Title is not issued. Current Record of Title required (current within one month of application)
- Application fee (as per Council Fees and Charges Schedule)

Building consent

This section must be completed if you are applying for a building consent. **DO NOT** complete this section if the Application is for a Project Information Memorandum only.

The following documents are attached to this application:

- 1 copy - building plans (site plans, floor plans, elevation plans. All plans to be dimensioned, scaled and accurate electronic preferred or if hard-copy minimum size A3)
- 1 copy of each - specifications, producer statements, truss details (refer below)
- 1 copy - Record of Title or Sale and Purchase Agreement if Record of Title is not issued. Current Record of Title required (current within one month of application)
- Restricted building work - see page 4
- Key personnel - see page 5
- Building work compliance with the Building Code - see page 7

PLEASE NOTE - Swimming Pool document checklist on the following page to be completed if applicable.

Swimming pools (as applicable)

Site plan, showing location of pool and existing buildings, location of fence, boundaries and existing waterways

Fence construction. Show the height, gates, self-closing device, construction type etc (see “A Guide to Pool Fencing”)

Also show how any doors or windows that form part of the fence will comply

Brand and model of pool:

Size of the pool:

Drainage plan. Show discharge point

Producer statement (where applicable)

Installation instructions/manual

Show filling point for pool (tap) and backflow protection

Design basis

(To be completed by the designer)

Please list the following basis for the building design:

Wind zone

Earthquake zone

Snow zone/altitude

Corrosion zone (if applicable)

Building is specifically engineer-designed

Complies with NZS 3604:2011

Both specific design and NZS 3604:2011

Design documents

(One copy)

Weather tightness risk matrix

Truss design layout and Producer Statement

Bracing calculations/plan

H1 Energy efficiency calculations

Site plan

(One copy, electronic preferred or if hard-copy minimum size A3)

Overview of site showing legal boundaries as per current Record of Title

Showing proposed and existing structures (including swimming pools)

Distances to boundaries

Proposed and existing site levels

North point

Utility infrastructure (sewer, water pipelines, septic tanks etc) where applicable

Water races, drains, topographic features

**Office
use only**
These have
been provided:

Drainage layout

(One copy to scale usually 1:100 or 1:50, electronic preferred or if hard copy minimum size A3)

- Foul water - showing waste pipes, sizes, grades, venting
- Foul water to discharge point
- Storm water - pipe sizes, grades, downpipe locations
- Storm water drain to discharge point

Foundation layout

(One copy to scale usually 1:100 or 1:50, electronic preferred or if hard copy minimum size A3)

- Full foundation layout plan
- For timber floors, show all pile layout, pile types and bracing location
- Slab thickenings, shrinkage control joints and reinforcing rebates

Floor plans

(One copy to scale usually 1:100 or 1:50, electronic preferred or if hard copy minimum size A3)

- Layout of all floors fully dimensioned. For alterations and/or additions provide both new and existing floor plans
- Doors and window positions and sizes
- Layout of amenity areas (laundry etc)
- Main structural beams that are not shown elsewhere
- Lintel sizes
- HWC location
- Roof space access
- Gas cylinder location
- Room names
- Location of smoke alarms
- Location of heating unit (if applicable)

Exterior elevations

(One copy to scale usually 1:100 or 1:50, electronic preferred or if hard copy minimum size A3)

- Elevations of all external walls showing claddings
- Doors and windows showing opening sections
- Show location of solar panels
- Accurate ground levels existing and proposed
- Subfloor ventilation for timber floors
- Show roof bracing on elevations if not shown elsewhere

Cross section and construction details

(One copy to scale usually 1:50 or 1:20 for sections and 1:10 for details - minimum scale, electronic preferred or if hard copy minimum size A3)

- Roof lines, overhangs, floor levels, ground levels
- Major vertical dimensions
- Foundation, wall and roof structure materials
- Upper level decks or balconies over lower level room must be fully detailed including the stormwater disposal and overflow precautions

Stairs, handrails and balustrade showing pitch and head clearances
Structural connections, posts to footings, beams to posts, trusses or beams to walls
Component fixing information is to be provided for all structural and framing components
Foundation and footing details and reinforcing. Show height from finished floor to ground level
Pile details for timber floors
Floor bracing details
Timber grade and treatment
Damp proof membranes, building papers and insulation systems/materials
Flashing details and documents
Roof penetrations
Shower floor details and wall to shower base junction detail
Sealing to wet area fixtures
Water splash prevention
All other building components that are not otherwise detailed or are unusual in any way

Specification

(One copy)

The specification must be for the project. We will not accept standard specifications unless they relate directly to the building and they cover the project accurately and fully. Multi-choice specifications will not be accepted. A brief accurate specification is usually best.

Provide a written specification to cover all of the trades involved in the project. All materials used in the project are fully specified including fixings of all materials and components

The specification can be written on the drawings as long as all materials are fully covered

Important things to include in your application

(One copy - where relevant)

The chartered professional engineer's Producer Statement

The engineer's monitoring schedule if the engineer chooses to do site monitoring

All structural calculations

Structural details showing connections and details of the components

Solar technical details and plumbing schematic

Log fire and flue installation instructions

If log fire secondhand, engineer's certification required

Current potable water test (current within 18 months)

Effluent disposal design & ECan's copy of the submitted application form or approval

Wastewater system designs when required to be done by a chartered professional engineer such as in a hazard zone

Supporting manufacturer's trade literature and appraisals / certificates included

Geotechnical report

Geotechnical report provided, if applicable. Record report number:

Office use only

Further information required? Yes No

Date/time received:

Officer:

Date/time vetted/accepted:

Officer:

Office use only

Amount paid: \$

Date:

Officer:

Fee paid on application

Deposit invoice sent

Date payment processed:

Receipt:

Officer:

Important information

All the relevant information on this form is required to be provided under the Building Act 2004 and/or Resource Management Act 1991 for the Waimakariri District Council to assess your application. Under these Acts this information has to be made available to members of the public if requested. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

Application information

a. Project Information Memorandum (PIM):

A PIM will be issued within 20 working days provided all the required information is supplied with the application. Processing time is stopped whenever further information is required and starts again when the correct information is received.

It is not mandatory to apply for a PIM. Applicants can choose not to apply for a PIM when they consider that the information would not be relevant for their building project.

A fee is required to accompany your PIM application (as per Council’s Fees and Charges Schedule).

b. Compliance Check:

Where a PIM is not sought, a Compliance Check will be undertaken to ensure your proposal complies with the District Plan.

c. Building Consent (BC):

A Building Consent will be processed within a maximum allowable time of 20 working days provided all the information required has been supplied. Processing time is stopped whenever further information is required and starts again when the correct information is received.

Once the Building Consent has been granted, you will receive notification, which will include an invoice for the fees payable.

Once the fees are paid in full, your Building Consent will be issued. Work must not start until the Building Consent is issued, and any Resource Consent requirements have been resolved.

A Building Consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the Building Consent or any further period that the Building Consent Authority may allow. You may request an extension which will need to be agreed to by Council (fees apply), refer to [building application forms and fact sheets](#).

d. Combined Project Information Memorandum & Building Consent Applications:

Applications for a combined PIM/BC will only be accepted when sufficient information is provided to permit the Building Consent to be processed.

If insufficient information is provided, then further information will be requested, or your application may be returned to you.

e. If the applicant does not own the land, they must provide written approval from the owner to submit this application.

Levies payable

Under the Building Act 2004 s53, s55 s402 Council are authorised to collect levies for the MBIE (Building Levy Order 2005) and BRANZ (Building Research Levy Act 1969). Levies are only payable on building works where the construction value exceeds a prescribed amount.

[Building Act 2004](#)

[Building Levy Order 2005](#)

[Building Research Levy Act 1969](#)

Fees

The application for a PIM and/or Building Consent must be accompanied by the fees as described in Sections 33 and 45 of the Building Act 2004. The work to process a PIM and/or Building Consent will be invoiced and needs to be paid in full before the PIM and/or Building Consent can be granted, refer to [building services fees and charges](#).

Inspections

During the process of construction, inspections will be necessary to confirm all work complies with your approved Building Consent documentation. Please phone the Council Building Unit on 03 311 8906 at least **48 hours in advance** of requiring an inspection. Bookings are subject to demand and the availability of Inspectors, **please be advised that it is not always possible to carry out an inspection within 48 hours**.

The inspections required will be set out in the Building Consent documentation issued by the Council. Failure to have a prescribed inspection carried out may put the issue of the Code Compliance Certificate at risk.

All inspections including re-inspections are subjected to a separate charge, even if carried out on the same day.

Resource consent

Your application will be assessed by the Planning Unit of the Council to determine whether your project complies with the relevant District Plan requirements.

If your application does not comply with District Plan requirements, you will need to either amend your proposal to comply or apply for a Resource Consent. A Certificate will be attached to your Project Information Memorandum to notify that a Resource Consent is required prior to building work commencing. It is recommended that you phone the Planning Unit on 0800 965 468 to discuss the process.

Code compliance certificate

A Building Consent is not completed until it has been issued with a Code Compliance Certificate. The owner is required to complete a separate application for a Code Compliance Certificate as soon as practicable after the building work is completed. In any event no later than two (2) years after the granting of the Building Consent, Council is required to decide whether or not a Code Compliance Certificate can be issued. If your project will not be completed within two years, you may request an extension which will need to be agreed to by Council (fees apply), refer to [building application forms and fact sheets](#).

Agency

The owner may authorise an agent to submit an application on their behalf.

The Agent will be the first point of contact for all communications with the Council/Building Consent Authority regarding this application under Sections 33 and 45 of the Building Act 2004. They will receive all correspondence and must be authorised by the Owner. All amendments require new authorisation.

The owner can elect to receive a copy of correspondence regarding this Building Consent/PIM and associated Building Consent Inspection Notices in "The owner" section of this application form, or by notifying Council during the Building Consent/PIM and/or Code Compliance Certificate process.

Form 2A

**Memorandum from licensed building practitioner: Certificate of design work
Section 45 and Section 30C, Building Act 2004**

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: **982a Oxford Road**

Suburb:

Town/City **Rangiora**

Postcode:

THE OWNER

Name(s): **Roy Frew**

Mailing address: **982a Oxford Road**

Suburb:

PO Box/Private Bag:

Town/City: **Rangiora**

Postcode:

Phone number: **0279 560 570**

Email address: **royfrew@gmail.com**

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies (✓)	
()	sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design myself – no other person will be providing any additional memoranda for the project
()	lead designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
✓	lead designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memoranda relating to their specific RBW design
()	specialist designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I **Andrew Siegenthaler** carried out in part the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
<i>Tick(✓) if included Cross (X) if excluded</i>	<i>[If appropriate, provide details of the restricted building work]</i>	<i>[Specify whether you carried out this design work or supervised someone else carrying out this design work]</i>	<i>[If appropriate, specify references]</i>

Primary structure

All RBW Design () work relating to B1		() Carried out () Supervised	
Foundations and subfloor framing		Carried out () Supervised	
Walls ✓	<i>Timber Framed Walls</i>	✓ Carried out () Supervised	Floor Plan, Sections & Details
Roof		Carried out () Supervised	
Columns and beams		Carried out () Supervised	
Bracing		Carried out () Supervised	
Other ()		() Carried out () Supervised	

EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2

All RBW design () work relating to E2		() Carried out () Supervised	
Damp proofing ✓	<i>DPM underside of slab & DPC under bottom plate</i>	✓ Carried out () Supervised	Cross Section & Construction Details
Roof cladding or roof cladding system ✓	<i>Roof Cladding on Building Paper plus fixings</i>	✓ Carried out () Supervised	Roof Plan & Construction Details
Ventilation system (for example, subfloor or cavity) ✓	<i>Mechanical Vents</i> <i>20mm Cavity System</i>	✓ Carried out () Supervised	Floor Plan & Electrical Plans Cross Sections & Construction Details

Wall cladding or wall cladding system	<input checked="" type="checkbox"/>	<i>Exterior Wall Claddings</i>	<input checked="" type="checkbox"/> Carried out () Supervised	Elevations, Cross Sections & Construction Details
Waterproofing	<input checked="" type="checkbox"/>	<i>Bath, Shower, WHB</i>	<input checked="" type="checkbox"/> Carried out () Supervised	Details
Other	()		() Carried out () Supervised	

FIRE SAFETY SYSTEMS: C1 – C6

Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other	<input checked="" type="checkbox"/>	<i>Smoke Alarms</i>	<input checked="" type="checkbox"/> Carried out () Supervised	Floor Plan & Electrical Plan
--	-------------------------------------	---------------------	---	------------------------------

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

WAIVERS AND MODIFICATIONS

Waivers or modifications of the building code are required () Yes No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>

Note: continue on another page if necessary.

ISSUED BY

Name: Andrew Siegenthaler	LBP or Registration number: 108550
The practitioner is a: <input checked="" type="checkbox"/> Design LBP () Registered architect () Chartered professional engineer	
Design Entity or Company (optional): a.s.c.a.d. ltd	
Mailing address (if different from below):	
Street address / Registered office: 59 Warwick Road	
Suburb: Ohoka	Town/City: Rangiora

PO Box/Private Bag:	Postcode:
Phone number: 0272 838 775	Mobile:
After Hours:	Fax:
Email address: ascadltd@gmail.com	Website:

DECLARATION

I **Andrew Siegenthaler** LBP **108550**

state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code; or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature: 

Date: **05/06/2024**

Form 2A

**Memorandum from licensed building practitioner: Certificate of design work
Section 45 and Section 30C, Building Act 2004**

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: 982A Oxford Road

Suburb:

Town/City: Fernside

Postcode:

THE OWNER

Name(s): Roy Frew

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies (✓)	
<input type="checkbox"/>	sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design myself – no other person will be providing any additional memoranda for the project
<input type="checkbox"/>	lead designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
<input type="checkbox"/>	lead designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memoranda relating to their specific RBW design
<input checked="" type="checkbox"/>	specialist designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I Rob Dickie carried out / supervised the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
Primary structure			
All RBW Design work relating to B1 (X)		() Carried out () Supervised	
Foundations and subfloor framing (X)		() Carried out () Supervised	
Walls (✓)	Framing check and strengthening.	() Carried out (✓) Supervised	Refer Constructure drawings #15286
Roof (✓)	Framing check and strengthening.	() Carried out (✓) Supervised	Refer Constructure drawings #15286
Columns and beams (✓)	Framing check and strengthening.	() Carried out (✓) Supervised	Refer Constructure drawings #15286
Bracing (✓)	Bracing throughout.	() Carried out (✓) Supervised	Refer Constructure drawings #15286
Other (X)		() Carried out () Supervised	

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

WAIVERS AND MODIFICATIONS

Waivers or modifications of the building code are required () Yes (✓) No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>

Note: continue on another page if necessary.

ISSUED BY

Name: Rob Dickie		LBP or Registration number: 1020685	
The practitioner is a: () Design LBP ()		Registered architect (✓)	Chartered professional engineer
Design Entity or Company (optional): Constructure Christchurch Ltd			
Mailing address (if different from below):			
Street address / Registered office: 332 Durham Street North			
Suburb: Christchurch Central		Town/City: Christchurch	
PO Box/Private Bag: PO Box 21381		Postcode: 8013	
Phone number: 03 365 3243		Mobile:	
After Hours:		Fax:	
Email address: rob@constructure.co.nz		Website:	

DECLARATION

I **Rob Dickie** [name of practitioner], LBP,

state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code; or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature: 

Date: **04/07/2024-Rev1**



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




 R.W. Muir
 Registrar-General
 of Land

Identifier **387314**
Land Registration District **Canterbury**
Date Issued 10 July 2008

Prior References
 CB41A/600

Estate Fee Simple
Area 4.0000 hectares more or less
Legal Description Lot 1 Deposited Plan 397121

Registered Owners
 Roy Antony Frew as to a 1/2 share
 Madison Lee Munro as to a 1/2 share

Interests

Appurtenant hereto is a right to convey water created by Transfer 820628.5 - 9.8.1989 at 11:31 am
 Subject to Part IV A Conservation Act 1987
 Subject to Section 11 Crown Minerals Act 1991

Appurtenant hereto is a right of way, right to convey electric power and telephonic communications specified in Easement Certificate A214261.3 - 15.1.1996 at 2:40 pm

The easements specified in Easement Certificate A214261.3 are subject to Section 243 (a) Resource Management Act 1991
 Appurtenant hereto is a right to convey water and electric power and vehicular right of way created by Transfer A287907.3 - 19.3.1997 at 12:29 pm

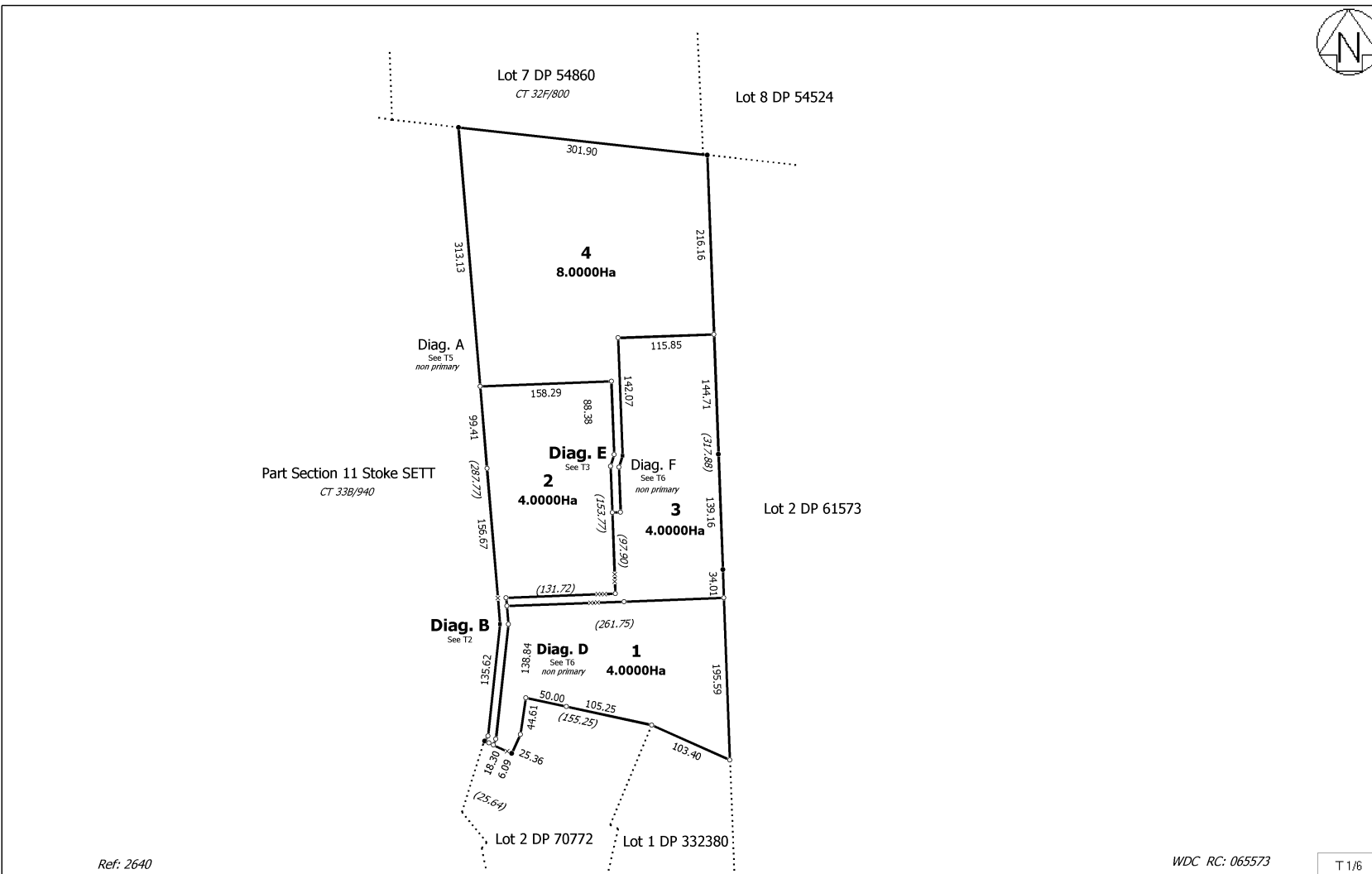
Appurtenant hereto is a right of way, right to convey water and telephonic communications created by Easement Instrument 7873645.3 - 10.7.2008 at 9:00 am

The easements created by Easement Instrument 7873645.3 are subject to Section 243 (a) Resource Management Act 1991
 Subject to a right (in gross) to convey electric power over part marked H on DP 397121 in favour of MainPower New Zealand Limited created by Easement Instrument 7873645.4 - 10.7.2008 at 9:00 am

The easements created by Easement Instrument 7873645.4 are subject to Section 243 (a) Resource Management Act 1991
 Appurtenant hereto is a right to convey water and electric power created by Easement Instrument 7873645.5 - 10.7.2008 at 9:00 am

The easements created by Easement Instrument 7873645.5 are subject to Section 243 (a) Resource Management Act 1991
 Appurtenant hereto is a right to convey electric power created by Easement Instrument 7873645.6 - 10.7.2008 at 9:00 am

The easements created by Easement Instrument 7873645.6 are subject to Section 243 (a) Resource Management Act 1991
 12790454.2 Mortgage to ANZ Bank New Zealand Limited - 4.8.2023 at 11:19 am

