



\*001\*

# APPLICATION



09 JUN 2015



Far North District Council

For Council use	5/6/15
Received:	
Application no:	2015-1211



# FORM 8

## Application for Certificate of Acceptance Section 97, Building Act 2004

### The Building

Street address of building: [For structures which do not have a street address, number, state the nearest street intersection and the distance and direction from that intersection, or the closest RAPID no]: \_\_\_\_\_

3 SH 12 OPENON 1

Legal description of land and where building is located: [State legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent]

lot 1 DP171461

Building name: [if applicable] \_\_\_\_\_

Location of building within site/block number: [Includes nearest street access] \_\_\_\_\_

Number of Levels: [Include ground level and any levels below ground] \_\_\_\_\_

Level / unit number: \_\_\_\_\_

Area: [Total floor area: indicate area affected by the building work if less than the total area] \_\_\_\_\_ m<sup>2</sup>

62

Current, lawfully established, use: [Include number of occupants per level and per use if more than 1. If use was changed by the building work this application relates to, state previous use.]

Residential

Year first constructed: ?



**The Owner**