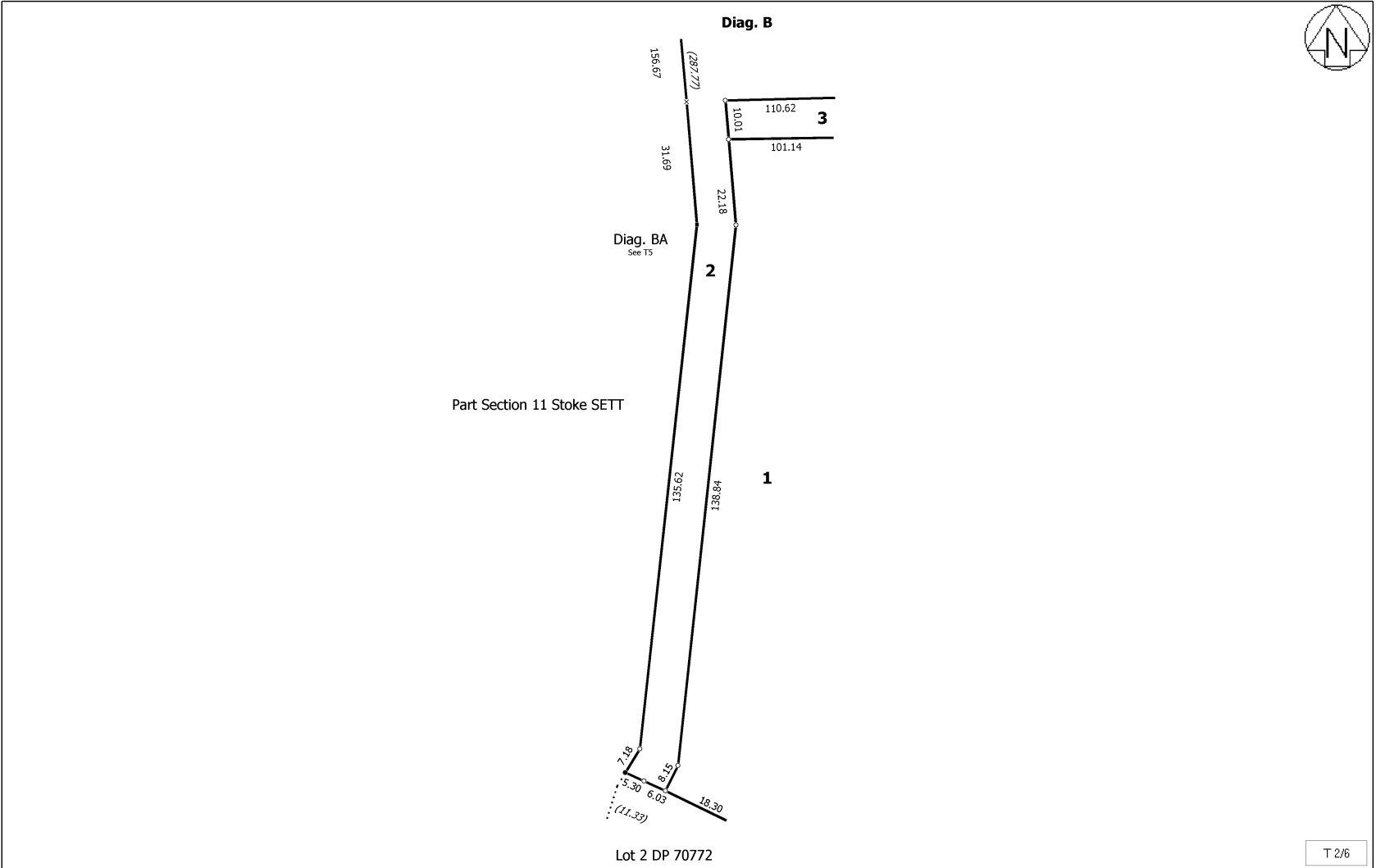


Ref: 2640

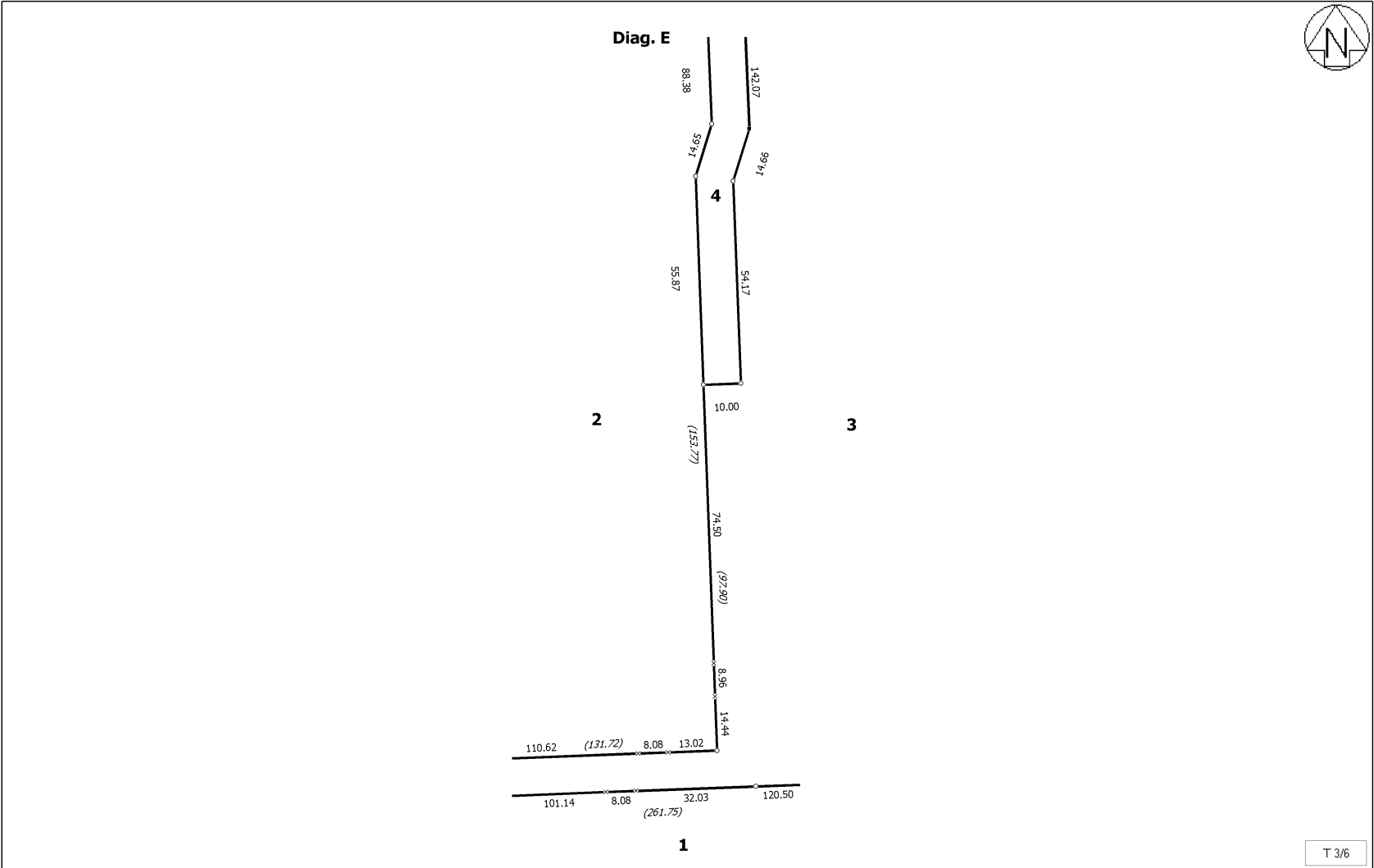
WDC RC: 065573

T 1/6

<p>Land District Canterbury</p> <p>Digitally Generated Plan Generated on: 14/07/2008 3:38pm Page 4 of 9</p>	<p>Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.</p>	<p>Surveyor: Murray Trevor Scandlyn Firm: Scandlyn Surveying</p>	<p>Digital Title Plan DP 397121 Deposited on: 10/07/2008</p>
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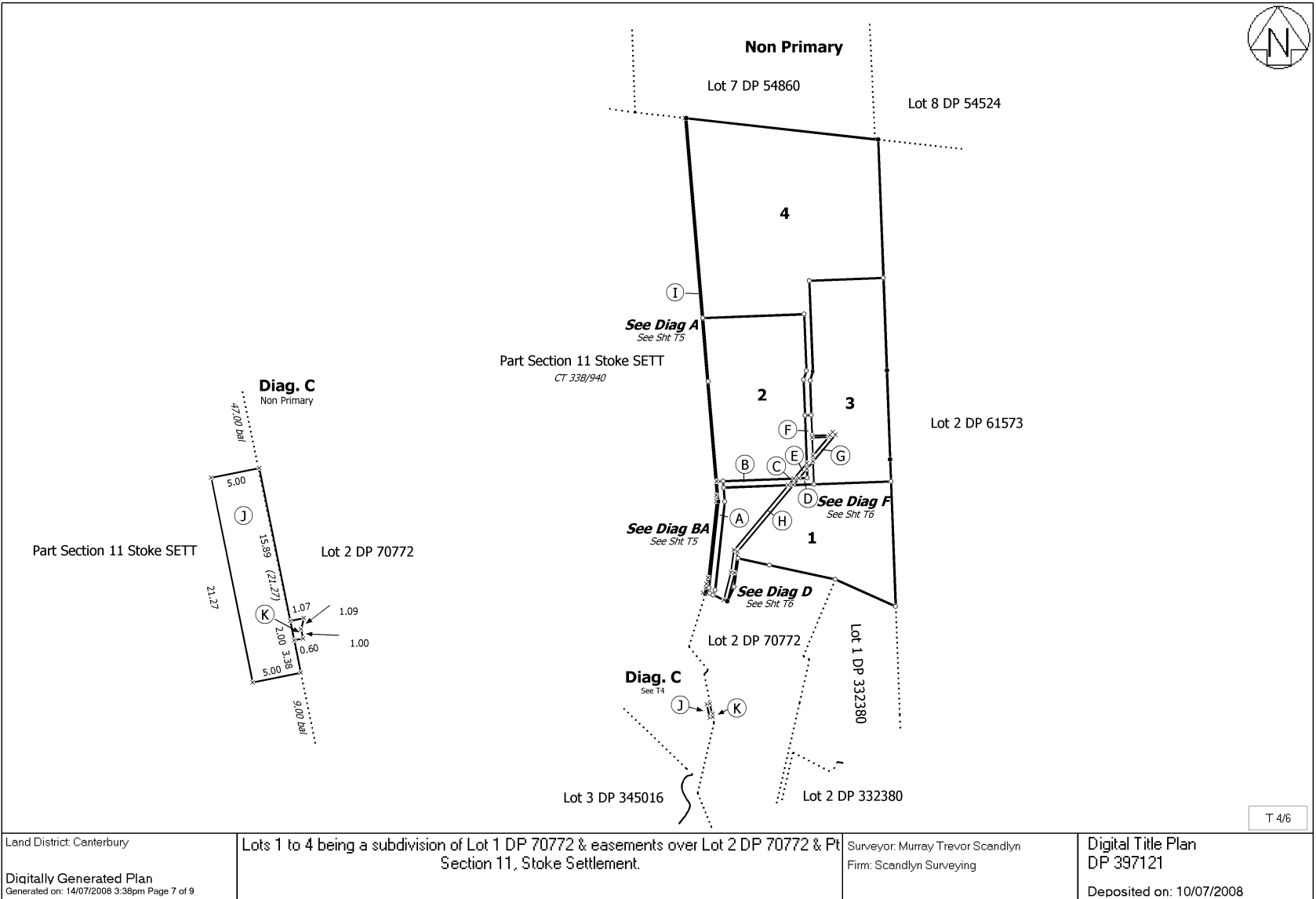


<p>Land District: Canterbury</p> <p>Digitally Generated Plan Generated on: 14/07/2008 3:38pm Page 5 of 9</p>	<p>Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.</p>	<p>Surveyor: Murray Trevor Scandlyn Firm: Scandlyn Surveying</p>	<p>Digital Title Plan DP 397121 Deposited on: 10/07/2008</p>
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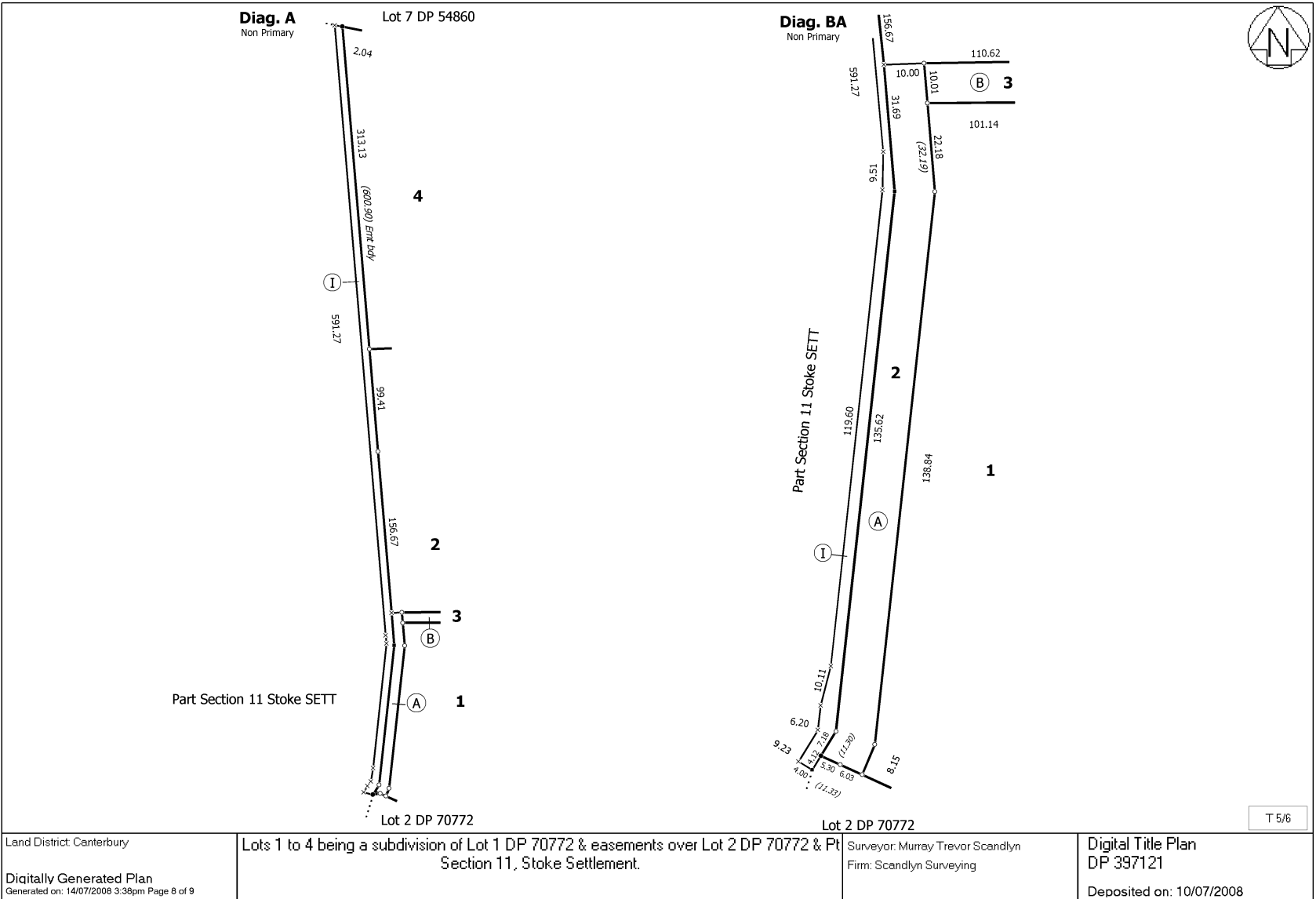


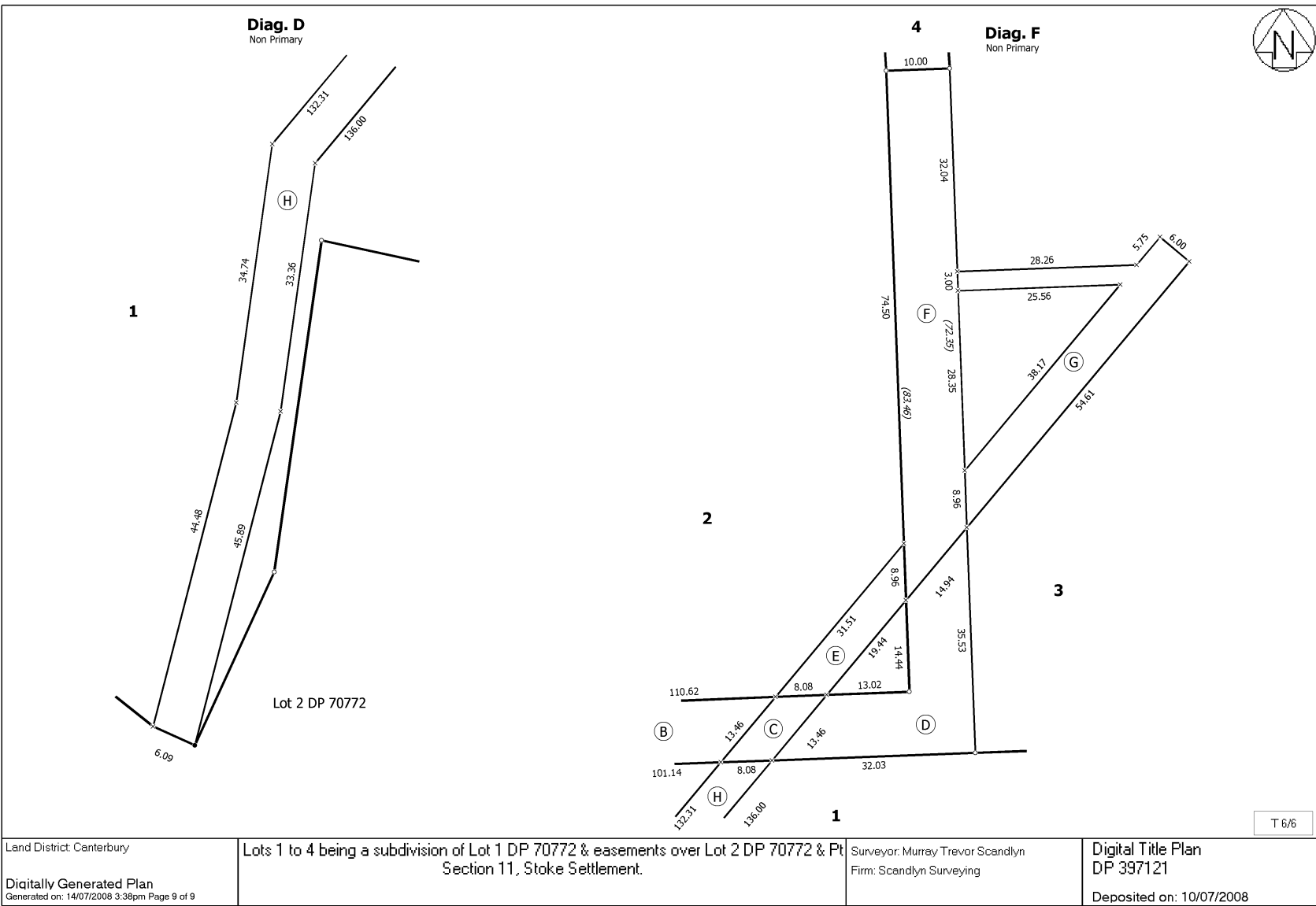
T 3/6

<p>Land District: Canterbury</p> <p>Digitally Generated Plan Generated on: 14/07/2008 3:38pm Page 6 of 9</p>	<p>Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.</p>	<p>Surveyor: Murray Trevor Scandlyn Firm: Scandlyn Surveying</p>	<p>Digital Title Plan DP 397121 Deposited on: 10/07/2008</p>
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Land District Canterbury Digitally Generated Plan <small>Generated on: 14/07/2008 3:38pm Page 7 of 9</small>	Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.	Surveyor: Murray Trevor Scandlyn Firm: Scandlyn Surveying	Digital Title Plan DP 397121 Deposited on: 10/07/2008
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Our Reference: RC065573/080317008150
Valuation Reference: 21591-065-00

17 March 2008

Scandlyn Surveying
P O Box 454
RANGIORA

Dear Murray

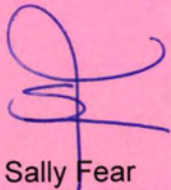
**SUBDIVISION – GILLENDY HOLDINGS LTD – 984 OXFORD ROAD, RANGIORA
SECTION 223 & 224(C) – SIGNED SURVEY PLAN**

Thank you for your letter dated 11th February 2008.

Please find enclosed a copy of the E survey plan and the 223 certification for the above subdivision, which has now been signed on LandonLine, pursuant to Section 223 of the Resource Management Act 1991. As requested, the 224(c) has also been signed on the E survey plan face.

Should you have any queries regarding the above, please do not hesitate to contact me on (03) 313-6316 ext 885.

Yours faithfully



Sally Fear
PLANNING SECRETARY/ASSISTANT

Encl



TA Approvals

Territorial Authority	Waimakariri District Council TA Certification Division	TA Reference	RC 065573
Survey Number	LT 397121	Survey Purpose	LT Subdivision
Surveyor Reference	2640 Sexton	Land District	Canterbury
Surveyor	Murray Trevor Scandlyn		
Surveyor Firm	Scandlyn Surveying		
Dataset Description	Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.		

TA Certificates

- The approval of the Council under Section 223 of the Resource Management Act 1991 is subject to the amalgamation condition(s) set out hereon
- The approval of the Council under Section 223 of the Resource Management Act 1991 is subject to the granting or reserving of the easement(s) set out in the Memorandum of Easements attached as a supporting document to plan DP 397121
- I hereby certify that plan DP 397121 was approved by the Waimakariri District Council pursuant to section 223 of the Resource Management Act 1991 on the 13th day of March 2008.
- Pursuant to Section 224(c) Resource Management Act 1991 I hereby certify that all the conditions of the subdivision consent have been complied with to the satisfaction of the Waimakariri District Council. Dated this 13th day of March 2008.

Signature

Signed by Victoria Mary Caseley, Authorised Officer, on 13/03/2008 08:01 PM

Receipt Information

Transaction Receipt Number	3289552
Signing Certificate (Distinguished Name)	Caseley, Victoria Mary
Signing Certificate (Serial Number)	1019627205
Signature Date	13/03/2008

*** End of Report ***



Digital Title Plan - LT 397121

Survey Number LT 397121
Surveyor Reference 2640 Sexton
Surveyor Murray Trevor Scandlyn
Survey Firm Scandlyn Surveying
Surveyor Declaration

Survey Details

Dataset Description Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.
Status Initiated
Land District Canterbury
Submitted Date
Survey Class Class III Cadastral Survey
Survey Approval Date
Deposit Date

Territorial Authorities

Waimakariri District

Comprised In

CT CB33B/940
 CT CB41A/600
 CT CB41A/601

Created Parcels

Parcels	Parcel Intent	Area	CT Reference
Lot 1 Deposited Plan 397121	Fee Simple Title	4.0000 ha	387314
Lot 2 Deposited Plan 397121	Fee Simple Title	4.0000 ha	387315
Lot 3 Deposited Plan 397121	Fee Simple Title	4.0000 ha	387316
Lot 4 Deposited Plan 397121	Fee Simple Title	8.0000 ha	387317
Marked A Deposited Plan 397121	Easement		
Marked B Deposited Plan 397121	Easement		
Marked C Deposited Plan 397121	Easement		
Marked D Deposited Plan 397121	Easement		
Marked E Deposited Plan 397121	Easement		
Marked F Deposited Plan 397121	Easement		
Marked H Deposited Plan 397121	Easement		
Marked I Deposited Plan 397121	Easement		
Marked J Deposited Plan 397121	Easement		
Marked K Deposited Plan 397121	Easement		
Marked G Deposited Plan 397121	Easement		
Total Area		20.0000 ha	

Schedule / Memorandum

DP 397121

MEMORANDUM OF EASEMENTS (Pursuant to s243 Resource Management Act 1991)			
Purpose	Shown	Servient Tenement	Dominant Tenement
Right of way , right to convey water and telephonic communications	A	Lot 2	Lots 1, 3 & 4
	B,C,D & F	Lot 3	Lot 4
Right to convey water	I	Pt Section 11 Stoke Settlement	Lot 7 DP 54860 Lots 1- 4
Right to convey electric power & water	J		
Right to convey electric power	K	Lot 2 DP 70772	
Right to convey electric power in gross	H	Lot 1	<u>Grantee</u> Mainpower NZ Limited
	C, F & G	Lot 3	
	E	Lot 2	

Amalgamation Conditions (Pursuant to s220 Resource Management Act 1991)
That Lot 4 shall be amalgamated with Lot 7 DP 54860 (CT 32F/800) and one certificate of title issued to include both parcels. (ref: 671616)



Ref: 2640

WDC RC: 065573

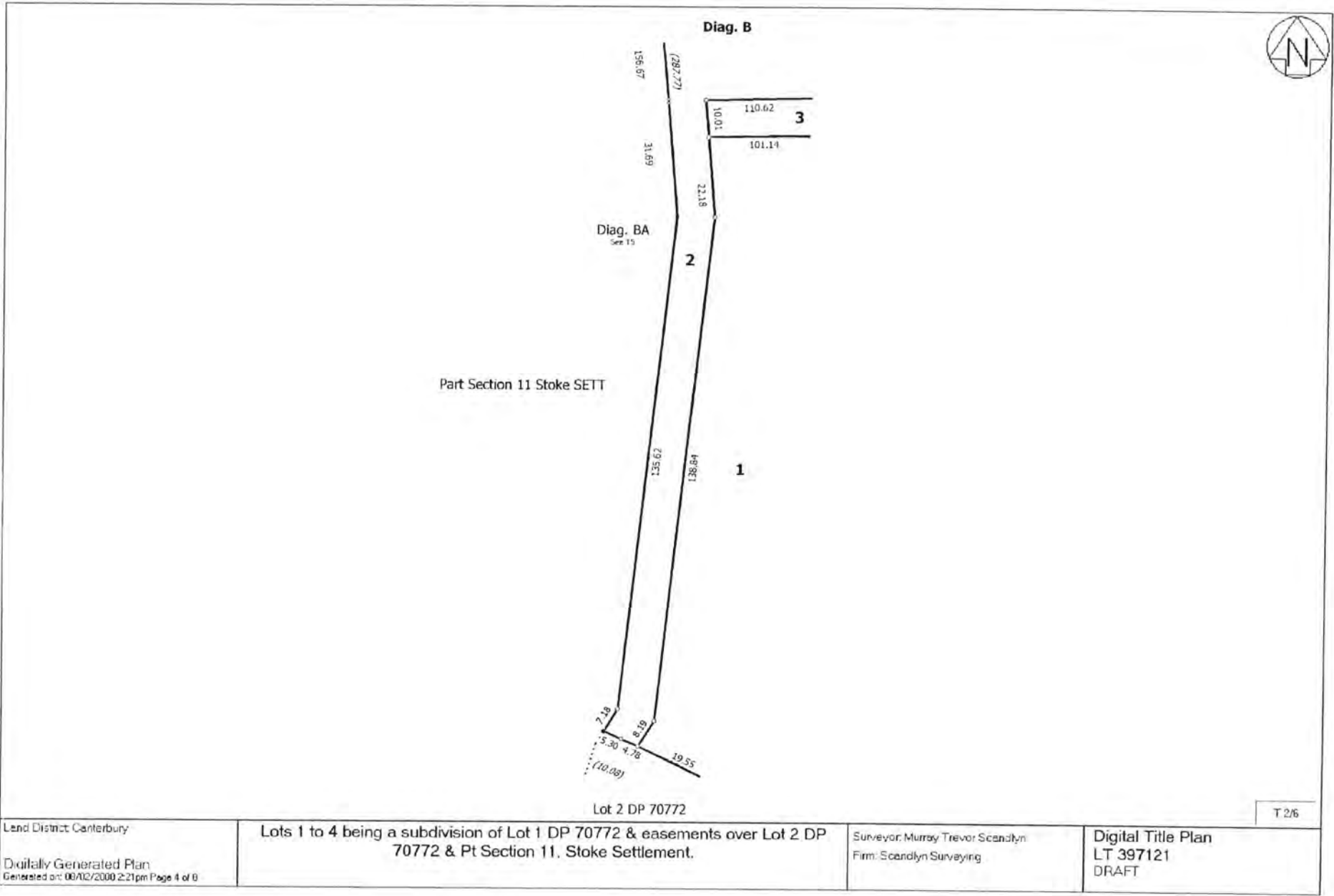
T 1/6

Land District Canterbury
Digitally Generated Plan
Generated on: 08/02/2009 2:21pm Page 3 of 8

Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.

Surveyor: Murray Trevor Scandlyn
Firm: Scandlyn Surveying

Digital Title Plan
LT 397121
DRAFT



Lend District Canterbury
Digitally Generated Plan
Generated on: 06/12/2008 2:21pm Page 4 of 8

Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11. Stoke Settlement.

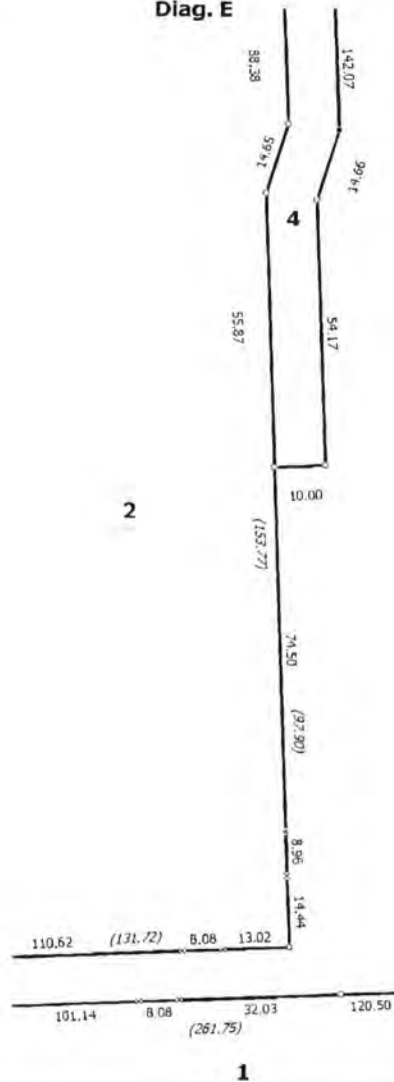
Surveyor: Murray Trevor Scandlyn
Firm: Scandlyn Surveying

Digital Title Plan
LT 397121
DRAFT

T 2/6



Diag. E



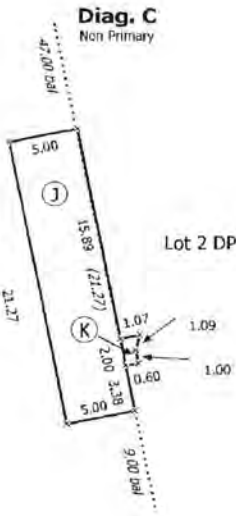
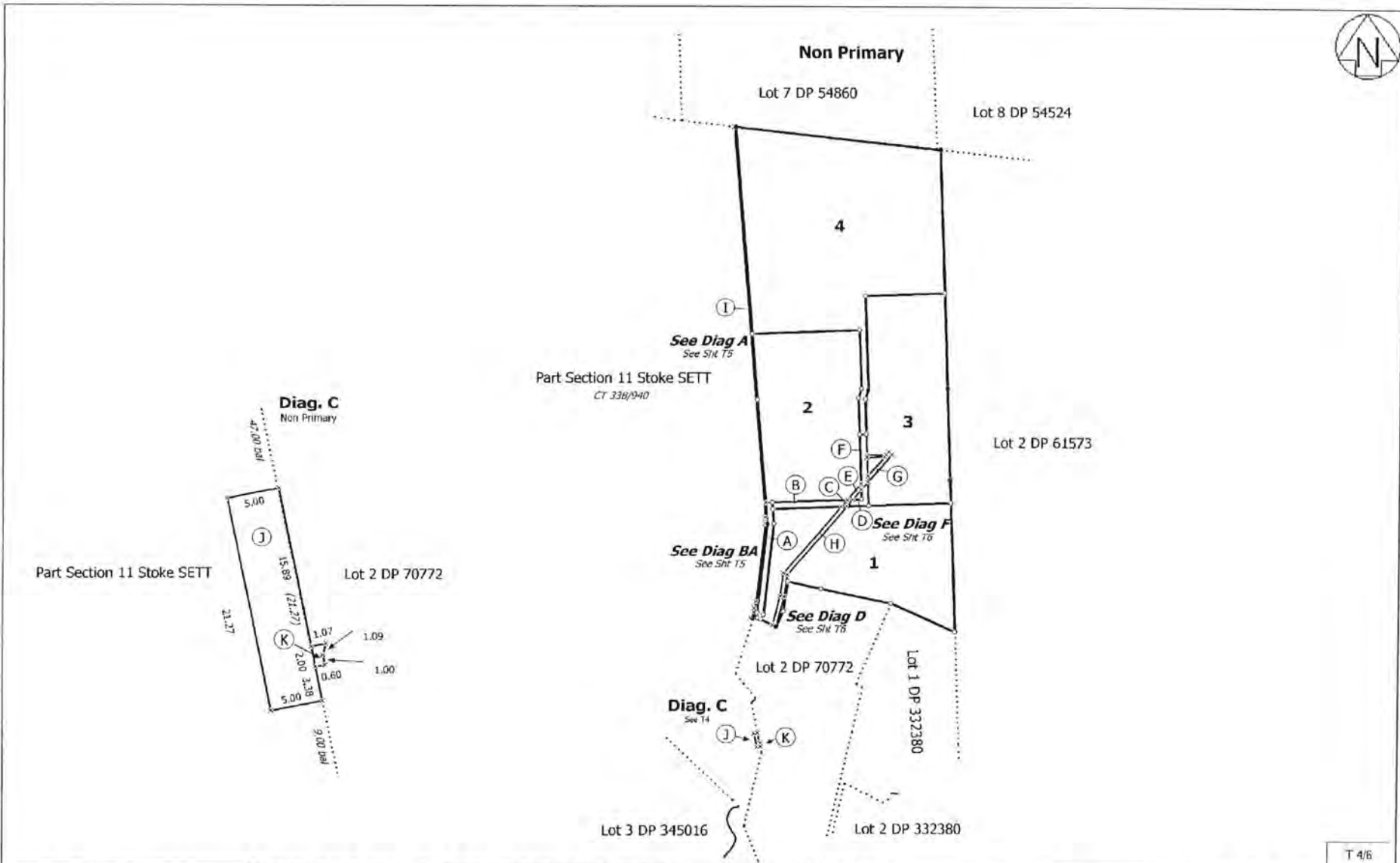
T 3/6

Land District: Canterbury
Digitally Generated Plan
Generated on: 00/02/2008 2:21pm Page 5 of 6

Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.

Surveyor: Murray Trevor Scandlyn
Firm: Scandlyn Surveying

Digital Title Plan
LT 397121
DRAFT



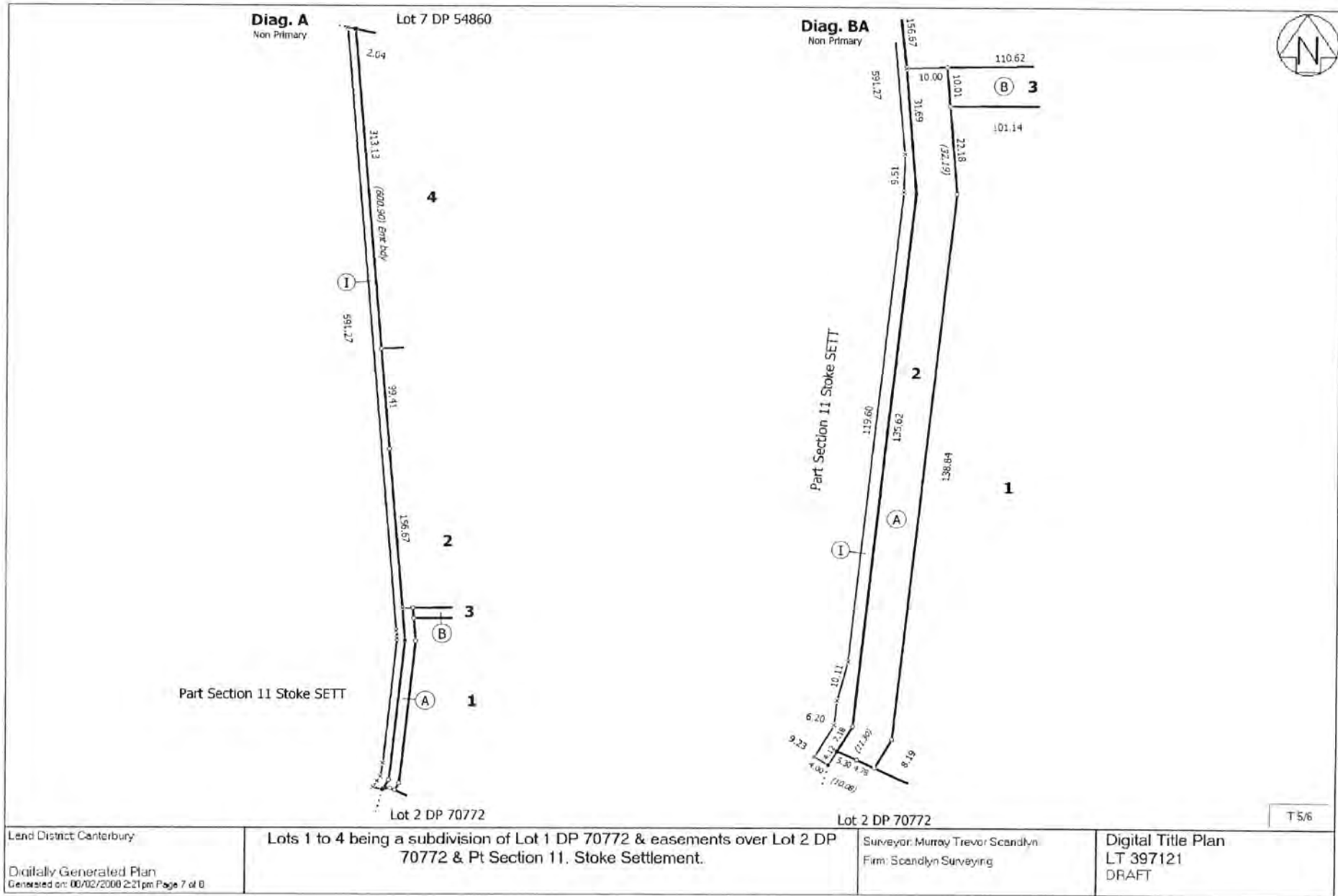
Land District: Canterbury
 Digitally Generated Plan
 Generated on: 06/02/2009 2:21pm Page 6 of 8

Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.

Surveyor: Murray Trevor Scandlyn
 Firm: Scandlyn Surveying

Digital Title Plan
 LT 397121
 DRAFT

T 4/6



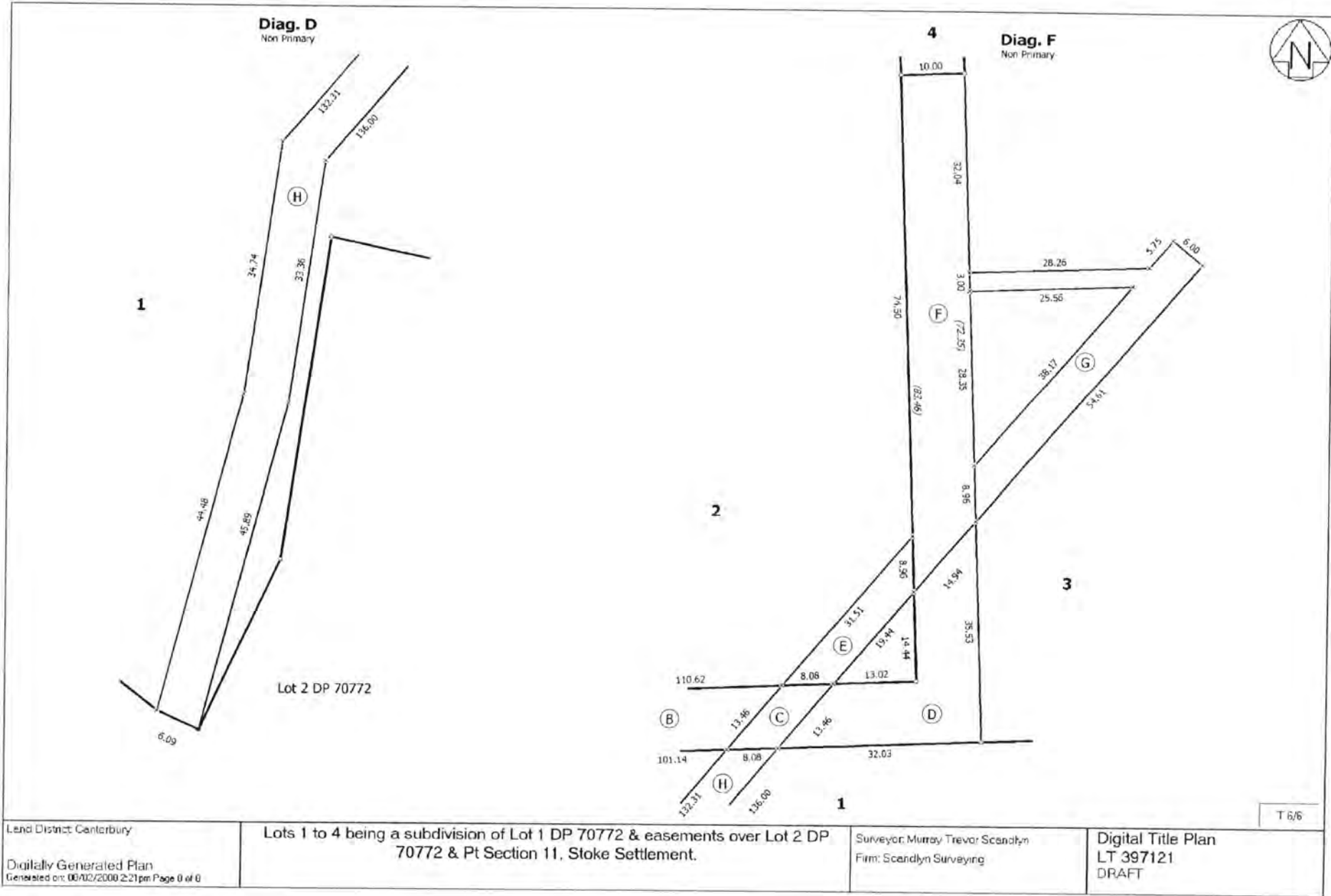
Lend District Canterbury
Digitally Generated Plan
Generated on: 00/02/2008 2:21pm Page 7 of 8

Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.

Surveyor: Murray Trevor Scandlyn
Firm: Scandlyn Surveying

Digital Title Plan
LT 397121
DRAFT

T 5/6



Our Reference:
Valuation Reference:

RC065573/070821026805
21591-065-00

21 August 2007

Gillendy Holdings Ltd
C/- Resource Consent Services
2 Campbell Lane
OXFORD

Dear Sir/Madam

**DECISION ON RESOURCE CONSENT APPLICATION
GILLENDY HOLDINGS LIMITED – 984 OXFORD ROAD, RANGIORA**

Please find enclosed a copy of the decision reached by the District Plan Manager under delegated authority from the Council on the above application.

We also enclose information relating to rights of appeal, lapsing of consent (where applicable), and other legal requirements.

Yours faithfully



Aaron Burt
PLANNING OFFICER

Encl

RC065573/070821026805

21591-065-00

WAIMAKARIRI DISTRICT COUNCIL

IN THE MATTER of the Resource Management Act 1991

AND

IN THE MATTER of an application lodged by **Gillendy Holdings Limited** for a resource consent under Section 88 of the aforementioned Act.

APPLICATION

The applicants sought a resource consent to a subdivision creating Lot 1 (4.0 ha), Lot 2 (4.0 ha), Lot 3 (4.0 ha) and Lot 4 (8.0 ha), without the ability to connect to reticulated services from Lot 1 DP 70772 (20 ha) CT CB41A/600. The utilisation of a rights of way and associated formation for access by seven lots. Proposed Lot 4 is to be amalgamated with adjoining Lot 7 DP 54860 (CT32F/800) and one certificate of title issued to include both parcels.

DECISION

The District Plan Manager, on the 20th August 2007, approved:

THAT pursuant to section 104B of the Resource Management Act 1991, consent be granted to subdivide creating Lot 1 (4.0 ha), Lot 2 (4.0 ha), Lot 3 (4.0 ha) and Lot 4 (8.0 ha), without the ability to connect to reticulated services and to access seven sites off a right of way, at 984 Oxford Road, Rangiora, being Lot 1 DP 70772, as a Discretionary activity subject to the following conditions which are imposed under Section 108 of the Act:

1. The activity shall be carried out in accordance with the attached approved application plan.
2. **Amalgamation**
 - 2.1 Pursuant to section 220 (1)(b)(iii) of the Resource Management Act 1991, Lot 4 shall be amalgamated with Lot 7 DP 54860 and one certificate of title issued for the parcels (ref: 671616).
3. **Standards**
 - 3.1 All stages of design and construction shall accord with the Waimakariri District Council Engineering Code of Practice.
4. **Easements**
 - 4.1 All services, including open drains and access ways, serving more than one lot or traversing lots other than those being served and not situated within a public road or proposed public road, shall be protected by easements. All such easements shall be granted and reserved.

5. Power and Telephone

- 5.1 The subdivider shall provide written evidence from the relevant utility providers that power and telephone reticulation has the capacity to provide service connections for Lots 1 and 2.

6. Water Supply

- 6.1 The subdivider shall provide an adequate domestic supply of at least 2.0 m³ per day each lot.
- 6.2 Where the existing well on Lot 2 DP 70772 is to be used as a common supply well for a domestic water supply on Lots 1 to 3, it shall be confirmed as a potable water supply by recognised and practical treatment methods to the satisfaction of the Council. Water quality tests carried out by an IANZ registered Laboratory, demonstrating chemical and bacteriological compliance with the publication "Drinking Water Standards for New Zealand 2002" shall be submitted to the Council. The tests shall be accompanied by the results of well pump tests, which demonstrate, to the satisfaction of Council, that the quantity of water available from this well can adequately supply the water requirements to all properties that are provided with a water supply from that well.

Samples from the water source shall be taken either by:

- The laboratory carrying out the analysis, or
- Council staff.

Note: If the laboratory collects the sample, written verification shall be provided to the Council stating the time of sampling that the sample was in a raw condition and from the well under test.

- 6.4 Where any proposed pipelines and water connections cross any intervening properties the reticulation shall be protected by easements in favour of the users. The source site, pump and controls shall also be protected.
- 6.5 A supply agreement shall be entered into by the subdivider on behalf of all future owners of the proposed lots and all existing users of the well, for the protection of all users of the well. The agreement shall contain adequate safeguards for shared potable water supply to each lot connected to the private water supply. These safeguards shall assure an adequate quality and quantity of potable water for domestic use is supplied to proposed lots 1,2 and 3, except in the event of plant breakage. The agreement shall also cover responsibility for ongoing operation, maintenance and other associated costs. This agreement shall be approved by Council prior to the issue of a 224c certificate.
- 6.6 Should an adequate agreement not be provided as required by condition 6.5 above, the subdivider shall install a new well or wells on the lots to provide for the water requirements not covered by an agreement.
- 6.7 Where a new well or wells are installed on either Lots 1, 2 or 3, the subdivider shall prove that the water can be readily made potable by recognised and practical treatment methods to the satisfaction of the Council. Tests carried out by an IANZ registered laboratory shall demonstrate whether the chemical and bacteriological water quality complies with the guideline values set out in the publication, 'Drinking Water Standards for New Zealand 2002'. The

subdivider shall specify and install any correction, which may be required to achieve compliance. The tests shall be accompanied by the results of well pump tests, which demonstrate, to the satisfaction of Council, that the quantity of water available from these new wells can adequately supply the water requirements of the lots.

Samples from the water source shall be taken either by:

- The laboratory carrying out the analysis, or
- Council staff.

Note: If the laboratory collects the sample, written verification shall be provided to the Council stating the time of sampling that the sample was in a raw condition and from the well under test.

(Such treatment will subsequently be required to be installed by the landowner before a building consent for a dwelling is finalised and the dwelling occupied).

- 6.8 The top 0.5 m of all wells that will provide a domestic water supply to the Lots shall be made secure. A concrete pad of at least 0.3 metre radius and 0.1 metre thickness shall be constructed around all wellheads used to provide the domestic water. The concrete pad shall be constructed at ground or at pump-house floor level to prevent leakage or ponding around the wellhead casing. The pad shall be cast so as to slope away from the well. The top of the well shall be capped to prevent contaminants entering the bore and underlying ground water.

7. Development Contributions

Pursuant to section 198 of the Local Government Act 2002, the consent holder shall pay \$13,227.75 including GST, this amount is based on the following contributions:

Description	Area	Units/ Lots	Factor	Amount	Amount
			(excluding GST) Per Unit/Lot \$	(excluding GST) Total \$	(inclusive GST) Total \$
Reserves	Rural Zone	2	2,197.00	4,394.00	4,943.25
Roading	District	2	3,187.00	6,374.00	7,170.75
Community Infrastructure	Community Infrastructure	2	495.00	990.00	1,113.75
Total			5,879.00	11,758.00	13,227.75

8. Conditions Auditing

- 8.1 The Council will audit compliance with the conditions of consent by both site inspections and checking of associated documentation to the extent necessary to ensure the work is completed in accordance with the approved plans and specifications and to the Council's standards. The Council will undertake inspections and checking. The developer, or their authorised agent, shall notify Council at least one working day prior to commencing various stages of the works. This is to enable audit inspections required by the consent to be performed.

The minimum level of inspection shall be as follows:

Water

- Following completion of required works.

Whole Works

- Prior to issue of a certificate under Section 224(c) of the Resource Management Act.

Where repeat inspections are required because of faulty workmanship or work not being ready contrary to the receipt of a notification, such inspections will be carried out at the current hourly rate for staff time and vehicle running costs for kilometres travelled. Currently these rates are \$75/hr for the Council officer inspecting and between \$0.45/km and \$0.70/km for kilometres travelled.

9. Works Conditions

- 9.1 That a certificate under Section 224(c) of the Resource Management Act 1991 will not be issued until conditions 1 to 8 above have been met to the satisfaction of the Waimakariri District Council, at the expense of the subdivider.

ADVICE NOTES

- a) The requirements and conditions listed are a statement of the Council's minimum standards. Where the subdivider proposes higher standards or more aesthetically acceptable alternatives these shall be submitted to the Council for approval.
- b) The requirement for power and telephone to be confirmed as having capacity to service the subdivision does not guarantee that power or telephone connections are provided to potential house sites. On rural lots, the service authorities will not install submains to individual lots until the location of the house site is determined. Prospective purchasers of these lots should be advised to contact the relevant service authorities to ascertain the likely costs of servicing any specific lots to the purchaser's requirements.
- c) Any dwelling shall be located a minimum of 10m from natural overland flow path, watercourses and drains.
- d) This consent does not constitute consent in terms of the Building Act, the Transitional Regional Plan or the Natural Resources Regional Plan.

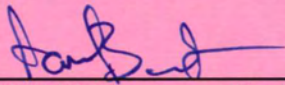
REASONS FOR THE DECISION

Pursuant to Section 113 of the Act the Council was satisfied that:

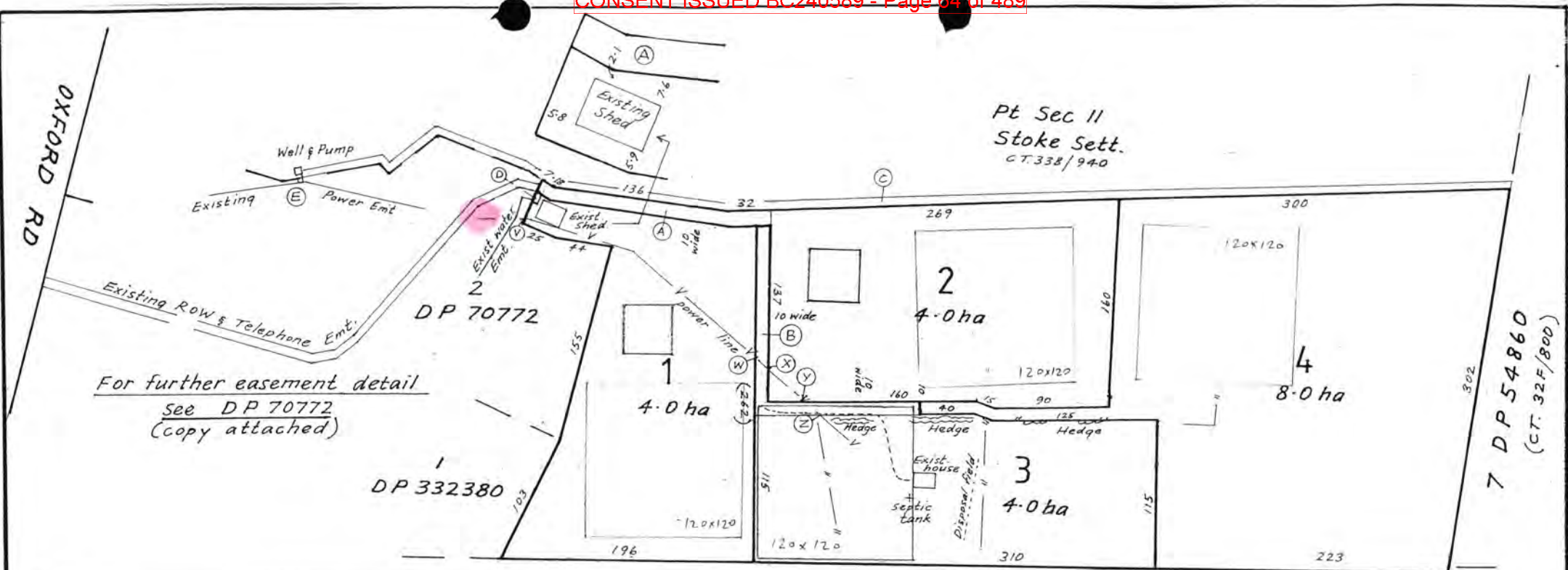
- 1. No person is deemed to be adversely affected by the proposal.
- 2. The environmental effects will be no more than minor.

3. The proposal is in accordance with the District Plans.
4. Council has considered the proposed amount of lots accessing the right of way and consider that the existing formation is sufficient to contain the potential effects of the additional usage.

DATED at Rangiora this 21st day of August 2007



SIGNED by Aaron Burt
PLANNING OFFICER



For further easement detail
see DP 70772
(copy attached)

Proposed Easements		
Nature	Servient Tenement	Dominant Tenement
ROW, Telephone and Water	2 (A) 3 (B)	Lots 1, 3 and 4 Lot 4
Electric Power	1 (V-W) 3 (W-X) 2 (X-Y) 4 (Y-Z) Lot 2 DP 70772 (E)	Lots 2, 3 & 4 Lots 2 & 4 Lots 3 & 4 Lot 3 Pt Sec 11, Lots 1-4
Water	Lot 1 (D) Pt Sec 11 Stoke Sett (C)	Lots 2, 3 & 4 Lots 1-4 & Lot 7 DP 54860

NOTE: Scandlyn Surveying accepts no responsibility for the use of this plan for any purpose other than that intended (obtaining a Resource Consent).

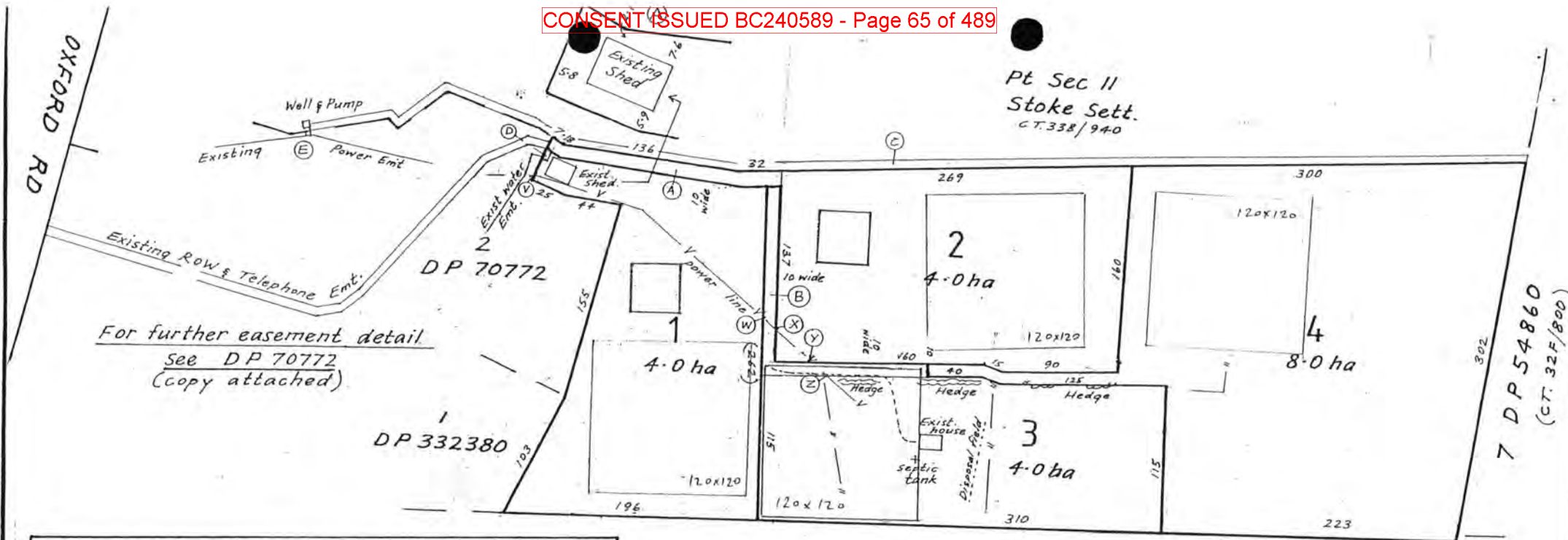
Amalgamation condition
Lot 4 to be amalgamated with
Lot 7 DP.54860 (C.T.32F/800)

- NOTES
- Subdivision proposal plan only
 - Areas and dimensions subject to final survey
 - Plan prepared for the purpose of obtaining a Resource Consent
 - Proposed Building Platforms shown -

Waimakariri District Council
Comprised in CT 41A/600
SCALE: 1:3000 (A3)

Lots 1-4 being subdivision of Lot 1 DP.70772
(Tony Sexton)

Prepared by SCANDLYN SURVEYING LTD
209B High Street
RANGIORA
Ph 03 3131272 Fax 03 3131274
Reference: 2640 R2 19/2/07



For further easement detail
See DP 70772
(copy attached)

Proposed Easements		
Nature	Servient Tenement	Dominant Tenement
ROW, Telephone and Water	2 (A) 3 (B)	Lots 1, 3 and 4 Lot 4
Electric Power	1 (V-W) 3 (W-X) 2 (X-Y) 4 (Y-Z) Lot 2 DP 70772 (E)	Lots 2, 3 & 4 Lots 2 & 4 Lots 3 & 4 Lot 3 Pt Sec 11, Lots 1-4
Water	Lot 1 (D) Pt Sec 11 Stoke Sett (C)	Lots 2, 3 & 4 Lots 1-4 & Lot 7 DP 54860

NOTE: Scandlyn Surveying accepts no responsibility for the use of this plan for any purpose other than that intended (obtaining a Resource Consent).

Approved Application
RC 065573
Plan IM Caseley 20/08/07
DISTRICT PLAN MANAGER

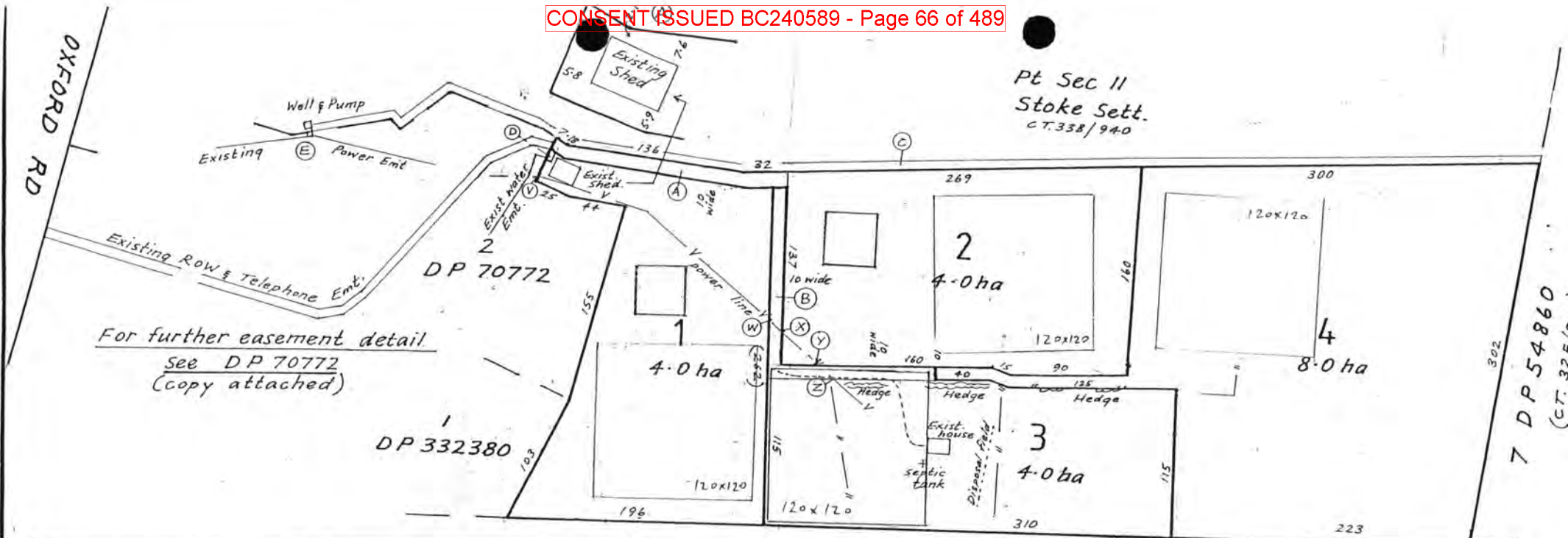
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Waimakariri District Council
Comprised in CT 41A/600
SCALE: 1:3000 (A3)

Lots 1-4 being subdivision of Lot 1 DP.70772
(Tony Sexton)

Prepared by SCANDLYN SURVEYING LTD
209B High Street
RANGIORA
Ph 03 3131272 Fax 03 3131274
Reference: 2640 R2 19/2/07



For further easement detail
see DP 70772
(copy attached)

Proposed Easements		
Nature	Servient Tenement	Dominant Tenement
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Water	Lot 1 (D) Pt Sec 11 Stoke Sett (C)	Lots 2, 3 & 4 Lots 1-4 & Lot 7 DP 54860

NOTE: Scandlyn Surveying accepts no responsibility for the use of this plan for any purpose other than that intended (obtaining a Resource Consent).

Approved Application
RC 065573
Plan *IM Caseley* 20/08/07
DISTRICT PLAN MANAGER

Amalgamation condition
Lot 4 to be amalgamated with
Lot 7 DP.54860 (C.T.32F/800)

- NOTES
- Subdivision proposal plan only
 - Areas and dimensions subject to final survey
 - Plan prepared for the purpose of obtaining a Resource Consent
 - Proposed Building Platforms shown -

Waimakariri District Council
Comprised in CT 41A/600
SCALE: 1:3000 (A3)

Lots 1-4 being subdivision of Lot 1 DP.70772
(Tony Sexton)

Prepared by SCANDLYN SURVEYING LTD
209B High Street
RANGIORA
Ph 03 3131272 Fax 03 3131274
Reference: 2640 R2 19/2/07

10 OCT 2008

APPLICATION FOR RESOURCE CONSENTS (S) UNDER SECTION 88
OF THE RESOURCE MANAGEMENT ACT 1991

1. Name of Applicant: Gillendy Holdings Ltd.

2. Postal Address of the Applicant: 1000 Oxford Road,
Fernside,
Rangiora.,

3. Details of the Land to Which the Application Relates:

Address: 1000 Oxford Road,
Fernside
Rangiora.

Legal Description: Lot 1 DP70772

Certificate of Title Reference: CB41A/600

4. Name of the owner and Occupier of the Land (other than the applicant):
As above

5. A full description of the activity to which the application relates and a recent copy of certificates(s) of Title –

To subdivide, 20.0ha into four lots of 4.0ha (lot 1), 4.0ha (lot 2), 4.0ha (lot 3) and 8.0ha (lot 4 with lot 4 being amalgamated with an adjoining title (CT 32F/800). There is an existing dwelling that will be located on proposed lot 3.

6. Other resource consents required:

Consent Type	Granted	Applied for	Not Applied
N/A			

7. Assessment of any actual or potential effects that the activity may have on the environment as required by the Fourth Schedule.

SEE ATTACHED DETAILED APPLICATION

8. Other information (if any) required to be included in the application by the District Plan or regulations. E.g. development plans, comprehensive design.

SEE ATTACHED DETAILED APPLICATION

9. Plans (drawn to scale with the scale on the plan) show the following information.

SEE ATTACHED DETAILED APPLICATION

10. Fees (GST inclusive)

\$1968.75

APPLICANTS CHEQUE ATTACHED

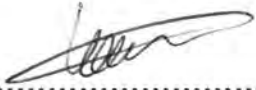
I/We understand that as the applicant I am/we are responsible for payment. The payment terms for fixed fees are with lodgement of the application and those relating to disbursement, hearings and additional charges are payment by the 20th of the month following the month in which the invoice is issued.

I/We agree to pay according to those terms for any goods or services you supply to us. Should failure to meet the terms of trade result in debt recovery and/or legal proceedings, any costs incurred in the collection of the debt will be payable by me/us.

Note: A tax invoice will be sent for the appropriate deposit or fee but the application will not be processed until the fee or deposit is paid.

Address for Service of Applicant:

Resource Consent Services
3087 Oxford Road
Oxford
Attention: Kevin Felstead

Signature: - 
(As agent for the applicant)

Date: 16/10/10

Telephone: (0274) 394603

CONTENTS

PAGE NO.

2	ASSESSMENT OF ENVIRONMENTAL EFFECTS
	1.0 SUMMARY
6	2.0 SITE DETAILS
	3.0 SERVICING
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	3.2 Access
7	3.3 Water Supply
	3.4 Effluent Disposal
7	4.0 VISUAL IMPACT
8	5.0 DISTRICT PLAN COMPLIANCE
	5.1 Subdivision
	5.2 Dwelling

Annexure

1. Application Plan
2. Certificate of Title

ASSESSMENT OF EFFECTS ON THE ENVIRONMENT

1.0 SUMMARY

- This application is for the subdivision of Lot 1 DP70772 being 20.0ha contained in certificate of title CB 14A/600 into four lots of 4.0ha (lot 1), 4.0ha (lot 2) and 4.0ha (lot 3) and 8.0ha (lot 4) with lot 4 being amalgamated with the applicant's adjoining title (CT 32F/800).
- The site is located at 1000 Oxford Road and 487 Mairaki Road in the Fernside area. The current owner is Gillendy Holdings Ltd (the applicant's).
- The subdivision, overall, is a discretionary activity in terms of the Waimakariri District Plan. There is an existing dwelling on proposed lot 3. There is an existing dwelling on the certificate of title with which lot 4 will be amalgamated. The erection of a dwelling on the other proposed new lots (1 & 2) would be permitted however consent would be required for any proposed effluent treatment and waste water disposal systems.
- The proposal is for the creation of two additional lots only. The property is zoned Rural in the District Plan.

- 3 -

- The site is in a rural area characterised by farms ranging in size from 4.0ha lots to some much larger lots. This area is serviced with a private reticulated water supply from an existing shared well. *There is* no reticulated sewage scheme in or near the area.
- The proposed new lots will be able to accommodate a suitable building platform for any proposed dwellings (see attached plan).
- All three lots will accommodate a 120m x 120m internal square.
- The new lots will be able to gain access to the existing power and telephone reticulation, which already serves the existing dwellings on the site and other dwellings in the general area. (Confirmation will be sought from the relevant authorities with respect to their services).
- Access to both proposed new lots will be from Oxford Road via the existing ROW that currently serves the title and two other properties. This Row /entrance may need to be

- 4 -

upgraded to meet the required Council standards. Lot 4 will have access both off the proposed ROW and through the existing title (with which it will be amalgamated) fronting Mairaki Road.

- The additional lots and possible additional dwellings will not have any adverse impact on the district's infrastructure in this area.
- Any proposed new dwelling on the new lots will be able to comply with all standards in the plan. The proposed building platform has been identified on the plan attached to the application.
- The proposed subdivision and possible erection of two additional dwellings in this location will not adversely affect the amenity values of the area. The lot sizes are 4.00ha in area, which equals the minimum lot size requirement for the rural zone.
- The proposal will not involve esplanade strips or reserves.

- 5 -

- The neighbours will not be adversely affected by the proposal therefore affected persons consents have not been sought. No other persons or parties would be affected by the proposal.
- It is submitted that the application can be processed on a non-notified basis.
- Consents can be granted as the application will not be contrary to the policies and objectives of the District Plan and any adverse environmental effects will be minor The proposal will not be contrary to section 104 of the Resource Management Act 1991. The proposal is not contrary to Part II of the Act.

2.0 SITE DETAILS

The total land area is 20.0ha. The property is situated at 1000 Oxford Road in Fernside. There is an existing dwelling on the site; this will be located on proposed lot 3. There is also an existing dwelling on the title with which proposed lot 4 will be amalgamated; this title has access onto Mairaki Road. The site is generally flat/rolling land. The site is currently held in one certificate of title being CB41A/600.

It is proposed to subdivide this title into four lots of 4.0ha (lot 1) 4.0ha (lot 2) and 4.0ha (lot 3) and 8.0ha (lot 4) to be amalgamated with the adjoining title being CT32F/800.

3.0 SERVICING

3.1 Powers and Telephone

Power and Telephone services are available to existing dwellings on the site and other dwellings in the general area. (Confirmation from relevant authorities that a service can be provided for proposed lots 1 & 2 would be sought following consent).

3.2 Access

All four lots will have access via the existing ROW that currently serves the property. The entrance way to this ROW (off Oxford

- 7 -

Road) achieves adequate visibility for safe ingress and egress to and from the site and can be upgraded to meet the Council's standards. There are currently two other properties that gain access from this ROW.

3.3 Water Supply

It is intended that the new lots will be connected to the existing private water supply scheme. The existing title has an existing connection to this private water supply scheme.

3.4 Effluent Disposal

Any proposed new dwelling on the new lots (1 & 2) will require consent for the installation and operation of a new land based effluent treatment and wastewater disposal systems.

There is no reticulated sewer scheme in or near this area.

4.0 VISUAL IMPACT

Any proposed new dwellings on the new lots would not be out of character in this part of the District. The plan provides for 4.0ha lots with dwellings on each 4.0ha lot. The proposal is for three 4.0ha lots with the ability for a dwelling to be erected on two of these lots.

- 8 -

Any new dwellings would be enhanced with normal domestic landscape planting in due course.

DISTRICT PLAN COMPLIANCE

5.0 WAIMAKARIRI DISTRICT PLAN

5.1 Activity Status

Subdivision.

Overall the subdivision is a discretionary activity in terms of the District. The minimum lot size in the rural zone is 4.0ha. This is achieved by this proposal. The lots will accommodate a 120m x 120m internal square.

Dwellings.

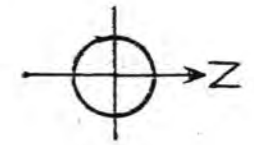
Any future dwellings that may be erected on the new lots (1 & 2) would be permitted however consent is required for an effluent treatment and wastewater disposal systems.

The proposal will not contrary to the policies and objectives of the District Plan.

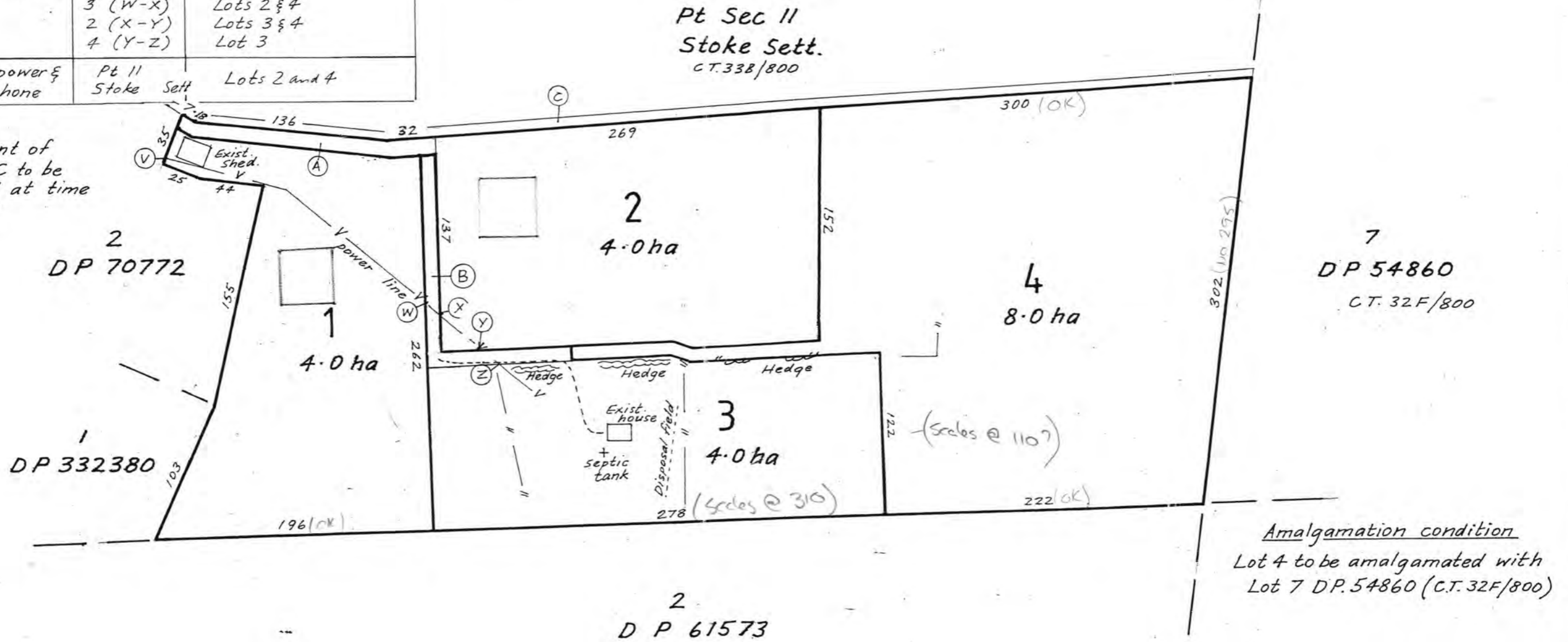
ANNEXURE 1

Application Plan

Proposed Easements		
Nature	Servient Tenement	Dominant Tenement
ROW. & Services	2 (A)	Lots 1, 3 & 4 (Farm use only)
	3 (B)	Lot 4 (Farm use only)
Electric Power	1 (V-W)	Lots 2, 3 & 4
	3 (W-X)	Lots 2 & 4
	2 (X-Y)	Lots 3 & 4
	4 (Y-Z)	Lot 3
Water, power & telephone	Pt II Stoke Sett	Lots 2 and 4



Note: extent of easement C to be determined at time of survey



NOTE: Scandlyn Surveying accepts no responsibility for the use of this plan for any purpose other than that intended (obtaining a Resource Consent).

- NOTES
- Subdivision proposal plan only
 - Areas and dimensions subject to final survey
 - Plan prepared for the purpose of obtaining a Resource Consent
 - Proposed Building Platforms shown -

Waimakariri District Council
 Comprised in CT 41A/600
 SCALE: 1:3000 (A3)

Lots 1-4 being subdivision of Lot 1 D.P. 70772
 (Tony Sexton)

Prepared by SCANDLYN SURVEYING LTD
 209B, High Street
 RANGIORA
 Ph 033131272, Fax 033131274
 Reference: 2640 RI. 11/9/06

ANNEXURE 2

Certificate of Title



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy

R. W. Muir
Registrar-General
of Land

Identifier CB41A/600
Land Registration District Canterbury
Date Issued 15 January 1996

Prior References
CB36A/506

Estate Fee Simple
Area 20.0000 hectares more or less
Legal Description Lot 1 Deposited Plan 70772

Proprietors
Gillendy Holdings Limited

Interests

Subject to Part IV A Conservation Act 1987

Subject to Section 11 Crown Minerals Act 1991

820628.4 Transfer creating the following easements

Type	Servient Tenement	Easement Area	Dominant Tenement	Statutory Restriction
Convey water	Section 11 Stoke Settlement - CT CB33B/940	Part	Lot 1 Deposited Plan 70772 - herein	

A214261.2 Resolution pursuant to Section 321(3)(c) Local Government Act 1974 - 15.1.1996 at 2.40 pm

A214261.3 Easement Certificate specifying the following easements - 15.1.1996 at 2.40 pm

Type	Servient Tenement	Easement Area	Dominant Tenement	Statutory Restriction
Right of way, right to convey telephonic communications	Lot 1 Deposited Plan 60801 - CT CB36A/505	A DP 70772	Lot 1 Deposited Plan 70772 - herein	
Right of way, right to convey electric power and telephonic communications	Lot 2 Deposited Plan 70772 - CT CB41A/601	B DP 70772	Lot 1 Deposited Plan 70772 - herein	
Right of way, right to convey electric power and telephonic communications	Lot 2 Deposited Plan 70772 - CT CB41A/601	C DP 70772	Lot 1 Deposited Plan 70772 - herein	
Right of way, right to convey electric power and telephonic communications	Lot 2 Deposited Plan 70772 - CT CB41A/601	D DP 70772	Lot 1 Deposited Plan 70772 - herein	

Identifier

CB41A/600

Right of way, right to convey electric power and telephonic communications Lot 2 Deposited Plan 70772 - CT CB41A/601 E DP 70772 Lot 1 Deposited Plan 70772 - herein

Right of way, right to convey electric power and telephonic communications Lot 2 Deposited Plan 70772 - CT CB41A/601 F DP 70772 Lot 1 Deposited Plan 70772 - herein

The easements specified in Easement Certificate A214261.3 when created will be subject to Section 243(a) Resource Management Act 1991

A287907.3 Transfer creating the following easements - 19.3.1997 at 12.29 pm

Type	Servient Tenement	Easement Area	Dominant Tenement	Statutory Restriction
Vehicular right of way	Lot 2 Deposited Plan 70772 - CT CB41A/601	B DP 73958	Lot 1 Deposited Plan 70772 - herein	
Right to convey water and electric power	Lot 2 Deposited Plan 70772 - CT CB41A/601	Part	Lot 1 Deposited Plan 70772 - herein	

A293982.1 Mortgage to Westpac Banking Corporation - 24.4.1997 at 11.16 am



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Historical Search Copy

R.W. Muir
Registrar-General
of Land

Identifier **CB32F/800**
Land Registration District **Canterbury**
Date Issued 01 November 1989

Prior References
CB32B/1176

Estate Fee Simple
Area 21.1479 hectares more or less
Legal Description Lot 7 Deposited Plan 54860
Original Proprietors
Barbara Irene Margaret Radman as to a 3/4 share
Antony John Sexton as to a 1/4 share

Interests

828796.10 Easement Certificate specifying the following easements - 22.9.1989 at 11.52 am

Type	Servient Tenement	Easement Area	Dominant Tenement	Statutory Restriction
Right of way, right to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	B DP 54524	Lot 5 Deposited Plan 54524	
Right of way, right to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	B DP 54524	Lot 8 Deposited Plan 54524	
Right of way, right to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	H DP 54524	Lot 8 Deposited Plan 54524	
Right of way, right to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	HA DP 54524	Lot 8 Deposited Plan 54524	
Right of way, right to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	J DP 54524	Lot 8 Deposited Plan 54524	
Right of way, right to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	JA DP 54524	Lot 8 Deposited Plan 54524	

Identifier

CB32F/800

Right of way, right to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	JB DP 54524	Lot 8 Deposited Plan 54524
Convey water	Lot 7 Deposited Plan 54860 - herein	Herein	Lot 5 Deposited Plan 54524
Convey water	Lot 7 Deposited Plan 54860 - herein	Herein	Lot 8 Deposited Plan 54524
Right of way, right to convey water, electric power and telephonic communications	Lot 5 Deposited Plan 54524	A DP 54524	Lot 7 Deposited Plan 54860 - herein
Right of way, right to convey water, electric power and telephonic communications	Lot 8 Deposited Plan 54524	C DP 54524	Lot 7 Deposited Plan 54860 - herein
Right of way, right to convey water, electric power and telephonic communications	Lot 8 Deposited Plan 54524	F DP 54524	Lot 7 Deposited Plan 54860 - herein
Right of way, right to convey water, electric power and telephonic communications	Lot 8 Deposited Plan 54524	FA DP 54524	Lot 7 Deposited Plan 54860 - herein
Right of way, right to convey water, electric power and telephonic communications	Lot 8 Deposited Plan 54524	G DP 54524	Lot 7 Deposited Plan 54860 - herein
Convey water	Lot 1 Deposited Plan 54524	-	Lot 7 Deposited Plan 54860 - herein
Convey water	Lot 6 Deposited Plan 54524	-	Lot 7 Deposited Plan 54860 - herein

828796.11 Transfer creating the following easements - 22.9.1989 at 11.52 am

Type	Servient Tenement	Easement Area	Dominant Tenement	Statutory Restriction
Convey water	Lot 10 Deposited Plan 3396 - CT CB32B/1177	Part	Lot 7 Deposited Plan 54860 - herein	

835637.5 Easement Certificate specifying the following easements - 1.11.1989 at 11.46 am

Type	Servient Tenement	Easement Area	Dominant Tenement	Statutory Restriction
Right of way, rights to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	H DP 54860	Lot 9 Deposited Plan 54860 - CT CB32F/801	
Right of way, rights to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	HA DP 54860	Lot 9 Deposited Plan 54860 - CT CB32F/801	

Identifier

CB32F/800

Right of way, rights to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	B DP 54860	Lot 9 Deposited Plan 54860 - CT CB32F/801
Right of way, rights to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	J DP 54860	Lot 9 Deposited Plan 54860 - CT CB32F/801
Right of way, rights to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	JA DP 54860	Lot 9 Deposited Plan 54860 - CT CB32F/801
Right of way, rights to convey water, electric power and telephonic communications	Lot 7 Deposited Plan 54860 - herein	JB DP 54860	Lot 9 Deposited Plan 54860 - CT CB32F/801
Right of way, rights to convey water, electric power and telephonic communications	Lot 9 Deposited Plan 54860	D DP 54860	Lot 7 Deposited Plan 54860 - herein
Right of way, rights to convey water, electric power and telephonic communications	Lot 9 Deposited Plan 54860	E DP 54860	Lot 7 Deposited Plan 54860 - herein
Convey water	Lot 7 Deposited Plan 54860 - herein	Herein	Lot 9 Deposited Plan 54860

The easements specified in Easement Certificate 835637.5 when created will be subject to Section 309(1)(a) Local Government Act 1974

A132010.3 Mortgage to Westpac Banking Corporation - 1.9.1994 at 11.16 am and varied once subsequently - 29.1.1996 at 12.50 pm

Subdivision Checklist s92

Rule/Issue	Check	Comment
Allotment Size	/	?
Allotment Shape	X	unable to confirm 120x120.
Building Line restrictions	-	off sheet located? in ROW.
Localised Flooding area	-	no.
Outstanding landscape	-	no
Water Supply	*	non reticulated - "private supply". elaboration required - location of well? volumes?
Power	-	
Phone	-	
Roading	-	Non reticulated - OK.
Effluent disposal		↓ ↓
CT - covenants consent notices	-	no covenants. log copy of DP's.
Application fee	-	
Status		
Access (neighbouring)		leg evidence of access (row easements from adj owners.
Easements		what is C? - adj easements need access. Farm use?
Splay	-	not required.
Contributions	-	Eng assessment.

Waimakariri District Council

215 High Street
Private Bag 1005
Rangiora 7440, New Zealand
Phone 0800 965 468

Our Reference: RM240011/240624102596
Valuation Reference: 2159106500

24 June 2024

Roy A Frew
C/- Ascad Limited
59 Warwick Road
RD 5
RANGIORA 7475

Dear Andrew

**WRITTEN NOTICE ON BOUNDARY ACTIVITY
ROY ANTONY FREW - 982 A OXFORD ROAD RANGIORA**

Please find attached the Written Notice for your Boundary Activity located **982 A Oxford Road RANGIORA**.

Please note that this notice will lapse 5 years after the date that it is given, unless the activity permitted by this notice is undertaken.

This notice is valid only for the activity described in the notice and shown on signed plans referenced. If the activity changes, a resource consent may be required.

Yours faithfully



Denise Cowan
PLANNING ADMINISTRATION TEAM LEADER

Encl

CC: royfrew@gmail.com

Waimakariri District Council

215 High Street
Private Bag 1005
Rangiora 7440, New Zealand
Phone 0800 965 468

WRITTEN NOTICE
DEEMED PERMITTED BOUNDARY ACTIVITY

Section 87BA Resource Management Act 1991

RM No: RM240011

**To : Roy Antony Frew
C/- Ascad Limited
59 Warwick Road
RD 5
RANGIORA 7475**

THE SITE AND ACTIVITY:

The proposal is to convert a portion of an existing farm shed into a one-bedroom dwelling. The location of the dwelling will breach the internal setback requirements to 986 Oxford Road (Pt Section 11 SETT Stoke) and 980 Oxford Road (Lot 2 DP 70772), Rangiora.

DETAILS OF INFRINGED OWNER:

The following two parties are the owners of the infringed boundaries:

- a. 980 Oxford Road, Rangiora (Lot 2 DP 70772) being owned by Russell David Kirk and Kate Lorraine Kirk
- b. 986 Oxford Road, Rangiora (Pt Section 11 SETT Stoke) being owned by Roger William O'Byrne

The applicant has obtained affected persons approval from these neighbours, and they have signed the application plans.

BOUNDARY ACTIVITY IS PERMITTED

THAT The Waimakariri District Council is satisfied that the proposed dwelling at 982 A Oxford Road, Rangiora being Lot 1 DP 397121, which will breach the internal boundary setbacks to the eastern and southern boundaries adjoining 980 Oxford Road, Rangiora (Lot 2 DP 70772) and the western boundary infringing 986 Oxford Road, Rangiora (Pt Section 11 SETT Stoke) meets the requirements of sections 87AAB and 87BA of the Resource Management Act 1991 (the Act) as shown on the stamped application plans RM240011 and is therefore a permitted activity under section 87BA(1) of the Act.

Waimakariri District Council

215 High Street
Private Bag 1005
Rangiora 7440, New Zealand
Phone 0800 965 468

24 June 2024



Signed & Authorised by: Ian Carstens
Position: Team Leader Resource Consents

ADVICE NOTES

1. This notice will lapse 5 years after the date it is given unless the activity permitted by this notice is undertaken.
2. A certificate of compliance (under [section 139](#) of the Act) cannot be applied for in respect of this activity.
3. This notice is valid only for the activity described. If the activity changes, a resource consent may be required.
4. This consent does not provide approval under the Building Act 2004 or any relevant Regional Plan.

WAIMAKARIRI DISTRICT COUNCIL
- APPLICATION PLAN -
RM240011
APPROVED by Authorised Officer
Ian Carstens 24/06/2024



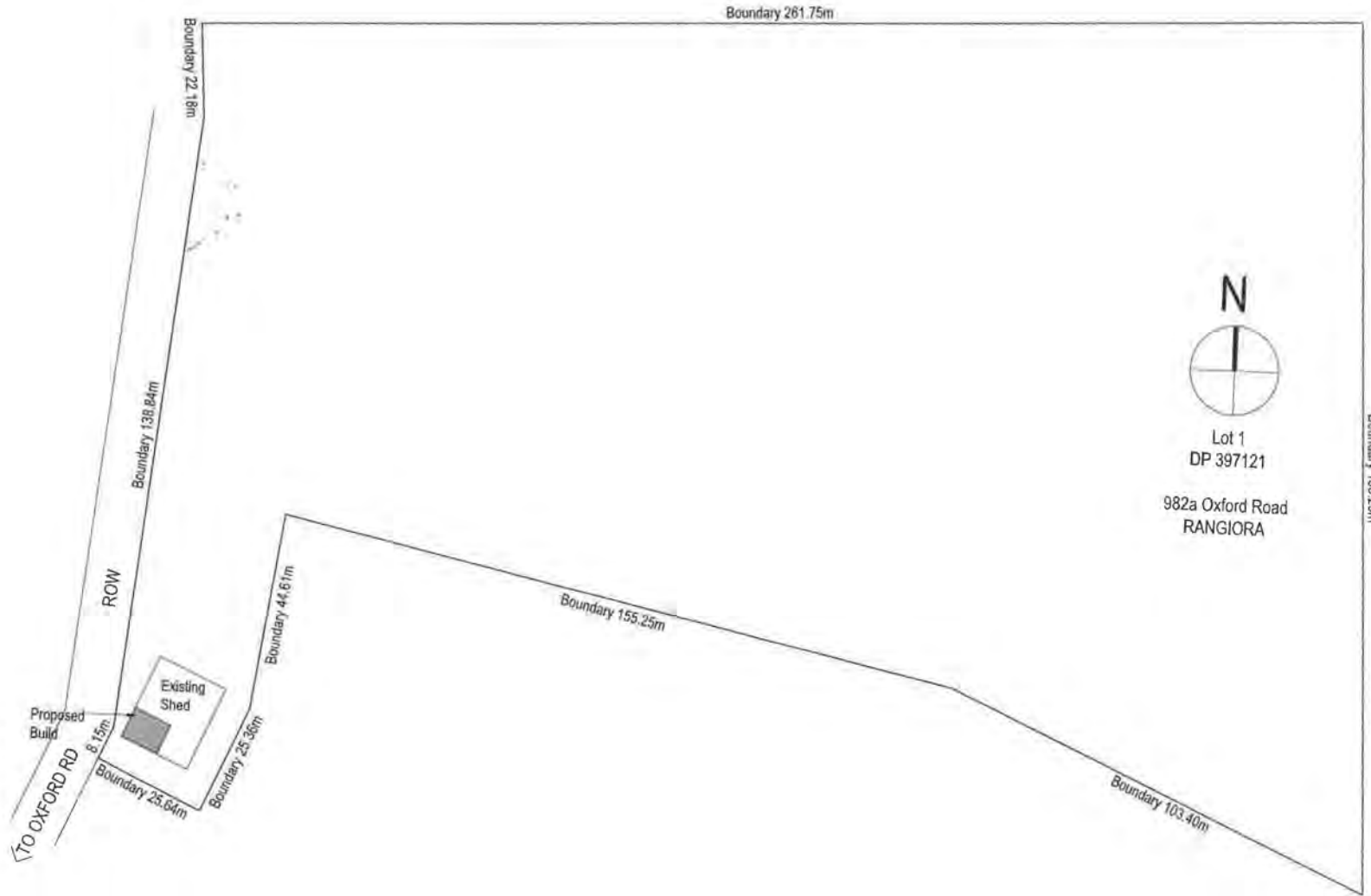
Name: *RW O'Byrne*
Address: *982*

Date: *1-5-24*
Signed: *RW O'Byrne*

a.s.c.a.d.
limited
ascadltd@snap.net.nz
0272 838 775

FREW DESIGN
982a OXFORD ROAD

SCALE: 1:1000
DWG No: 01 of 03
DATE: 30/04/24

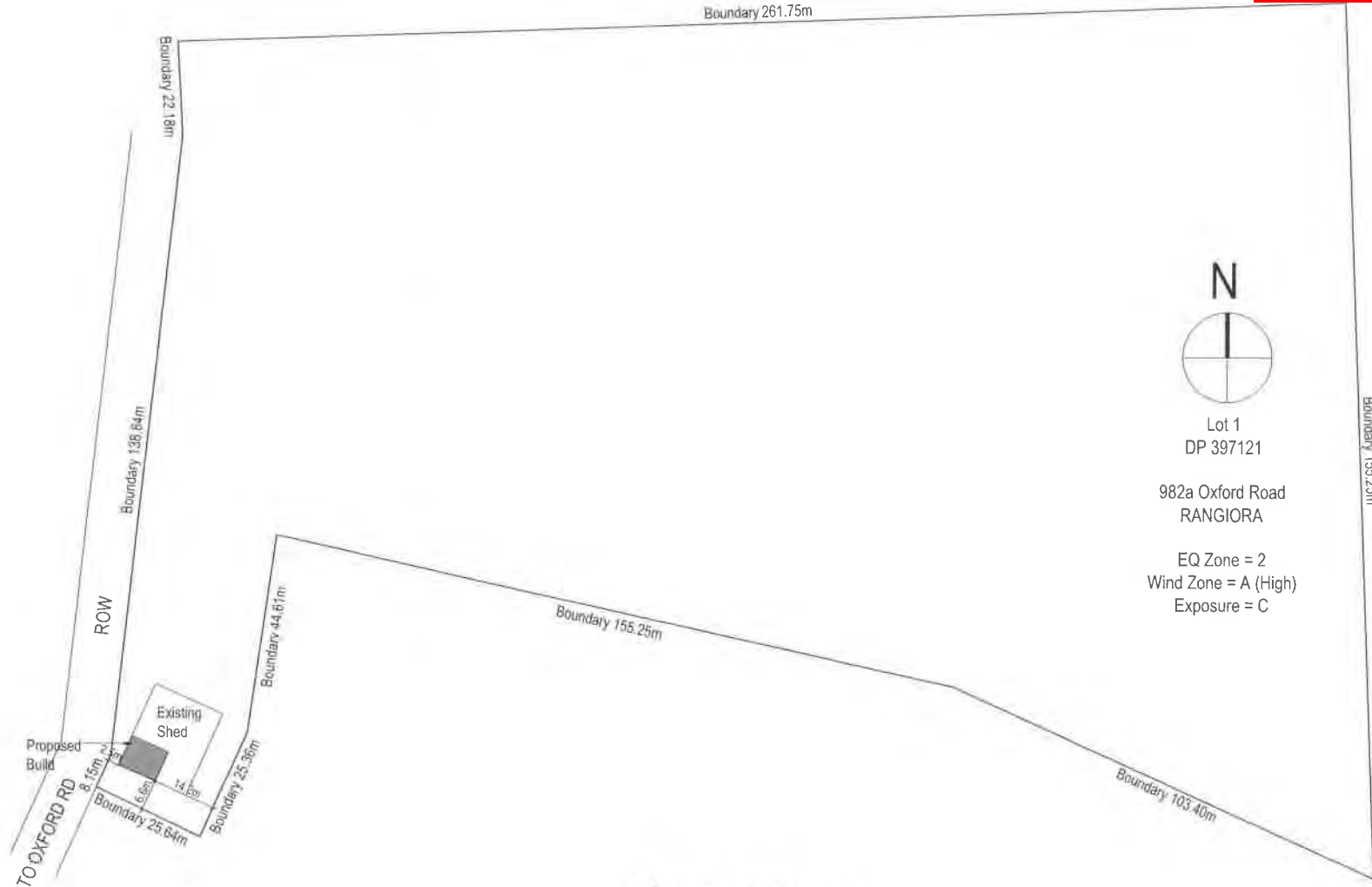


a.s.c.a.d.
limited
ascadltd@snap.net.nz
0272 838 775

FREW DESIGN
982a OXFORD ROAD

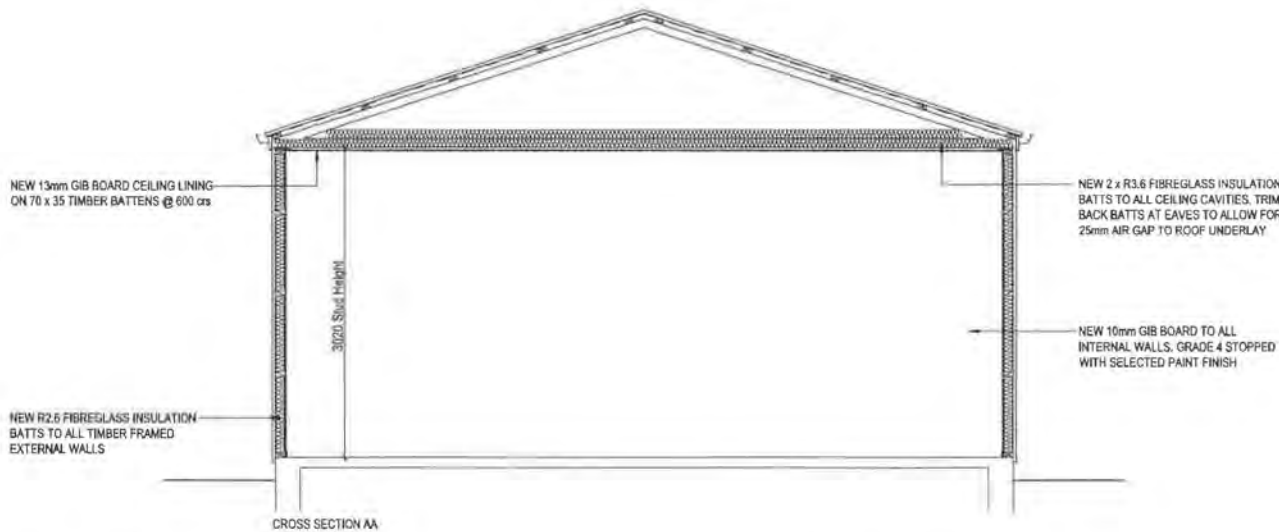
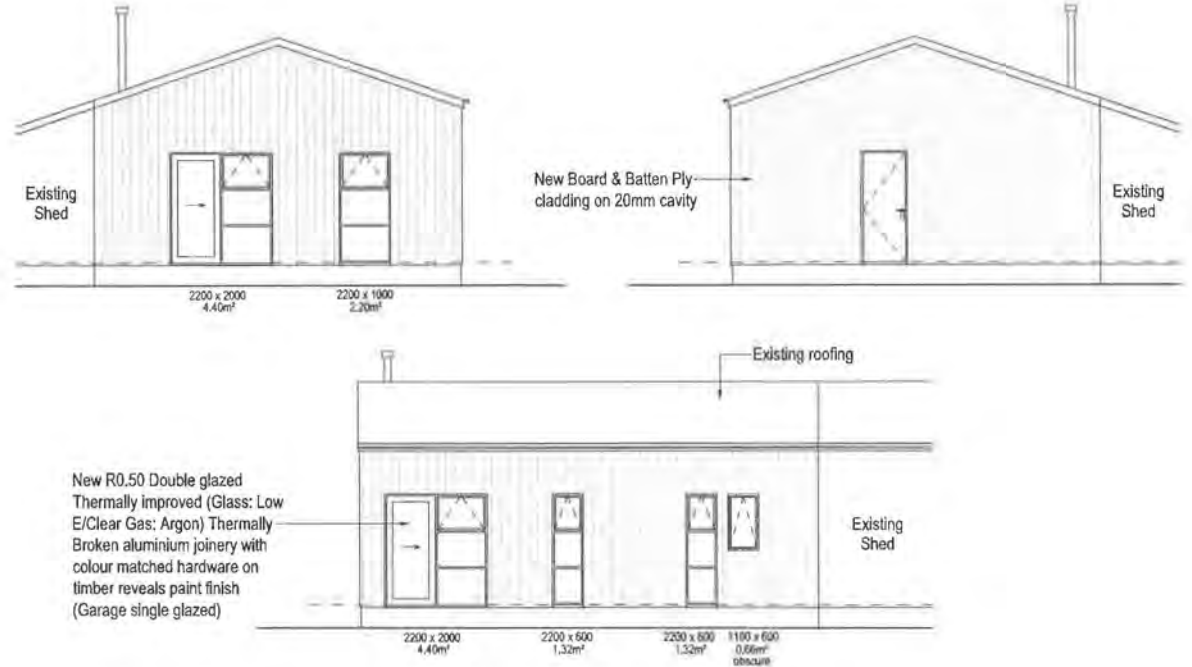
Name:
Address:
Date:
Signed: *[Signature]*

SCALE: 1:1000
DWG No: 02 of 03
DATE: 30/04/24



R. W. O'Byrne
[Signature]

<p>a.s.c.a.d. limited ascadltd@snap.net.nz 0272 838 775</p>	<p>job title: FREW HOUSE</p>	<p>drawing title: SITE PLAN</p>	<p>legal description: Lot 1 DP 397121 982a Oxford Road RANGIORA</p>	<p>WORKING DRAWINGS SUBJECT TO COUNCIL APPROVAL ALL MEASUREMENTS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE FROM DRAWINGS UNDER ANY CIRCUMSTANCES.</p>	<p>scale: 1:1000 Job No.:</p>	<p>page: 02 of: 10 DATE: 03/06/24</p>
---	---	--	--	---	---	--



WAIMAKARIRI DISTRICT COUNCIL
- APPLICATION PLAN -
RM240011
APPROVED by Authorised Officer
Ian Carstens 24/06/2024

Name:
 Address:
 Date:
 Signed: *[Signature]*

a.s.c.a.d.
 limited
 ascadLtd@snap.net.nz
 0272 838 775

FREW DESIGN
982a OXFORD ROAD

SCALE: 1:100
 DWG No: 03 of 03
 DATE: 30/04/24

Section 2

~~Geotech, Engineer~~

Reports & Conditions

PS1 & 2s

- Calculations
- A4 Details



association consulting engineering

Building Consent BC240589
Received 17/2024

engineering new zealand
te ao rangahau

**PRODUCER STATEMENT – PS1
DESIGN**

BUILDING CODE CLAUSE(S):	B1	JOB NUMBER:	15286
ISSUED BY: <i>(Engineering Design Firm)</i>	CHRISTCHURCH CONSTRUCTURE LIMITED		
TO: <i>(Owner/Developer)</i>	ROY FREW	WAIMAKARIRI DISTRICT COUNCIL Plans and specifications APPROVED in accordance with the Building Act 2004, clause 49 and the Building Regulations 1992, Clause 3 BC240589 22/08/2024 ChrisK	
TO BE SUPPLIED TO: <i>(Building Consent Authority)</i>	WAIMAKARIRI DISTRICT COUNCIL		
IN RESPECT OF: <i>(Description of Building Work)</i>	SHED ALTERATIONS		
AT: <i>(Address, Town/City)</i>	982A OXFORD ROAD, FERNSIDE		
LEGAL DESCRIPTION:	Lot: DP:	N/A <input type="checkbox"/>	

We have been engaged by the owner/developer referred to above to provide *(Extent of Engagement)*:
 Structural Engineering Design & Construction Monitoring (refer attached schedule for details)
 in respect of the requirements of the Clause(s) of the Building Code specified above for Part Only, as specified in the
 schedule, of the proposed building work.

- The design carried out by us has been prepared in accordance with:
- Compliance documents issued by the Ministry of Business, Innovation & Employment *(Verification method/acceptable Solution)* B1/VM1; B1/AS1 and/or;
 - Alternative solution as per the attached Schedule.

The proposed building work covered by this producer statement is described on the drawings specified in the Schedule, together with the specification, and other documents set out in the Schedule.

- On behalf of the Engineering Design Firm, and subject to:
- Site verification of the following design assumptions: Refer to the attached Schedule
 - All proprietary products meeting their performance specification requirements;

- I believe on reasonable grounds that:
- the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the Schedule, will comply with the relevant provisions of the Building Code and that;
 - the persons who have undertaken the design have the necessary competency to do so.

I recommend the CM3 level of construction monitoring.

I, *(Name of Engineering Design Professional)* Rob Dickie, am:

- CPEng number 1020685 and hold the following qualifications BE(Hons), CMEngNZ, CPEng

The Engineering Design Firm holds a current policy of Professional Indemnity Insurance no less than \$200,000
 The Engineering Design Firm is A member of ACE New Zealand

SIGNED BY *(Name of Engineering Professional)* Rob Dickie
(Signature below):

ON BEHALF OF *(Engineering Design Firm)* Constructure Christchurch Limited Date: 04/07/2024-Rev1

Note: This statement has been prepared solely for the Building Consent Authority named above and shall not be relied upon by any other person or entity. Any liability in relation to this statement accrues to the Engineering Design Firm only. As a condition of reliance on this statement, the Building Consent Authority accepts that the total maximum amount of liability of any kind arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in tort or otherwise, is limited to the sum of \$200,000.

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.

SCHEDULE to PS1

Please include an itemised list of all referenced documents, drawings, or other supporting materials in relation to this producer statement below:

Extent of Engagement

Structural engineering design & construction monitoring of:

- **Framing check and strengthening and bracing throughout only.**

Means of Compliance

The following Alternative Solutions have been used:

- Foundations have been designed for liquefied ground using the guidance documents 'Repairing & rebuilding houses affected by the Canterbury earthquake, December 2012' & 'Earthquake geotechnical engineering practice – Modules 1-5' as Section 175 Guidance.

Design documents

The proposed building work is set out on the following:

- **Constructure Christchurch Ltd drawings titled 982A Oxford Road, Fernside & numbered 15286 as per the title sheet dated 02 July 2024**

Design Assumptions

Assumptions to be verified onsite:

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC240589 22/08/2024 Chrisk

GUIDANCE ON USE OF PRODUCER STATEMENTS

Information on the use of Producer Statements and Construction Monitoring Guidelines can be found on the Engineering New Zealand website

<https://www.engineeringnz.org/engineer-tools/engineering-documents/producer-statements/>

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects (NZIA), Institution of Professional Engineers New Zealand (now Engineering New Zealand), Association of Consulting and Engineering New Zealand (ACE NZ) in consultation with the Building Officials Institute of New Zealand (BOINZ). The original suite of producer statements has been revised at the date of this form to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with part of the reasonable grounds necessary for the issue of a Building Consent or a Code Compliance Certificate, without necessarily having to duplicate review of design or construction monitoring undertaken by others.

PS1 DESIGN Intended for use by a suitably qualified independent engineering design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;

PS2 DESIGN REVIEW Intended for use by a suitably qualified independent engineering design review professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;

PS3 CONSTRUCTION Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011²

PS4 CONSTRUCTION REVIEW Intended for use by a suitably qualified independent engineering construction monitoring professional who either undertakes or supervises construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACE New Zealand and Engineering New Zealand to interpret the Producer Statement.

Competence of Engineering Professional

This statement is made by an engineering firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its personnel.

The person signing the Producer Statement on behalf of the engineering firm will have a professional qualification and proven current competence through registration on a national competence-based register such as a Chartered Professional Engineer (CPEng).

Membership of a professional body, such as Engineering New Zealand provides additional assurance of the designer's standing within the profession. If the engineering firm is a member of ACE New Zealand, this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent engineering professional".

Professional Indemnity Insurance

As part of membership requirements, ACE New Zealand requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI Insurance minimum stated on the front of this form reflects standard practice for the relationship between the BCA and the engineering firm.

Professional Services during Construction Phase

There are several levels of service that an engineering firm may provide during the construction phase of a project (CM1-CM5 for engineers³). The building Consent Authority is encouraged to require that the service to be provided by the engineering firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Refer Also:

- ¹ Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2013
- ² NZIA Standard Conditions of Contract SCC 2011
- ³ Guideline on the Briefing & Engagement for Consulting Engineering Services (ACE New Zealand/Engineering New Zealand 2004)
- ⁴ PN01 Guidelines on Producer Statements

www.acenz.org.nz

www.engineeringnz.org

Roy Frew
982A Oxford Road, Fernside
-
13 May 2024
#15283

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC240589 22/08/2024 Chrisk

Constructure

Address 982A Oxford Road, Fernside

Schedule of inspections

We confirm that **Constructure Christchurch** have been engaged to undertake construction monitoring of the specific engineering design items to an Engineering New Zealand/ACENZ CM level **3** and propose to undertake at least the following site inspections:

No.	Item of inspection -Timeframe	By
1	Building Consent Conditions and stamped Building Consent drawings to be received and reviewed prior to site inspections commencing.	SE
2	Precast concrete or timber piles -Pre surrounding concrete pour	SE
3	Internal structural beams, lintels, portals, posts and connections -While all connections are clearly visible, pre-line and prior to building in to such an extent that remediation work could not be carried out.	SE
4	Bracing walls -Pre-lining	SE

GEO – Denotes the project Geotechnical Engineer if applicable (Geotechnical Engineer)

SE – Denotes the project Structural Engineer (Constructure Christchurch)

LSE - Denotes a local Structural Engineer if required due to site location (Local Structural Engineer)

Notes:

a) The above items of inspection are the minimum required to enable **Constructure Christchurch** to issue a PS4 – Producer Statement Construction Review for the specific engineering design items.

b) The above items of inspection do not cover work constructed in accordance with NZS 3604:2011, for which inspections are to be undertaken by the Building Consent Authority.

c) The Contractor/Builder is to provide **Constructure Christchurch** at least 24 hours’ notice of the requirement for an inspection. The above timeframes are indicative, the Engineer and Contractor are to agree the timing of inspection prior to work commencing on site.

d) A copy of this inspection schedule is to be held on site during the works, and the Contractor/Builder is to provide reasonable and safe access to enable works to be inspected according to the schedule.

e) The above schedule does not necessarily represent the actual number of inspections to be undertaken. The number of inspections will depend on the construction method, sequence of the works and whether or not unforeseen conditions or difficulties are encountered on site.

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Christchurch Office
332 Durham St
Christchurch 8013

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Constructure

Outline structural
specification

-

Roy Frew,
982A Oxford Road,
Fernside

-

13 May 2024
#15286

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC240589 22/08/2024 Chrisk

Service
focussed

-

Smart
solutions

1. GENERAL

Refer to the Preliminary and General Clauses of the Specification and to the General Conditions of Contract, which are equally binding on all Trades. This specification shall be read in conjunction with all other sections of the project specification.

No change or variation is permitted unless the Engineer provides appropriate written instructions.

Dimensions and details shall be read in conjunction with the Architect’s drawings. The contractor shall check all dimensions before construction commences.

The contractor shall fully comply with all the provisions of the New Zealand Building Code, including all requirements for site and worker safety.

2. CONCRETE CONSTRUCTION

All concrete work shall comply with the requirements of NZS 3109.

All reinforcing materials shall comply with the requirements of NZS3402 and AS/NZS 4671:2019. All reinforcing shall be manufactured by the micro-alloy process.

On the drawings:

‘D’ indicates deformed grade 300E reinforcing to AS/NZS 4671:2019

‘HD’ indicates deformed grade 500E reinforcing to AS/NZS 4671:2019

‘R’ indicates round grade 300E reinforcing to AS/NZS 4671:2019

‘HR’ indicates round grade 500E reinforcing to AS/NZS 4671:2019

Mesh reinforcement in floor slabs shall be ductile mesh and comply with AS/NZS 4671:2019.

All products shall be supplied and installed in accordance with the manufacturer’s written recommendations.

Except where specified otherwise, finishes shall be as specified below and shall be in accordance with NZS 3114:

all concrete which is visible externally or internally in the completed building:	F5 finish
concrete concealed in the completed building:	F3 finish
concrete below ground	F1 finish
all floor slabs and toppings	U3 finish

Form all chases, rebates, etc as detailed.

Reinforcement shall be cut, bent, and fixed in accordance with NZS 3109, and as shown on the drawings. All reinforcement shall fully lap at all splices, corners of foundation beams, beams, blockwalls etc. Laps for reinforcement

shall be in accordance with the schedule below, unless detailed otherwise on the drawings.

	Bar	Lap length - Concrete	Bar	Lap Length - Concrete
20MPa	D10	350mm	HD12	700mm
	D12	450mm	HD16	900mm
	D16	550mm	HD20	1150mm

All foundation reinforcement must lap in accordance with the above and as shown on the drawings.

The minimum required cover to reinforcing in concrete shall be 75mm, this can be reduced to 50mm with DPM, unless noted otherwise on the drawings.

Cast in all fixings, bolts, and other items detailed or required for the completion of the works. Fix securely in place before casting concrete, and check their positions immediately after casting. If post fix anchors are required these are to be installed as per the manufactures recommendations.

Place concrete in accordance with NZS 3109.

Take care to protect and cure all concrete adequately, and in accordance with NZS 3109.

After casting floor slabs, supply and apply an anti-evaporation film such as FBS ER 921 or similar.

Apply a curing compound to all concrete floor slabs immediately on completion of the surface finishing, or alternatively, cure by ponding.

The following concrete shall be used:

Element	Concrete type	28 day strength	Slump	Max aggregate size
Foundations	Normal	20 MPa	100mm	19mm

It is the contractor's responsibility to prepare any additional shop drawings of the works or elements if required.

Supply and lay DPM beneath all ground slabs in accordance with the manufacturer's written recommendations and the Architectural Specification. The DPM shall be 0.25mm polythene or equivalent.

Reinforcement shall not be bent on site except in accordance with this specification. Bending shall be in accordance with the requirements of NZS3109 and the manufacturer's written recommendations.

3. TIMBER WORK

Timber work and associated connections shall comply fully with NZS3604.

Care shall be exercised in assessing the durability requirements for all timber and fixings given their exposure and environment. If in doubt, the level of protection shall be discussed and agreed with the Architect and Local Authority.

All timber shall be SG8, graded dry to NZS3622.

Laminated Veneer Lumber (LVL) shall be grade 11 unless noted otherwise on the drawings.

Roy Frew
982A Oxford Road, Fernside

-

13 May 2024
#15286

Constructure

Address 982A Oxford Road, Fernside

Compliance with Building Code clause B2 – Durability.

The purpose of this letter is to demonstrate how compliance with Clause B2 (Durability) of the Building Code will be achieved for the above project. We can confirm that for specifically designed structural elements that are included within our design documentation:

Material	Means of compliance	Details
Reinforced concrete	B2/AS1	Concrete cover to reinforcing has been selected in accordance with NZS3101, Part 1, Section 3
Timber	B2/AS1	Timber treatment has been selected in accordance with Table 1A of B2/AS1

Yours faithfully,



Rob Dickie
BE(Hons) CPEng CMEngNZ

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chch@constructure.co.nz

Christchurch Office
332 Durham St
Christchurch 8013

constructure.co.nz

Roy Frew
982A Oxford Road, Fernside
-
4 July 2024
#15286

Constructure

Dear Roy,

**APPLICATION FOR BUILDING CONSENT
982A OXFORD ROAD, FERNSIDE
STRUCTURAL ENGINEERING CALCULATIONS**

The design and calculation process for Constructure Christchurch Limited projects includes a wide range of activities and documentation including:

- Project team meetings and discussion
- Design based on experience
- Engineering judgement
- Reference to Standards, codes and guidelines
- Drawings and Specification review and mark-up
- Electronic calculations, spreadsheets, etc.
- Written calculations

The attached calculations have been requested by the building consent authority for their review as part of the building consent process. They are provided on the basis that they are accompanying information to assist in the building consent authorities understanding of the design. However, it is the plans and specifications that wholly represent the design.

Please forward this to the Local Authority as part of the Building Consent documentation.

Yours faithfully,



Rob Dickie
BE(Hons) CPEng CMEngNZ

03 365 3243
chch@constructure.co.nz

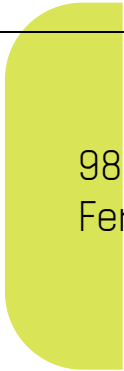
Christchurch Office
332 Durham St
Christchurch 8013

constructure.co.nz

Date 03/07/2024 Job # 15286

By RD Revision # 1

Project



982A Oxford Rd
Fernside.

Constructure

Structural Design Summary

General

Building Type	Conversion of existing woolshed into dwelling		
Client	Roy Frew		
Other Consultants	Architect	ASCAD	
	Geotechnical Engineer	N/A	
Design Basis	Design Life	50 years	
	Importance Level	IL 2	
	Annual Probability of Exceedance	Wind	1/500
		Snow	1/150
		Earthquake	1/500
		Serviceability	1/25
Structural Drawings	Constructure drawings dated 02/07/2024 & numbered 15286		

Loading

Load Type	Load Value		Standard Used
Dead Load	G = 0.5kPa	roof	NZS1170.1
	G = 0.5kPa	floor	
	G = 0.5kPa	external wall	
Live Load	Q = 0.25kPa	roof	NZS1170.1
Wind Speed	Extra High		NZS3604
	34.6m/s	SLS	NZS1170.2
	61.7m/s	ULS	
Snow Load	0.39kPa	SLS (roof)	NZS1170.3
	0.57kPa	ULS (roof)	
EQ Load	EQ Zone 3		NZS3604
	Subsoil class D		NZS1170.5

Scope of Design Work

Building Element	Description	Means of Compliance
Framing Review	Review of existing framing & strengthening as required to bring up to IL2 standard	B1/AS1 (NZS3604) B1/VM1 (NZS3603)
Bracing	Gib bracing to superstructure & anchor piles to subfloor	B1/AS1 (NZS3604)
Contact	Rob Dickie / 03 3653243 / rob@constructure.co.nz	

Existing Woolshed

Building is an existing woolshed, date of construction unknown. Part of it is being converted into a dwelling



For more information.

Project Assumptions

Dwelling part of building will be checked to Importance Level 2, the rest of the building will remain as is.

The existing framing will be checked for life safety only. The client accepts that the building may move more than would be expected in a new building & some lining cracking may occur over time or after a strong wind/earthquake.

The floor framing & foundations will not be checked. This is based on the fact that the floor has had a long service life as a woolshed, so the applied loads (from stock/bales etc) are higher than would be expected in a dwelling & no excessive settlement or damage has occurred.

We cannot guarantee 50 year durability of the existing framing as required by the Building Code.

Loads

Gravity Loading

$G_{roof} := 0.5 \text{ kPa}$ Once lined internally

$G_{wall} := 0.5 \text{ kPa}$ Once lined internally

$G_{floor} := 0.5 \text{ kPa}$

$Q_{roof} := 0.25 \text{ kPa}$

$Q_{floor} := 1.5 \text{ kPa}$

Snow Load

Region N4, sub-alpine

$h_0 := 100 \text{ m}$ Height ASL

$C_e := 1$ Sub - alpine

$\alpha := 15$ Roof slope in degrees

$$\mu_1 := \min\left(\left(0.7 \cdot \frac{(60 - \alpha)}{50}\right), 0.7\right) = 0.63$$

$$k_{puls} := 1.25 \quad \text{Probability factor for } P=1/150$$

$$k_{psls} := 0.85 \quad \text{Probability factor for } P=1/25$$

$$s_{guls} := \max \left(k_{puls} \cdot 1.2 \left(3 \cdot \frac{h_0}{1000 \text{ m}} + 0.3 \right) \text{ kPa}, 0.9 \text{ kPa} \right) = 0.9 \text{ kPa}$$

$$s_{gsls} := k_{psls} \cdot 1.2 \left(3 \cdot \frac{h_0}{1000 \text{ m}} + 0.3 \right) \text{ kPa} = 0.612 \text{ kPa}$$

$$S_{uls} := s_{guls} \cdot C_e \cdot \mu_1 = 0.567 \text{ kPa} \quad \text{ULS snow load}$$

$$S_{sls} := s_{gsls} \cdot C_e \cdot \mu_1 = 0.386 \text{ kPa} \quad \text{SLS snow load}$$

Wind Load

CHECKWIND AS/NZS 1170.2-2021 SITE REPORT

revolutic

STRUCTURE:	BUILDING	LATITUDE:	-43.307958	CRITICAL DIRECTION:	South West
ORIENTATION:	0°	LONGITUDE:	172.458905	Md:	1.0
WIDTH:	7.20 m	ELEVATION:	114.00 m	Mc:	1.0
LENGTH:	9.00 m	WIND REGION:	NZ2	TC:	2.0
HEIGHT (h):	5.00 m	ULTIMATE ARI:	500 YEARS	Mz, cat:	0.91
BASE RL:	0.00 m	ULTIMATE VR:	45 m/s	Ms:	1.0
		SERVICEABILITY VR:	39 m/s	Mh:	1.2617
				Mlee:	1.0
				Mel:	1.0
				Mt:	1.2617
				Vsit, β:	51.67 m/s
				qsit, β:	1.6019 kPa
				Vserv, β:	44.78 m/s
				qserv, β:	1.2031 kPa

$$V_{site.sls} := 34.6 \frac{\text{m}}{\text{s}}$$

$$V_{site.uls} := 51.7 \frac{\text{m}}{\text{s}}$$

EH to NZS3604

$$C_{pe.roof} := -1 \quad C_{pe.wall} := -0.65$$

$$K_a := 1 \quad K_{ce} := 0.9 \quad K_l := 1 \quad K_p := 1$$

$$C_{fig.e.roof} := C_{pe.roof} \cdot K_a \cdot K_{ce} \cdot K_l \cdot K_p = -0.9$$

$$C_{fig.e.wall} := C_{pe.wall} \cdot K_a \cdot K_{ce} \cdot K_l \cdot K_p = -0.585$$

$$C_{pi} := -0.3 \quad K_{ci} := 0.9$$

$$C_{fig.i} := C_{pi} \cdot K_{ci} = -0.27$$

$$C_{fig.roof} := C_{fig.i} + C_{fig.e.roof} = -1.17$$

$$C_{fig.wall} := C_{fig.i} + C_{fig.e.wall} = -0.855$$

$$\rho_{air} := 1.2 \frac{kg}{m^3} \quad C_{dyn} := 1$$

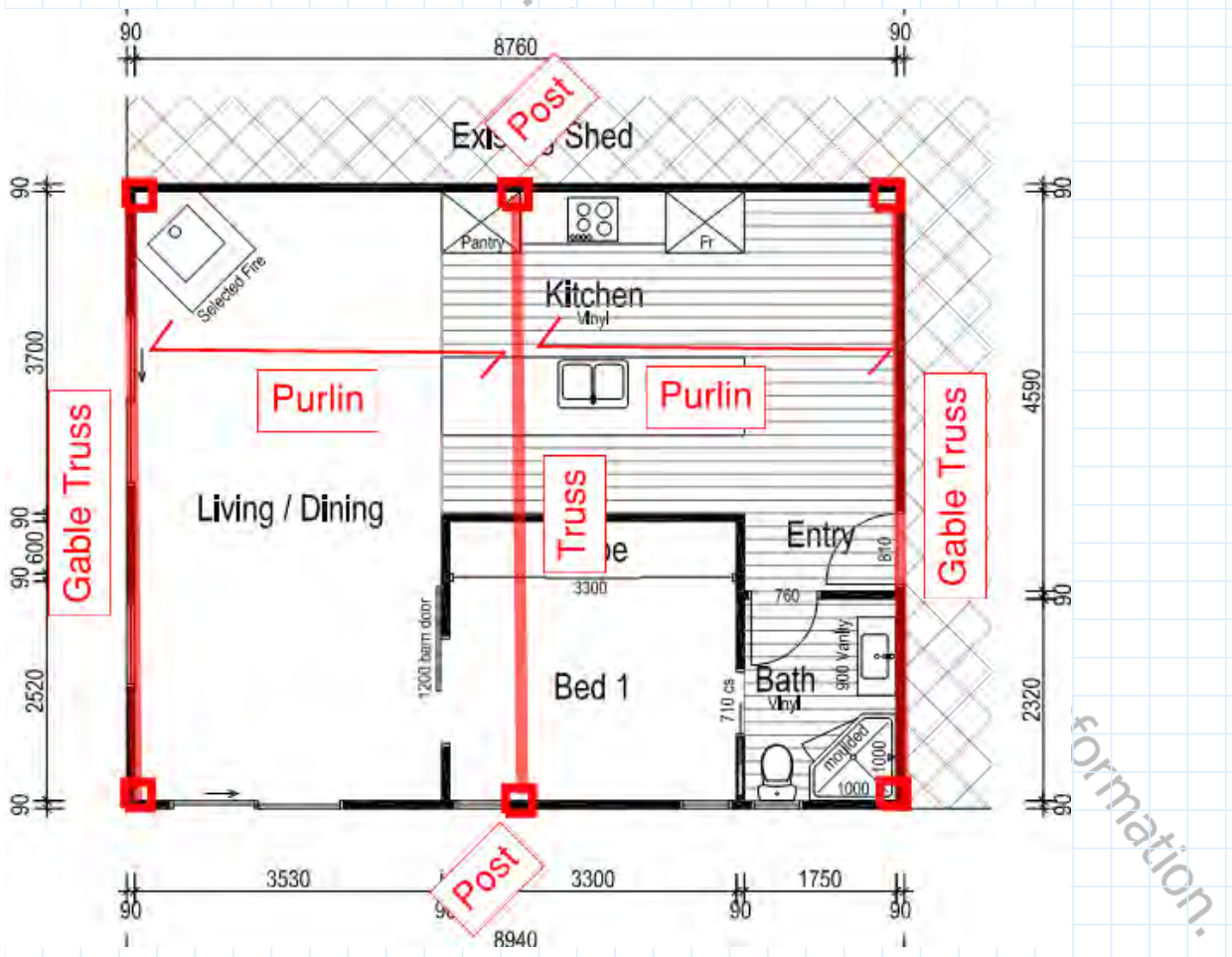
$$P_{sls.roof} := 0.5 \cdot \rho_{air} \cdot V_{site.sls}^2 \cdot C_{fig.roof} \cdot C_{dyn} = -0.84 \text{ kPa}$$

$$P_{uls.roof} := 0.5 \cdot \rho_{air} \cdot V_{site.uls}^2 \cdot C_{fig.roof} \cdot C_{dyn} = -1.876 \text{ kPa}$$

$$P_{sls.wall} := 0.5 \cdot \rho_{air} \cdot V_{site.sls}^2 \cdot C_{fig.wall} \cdot C_{dyn} = -0.614 \text{ kPa}$$

$$P_{uls.wall} := 0.5 \cdot \rho_{air} \cdot V_{site.uls}^2 \cdot C_{fig.wall} \cdot C_{dyn} = -1.371 \text{ kPa}$$

Existing Roof Framing Check



Existing Purlin

Purlin Info

Existing Purlin is 200x50 @ 800mm crs

$$L_{beam} := 4.4 \text{ m}$$

$$TW_{roof} := 0.8 \text{ m}$$

$$D := 200 \text{ mm} \quad B := 50 \text{ mm}$$

$$I := \frac{B \cdot D^3}{12} \quad Z := \frac{B \cdot D^2}{6} \quad A_s := \frac{2}{3} B \cdot D$$

$$E := 8 \text{ GPa} \quad f_b := 14 \text{ MPa} \quad f_s := 4.6 \text{ MPa}$$

Load cases

$$G := G_{roof} \cdot TW_{roof} = 0.4 \frac{\text{kN}}{\text{m}}$$

$$Q := Q_{roof} \cdot TW_{roof} = 0.2 \frac{\text{kN}}{\text{m}}$$

$$S_s := S_{sls} \cdot TW_{roof} = 0.308 \frac{\text{kN}}{\text{m}}$$

$$S_u := S_{uls} \cdot TW_{roof} = 0.454 \frac{\text{kN}}{\text{m}}$$

$$W_s := P_{sls.roof} \cdot TW_{roof} = -0.672 \frac{\text{kN}}{\text{m}}$$

$$W_u := P_{uls.roof} \cdot TW_{roof} = -1.501 \frac{\text{kN}}{\text{m}}$$

ULS Design

$$w_{uls} := \max(1.35 G, 1.2 \cdot G + 1.5 Q, 1.2 G + S_u, \text{abs}(0.9 G + W_u)) = 1.141 \frac{\text{kN}}{\text{m}}$$

$$M := \frac{w_{uls} \cdot L_{beam}^2}{8} = 2.761 \text{ kN} \cdot \text{m}$$

$$V := \frac{w_{uls} \cdot L_{beam}}{2} = 2.51 \text{ kN}$$

$$\phi := 0.8 \quad k_1 := 0.8 \quad k_4 := 1 \quad k_5 := 1$$

$$\frac{D}{B} = 4 \quad \frac{L_{beam}}{4 B} = 22 \quad k_8 := 0.95 \quad \text{Add blocking}$$

$$\phi M_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot k_8 \cdot Z \cdot f_b = 2.837 \text{ kN} \cdot \text{m} \quad \text{OK}$$

$$\phi V_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot f_s \cdot A_s = 19.627 \text{ kN} \quad \text{OK}$$

Connections

Existing connections are corroded



Add NZS3604 Type E

Fixing type	Description	Alternative fixing capacity (kN)
E	2 / 90 x 3.15 skew nails + 2 wire dogs	4.7
F	2 / 90 x 3.15 skew nails + strap fixing (see figure 10.6)	7.0

information.

Existing Truss

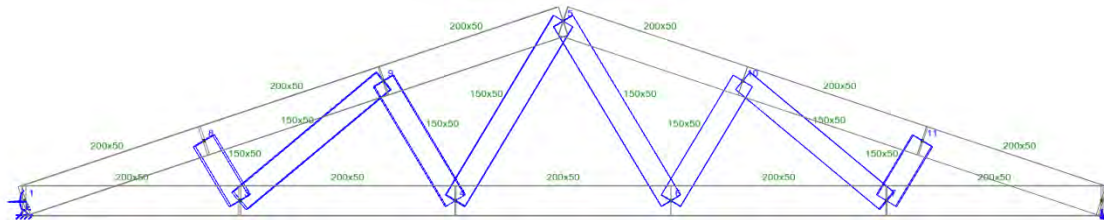
Truss Info



Existing Truss is 200x50 chords, 150x50 webs

$$L_{beam} := 7.2 \text{ m}$$

$$TW_{roof} := 4.47 \text{ m}$$



Load cases

$$G := G_{roof} \cdot TW_{roof} = 2.235 \frac{\text{kN}}{\text{m}}$$

$$Q := Q_{roof} \cdot TW_{roof} = 1.118 \frac{\text{kN}}{\text{m}}$$

$$S_s := S_{sls} \cdot TW_{roof} = 1.723 \frac{\text{kN}}{\text{m}}$$

$$S_u := S_{uls} \cdot TW_{roof} = 2.534 \frac{\text{kN}}{\text{m}}$$

for more information.

$$W_s := P_{sls.roof} \cdot TW_{roof} = -3.757 \frac{kN}{m}$$

$$W_u := P_{uls.roof} \cdot TW_{roof} = -8.387 \frac{kN}{m}$$

Web ULS Design

$$D := 150 \text{ mm} \quad B := 50 \text{ mm}$$

$$I := \frac{B \cdot D^3}{12} \quad Z := \frac{B \cdot D^2}{6} \quad A_s := \frac{2}{3} B \cdot D \quad A_c := B \cdot D$$

$$E := 8 \text{ GPa} \quad f_b := 14 \text{ MPa} \quad f_s := 4.6 \text{ MPa} \quad f_c := 18 \text{ MPa} \quad f_t := 6 \text{ MPa}$$

From Space Gass

$$M_d := 0 \text{ kN} \cdot \text{m}$$

$$V_d := 0 \text{ kN}$$

$$N_{c,d} := 12.8 \text{ kN}$$

$$N_{t,d} := 10.2 \text{ kN}$$

Moment Check

$$\phi := 0.8 \quad k_1 := 0.8$$

$$\frac{D}{B} = 3 \quad \frac{0.9 \text{ m}}{B} = 18 \quad k_8 := 1 \quad \text{Restrained by new ceiling}$$

$$\phi M_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot k_8 \cdot Z \cdot f_b = 1.68 \text{ kN} \cdot \text{m} \quad \text{OK}$$

Shear Check

$$k_4 := 1 \quad k_5 := 1$$

$$\phi V_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot f_s \cdot A_s = 14.72 \text{ kN} \quad \text{OK}$$

Axial Check

$$S_3 := \frac{0.9 \text{ m}}{B} = 18 \quad k_8 := 0.8$$

$$\phi N_{nc} := \phi \cdot k_1 \cdot k_8 \cdot f_c \cdot A_c = 69.12 \text{ kN} \quad \text{OK}$$

$$\phi N_{nt} := \phi \cdot k_1 \cdot f_t \cdot A_c = 28.8 \text{ kN} \quad \text{OK}$$

Chord ULS Design

$$D := 200 \text{ mm} \quad B := 50 \text{ mm}$$

$$I := \frac{B \cdot D^3}{12} \quad Z := \frac{B \cdot D^2}{6} \quad A_s := \frac{2}{3} B \cdot D \quad A_c := B \cdot D$$

$$E := 8 \text{ GPa} \quad f_b := 14 \text{ MPa} \quad f_s := 4.6 \text{ MPa} \quad f_c := 18 \text{ MPa} \quad f_t := 6 \text{ MPa}$$

From Space Gass

$$M_d := 1.8 \text{ kN} \cdot \text{m}$$

$$V_d := 5.3 \text{ kN}$$

$$N_{c,d} := 57 \text{ kN}$$

$$N_{t,d} := 54.8 \text{ kN}$$

Moment Check

$$\phi := 0.8 \quad k_1 := 0.8$$

$$\frac{D}{B} = 4 \quad \frac{0.9 \text{ m}}{B} = 18 \quad k_8 := 1 \quad \text{Restrained by new ceiling}$$

$$\phi M_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot k_8 \cdot Z \cdot f_b = 2.987 \text{ kN} \cdot \text{m} \quad \text{OK}$$

Shear Check

$$k_4 := 1 \quad k_5 := 1$$

$$\phi V_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot f_s \cdot A_s = 19.627 \text{ kN} \quad \text{OK}$$

Axial Check

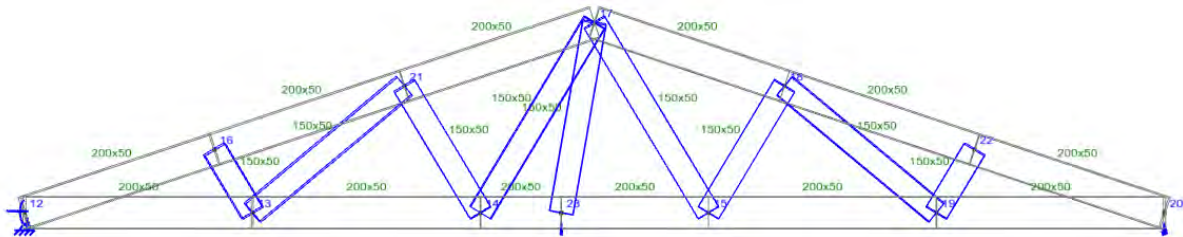
$$S_3 := \frac{0.9 \text{ m}}{B} = 18 \quad k_8 := 0.8$$

$$\phi N_{nc} := \phi \cdot k_1 \cdot k_8 \cdot f_c \cdot A_c = 92.16 \text{ kN} \quad \text{OK}$$

$$\phi N_{nt} := \phi \cdot k_1 \cdot f_t \cdot A_c = 38.4 \text{ kN} \quad \text{Not OK}$$

Revised Truss

As Bottom chord & not ok, strengthen by adding post under internal wall



Revised Web

$$M_d := 0 \text{ kN} \cdot \text{m} \quad \text{OK}$$

$$V_d := 0 \text{ kN} \quad \text{OK}$$

$$N_{c,d} := 27.8 \text{ kN} \quad \text{OK}$$

$$N_{t,d} := 22.5 \text{ kN} \quad \text{OK}$$

Revised Chord

$M_d := 1.7 \text{ kN}\cdot\text{m}$ OK

$V_d := 3.6 \text{ kN}$ OK

$N_{c,d} := 12.2 \text{ kN}$ OK

$N_{t,d} := 15.3 \text{ kN}$ OK

Connections

Existing connections are 1 x M12 bolt



$V_d := 8.4 \text{ kN}$

$\phi := 0.7$ $n := 1$ $k_1 := 0.8$ $k_{12} := 1$ $k_{13} := 1$ $Q_{sk} := 6.97 \text{ kN}$

$\phi Q_n := \phi \cdot n \cdot k_1 \cdot k_{12} \cdot k_{13} \cdot Q_{sk} = 3.903 \text{ kN}$ Not OK

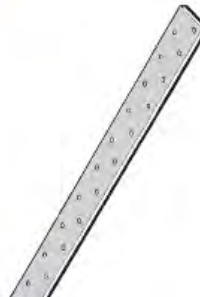
Add sheet brace strap

SHEET BRACE STRAPS 200, 300, 400, 600mm

0.91mm x 25mm G300 Z275 GALVANISED STEEL
 0.9mm x 25mm STAINLESS STEEL 304-2B

Type	Characteristic Load	
Zinc	Tension	7.7 kN
Stainless	Tension	6.2 kN

Nail as shown: 6 x LUMBERLOK Product Nails 30mm x 3.15 dia. per end.



New central post

Use 4/90x45 SG8

$$D := 180 \text{ mm}$$

$$B := 90 \text{ mm}$$

$$I := \frac{B \cdot D^3}{12}$$

$$Z := \frac{B \cdot D^2}{6}$$

$$A_s := \frac{2}{3} B \cdot D$$

$$A_c := B \cdot D$$

$$E := 8 \text{ GPa}$$

$$f_b := 14 \text{ MPa}$$

$$f_s := 4.6 \text{ MPa}$$

$$f_c := 18 \text{ MPa}$$

$$f_t := 6 \text{ MPa}$$

From Space Gass

$$N_{c,d} := 27.3 \text{ kN}$$

$$N_{t,d} := 34.1 \text{ kN}$$

Axial Check

$$S_3 := \frac{3 \text{ m}}{B} = 33.333$$

$$k_8 := 0.29$$

$$\phi N_{nc} := \phi \cdot k_1 \cdot k_8 \cdot f_c \cdot A_c = 47.356 \text{ kN}$$

OK

$$\phi N_{nt} := \phi \cdot k_1 \cdot f_t \cdot A_c = 54.432 \text{ kN}$$

OK

Post Footing

Use 1m x 1m SQ footing, assume 4m x 4m floor trib in uplift case

$$D := 1 \text{ m}$$

$$B := 1 \text{ m}$$

$$G_{\text{footing}} := B^2 \cdot D \cdot 24 \frac{\text{kN}}{\text{m}^3} = 24 \text{ kN}$$

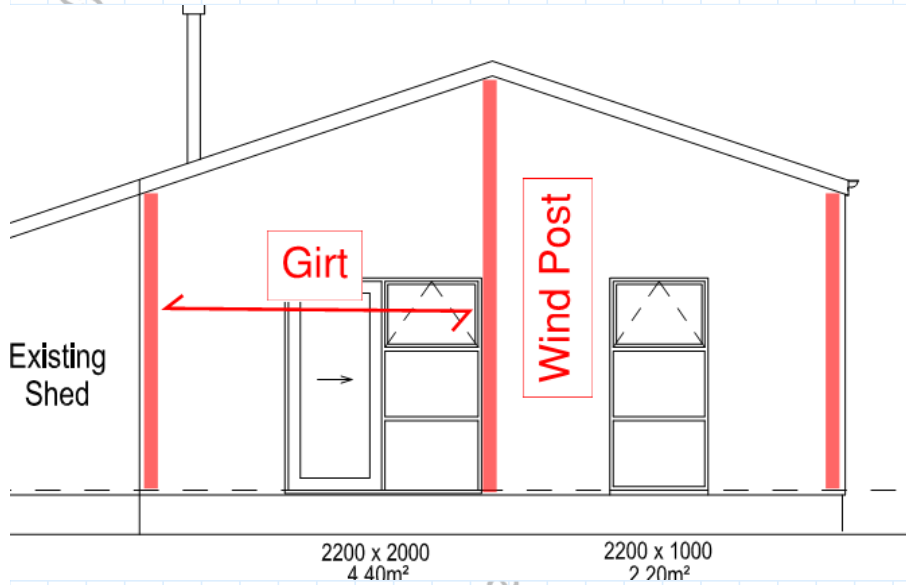
Uplift Check

$$N_t := N_{t,d} - 0.9 \cdot G_{\text{footing}} - 0.9 \cdot (G_{\text{floor}} + 0.3 \cdot Q_{\text{floor}}) \cdot (4 \text{ m})^2 = -1.18 \text{ kN} < 0 \text{ so OK}$$

Bearing Check

$$\sigma_{\text{uls}} := \frac{N_{c,d} + 1.2 \cdot G_{\text{footing}}}{B^2} = 56.1 \text{ kPa} \quad \text{OK}$$

Wall Roof Framing Check



Information.

Existing Girt

Girt Info

Existing Girt is 150x50 @ 800mm crs

$$L_{beam} := 4.4 \text{ m}$$

$$TW_{wall} := 0.8 \text{ m}$$

$$D := 150 \text{ mm} \quad B := 50 \text{ mm}$$

$$I := \frac{B \cdot D^3}{12} \quad Z := \frac{B \cdot D^2}{6} \quad A_s := \frac{2}{3} B \cdot D$$

$$E := 8 \text{ GPa} \quad f_b := 14 \text{ MPa} \quad f_s := 4.6 \text{ MPa}$$

Load cases

$$W_u := P_{uls.wall} \cdot TW_{wall} = -1.097 \frac{\text{kN}}{\text{m}}$$

ULS Design

$$M := \frac{W_u \cdot L_{beam}^2}{8} = -2.655 \text{ kN} \cdot \text{m}$$

$$V := \frac{W_u \cdot L_{beam}}{2} = -2.413 \text{ kN}$$

$$\phi := 0.8 \quad k_1 := 0.8 \quad k_4 := 1 \quad k_5 := 1$$

$$\frac{D}{B} = 3 \quad \frac{L_{beam}}{3 B} = 29.333 \quad k_8 := 0.95$$

$$\phi M_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot k_8 \cdot Z \cdot f_b = 1.596 \text{ kN} \cdot \text{m} \quad \text{Not OK}$$

$$\phi V_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot f_s \cdot A_s = 14.72 \text{ kN} \quad \text{OK}$$

Revised Framing

Add wind post at max 2.4m crs

$$L_{beam} := 2.4 \text{ m}$$

$$TW_{wall} := 0.8 \text{ m}$$

$$D := 150 \text{ mm} \quad B := 50 \text{ mm}$$

$$I := \frac{B \cdot D^3}{12} \quad Z := \frac{B \cdot D^2}{6} \quad A_s := \frac{2}{3} B \cdot D$$

$$E := 8 \text{ GPa} \quad f_b := 14 \text{ MPa} \quad f_s := 4.6 \text{ MPa}$$

Load cases

$$W_u := P_{uls.wall} \cdot TW_{wall} = -1.097 \frac{\text{kN}}{\text{m}}$$

ULS Design

$$M := \frac{W_u \cdot L_{beam}^2}{8} = -0.79 \text{ kN} \cdot \text{m}$$

$$V := \frac{W_u \cdot L_{beam}}{2} = -1.316 \text{ kN}$$

$$\phi := 0.8 \quad k_1 := 0.8 \quad k_4 := 1 \quad k_5 := 1$$

$$\frac{D}{B} = 3 \quad \frac{L_{beam}}{2B} = 24 \quad k_8 := 1$$

$$\phi M_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot k_8 \cdot Z \cdot f_b = 1.68 \text{ kN} \cdot \text{m} \quad \text{Not OK}$$

$$\phi V_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot f_s \cdot A_s = 14.72 \text{ kN} \quad \text{OK}$$

Connections

Existing connections are unknown, add CPC40 pair

CONCEALED PURLIN CLEATS

1.55mm G300 Z275 GALVANISED STEEL
 0.9mm STAINLESS STEEL 304-2B (SSCPC40S)
 1.5mm STAINLESS STEEL 304-2B (SSCPC40 & SSCPC80)

Characteristic Load	CPC40S	CPC40	CPC80
Uplift / Tension	4.0 kN / pair	8.0 kN / pair	16.0 kN / pair
Fix as shown with: LUMBERLOK Product Nails 30mm x 3.15 dia. AND Type 17-14g x 35mm Hex Head Screws			

$$\phi := 0.7 \quad k_1 := 0.8 \quad Q_{char} := 4 \text{ kN}$$

$$\phi Q_n := \phi \cdot k_1 \cdot Q_{char} = 2.24 \text{ kN}$$

OK

Existing Wind Post

Post Info

Existing Post is 150x150

$$L_{post} := 3 \text{ m}$$

Will be restrained by new ceiling

$$TW_{wall} := 2.4 \text{ m}$$

Revised from above

$$D := 150 \text{ mm}$$

$$B := 150 \text{ mm}$$

$$I := \frac{B \cdot D^3}{12}$$

$$Z := \frac{B \cdot D^2}{6}$$

$$A_s := \frac{2}{3} B \cdot D$$

$$E := 8 \text{ GPa}$$

$$f_b := 14 \text{ MPa}$$

$$f_s := 4.6 \text{ MPa}$$

Load cases

$$W_u := P_{uls.wall} \cdot TW_{wall} = -3.291 \frac{\text{kN}}{\text{m}}$$

ULS Design

$$M := \frac{W_u \cdot L_{post}^2}{8} = -3.702 \text{ kN}\cdot\text{m}$$

$$V := \frac{W_u \cdot L_{post}}{2} = -4.936 \text{ kN}$$

$$\phi := 0.8 \quad k_1 := 0.8 \quad k_4 := 1 \quad k_5 := 1$$

$$\frac{D}{B} = 1 \quad k_8 := 1$$

$$\phi M_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot k_8 \cdot Z \cdot f_b = 5.04 \text{ kN}\cdot\text{m} \quad \text{OK}$$

$$\phi V_n := \phi \cdot k_1 \cdot k_4 \cdot k_5 \cdot f_s \cdot A_s = 44.16 \text{ kN} \quad \text{OK}$$

See www.mathcad.com for more information.

Bracing



Dwelling is part of larger structure & will be lined with sheet bracing. The rest of the building is remaining unchanged & is braced by cantilever timber posts of unknown capacity.



The woolshed & yards are quite flexible & lightweight compared to the new sheet bracing. Therefore the earthquake loads on the covered yard portion should be very low. The earthquake bracing load on the dwelling will be taken as from the dwelling portion only.

The wind bracing load on the building will be influenced by the extra walls to the yards. It is assumed that half of the load from these walls will be taken by the dwelling, the other half by the existing cantilever bracing.



for more information.



Demand Calculation Sheet

Job Details

Name: 982A Oxford Rd
 Street and Number:
 Lot and DP Number:
 City/Town/District: Fernside
 Designer: RD
 Company: Constructure
 Date: Thursday, 4 April 2024

Building Specification

Number of Storeys 1
 Floor Loading 2 kPa
 Foundation Type Subfloor
 Subfloor Cladding Weight Light
Single
 Cladding Weight Light
 Roof Weight Light
 Room in Roof Space No
 Roof Pitch (degrees) 15
 Roof Height above Eaves (m) 1.3
 Building Height to Apex (m) 5
 Ground to Lower Floor (m) 0.7
 Average Stud Height (m) 3
 Building Length (m) 14.7
 Building Width (m) 12.7
 Building Plan Area (m²) 64

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Building Location

Wind Zone = Extra High

Earthquake Zone 2

Soil Type D & E (Deep to Very Soft)
 Annual Prob. of Exceedance: 1 in 500 (Default)

Bracing Units required for Wind

	Along	Across
Single Level	937	927
Subfloor Level	1743	1861

Bracing Units required for Earthquake

	Along & Across
Single Level	520
Subfloor Level	667



Single Level Along Resistance Sheet

Job Name: 982A Oxford Rd

Timber Floor Limit of 120 BUs/m Applied

Wind	EQ
Demand	
937	520
Achieved	

Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1080	937
a	1	8.60		3	GS1-N	GIB®	475	413	115%	180%
	External Length = 9							475 OK	413 OK	
b	1	3.20		3	BL1-H	GIB®	307	266		
	External Length = 9							307 OK	266 OK	
c	1	1.10		3	BL1-H	GIB®	106	91		
	2	2.00		3	BL1-H	GIB®	192	166		
	External Length = 9							298 OK	257 OK	

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Single Level Across Resistance Sheet

Job Name: 982A Oxford Rd

Timber Floor Limit of 120 BUs/m Applied

Wind	EQ
Demand	
927	520
Achieved	

Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1142 123%	997 192%
m	1	1.30		3	BL1-H	GIB®	125	108		
	2	1.20		3	BL1-H	GIB®	115	100		
	3	1.20		3	BL1-H	GIB®	115	100		
	External Length = 7									
n	1	1.30		3	BL1-H	GIB®	125	108		
	2	0.60		3	BL1-H	GIB®	47	48		
o	1	3.60		3	BL1-H	GIB®	346	300		
	2	1.60		3	BL1-H	GIB®	154	133		
	3	1.20		3	BL1-H	GIB®	115	100		
	External Length = 7									

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Subfloor Level Along Resistance Sheet

Job Name: 982A Oxford Rd

Wind	EQ
Demand	
1743	667
Achieved	

Line	Element	Length or No.	Angle (degrees)	Type	Supplier	Wind (BUs)	EQ (BUs)	NaN%	NaN%
A	1	4.00		Anchor Pile	NZS3604				
	External Length =					9			
B	1	4.00		Anchor Pile	NZS3604				
	External Length =					9			
C	1	4.00		Anchor Pile	NZS3604				
	External Length =					9			

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Subfloor Level Across Resistance Sheet

Job Name: 982A Oxford Rd

Wind	EQ
Demand	
1861	667
Achieved	

Line	Element	Length or No.	Angle (degrees)	Type	Supplier	Wind (BUs)	EQ (BUs)	NaN%	NaN%
M	1	3.00		Anchor Pile	NZS3604				
	External Length =					7			
N	1	3.00		Anchor Pile	NZS3604				
	External Length =					7			
O	1	3.00		Anchor Pile	NZS3604				
	External Length =					7			
P	1	3.00		Anchor Pile	NZS3604				
	External Length =					7			

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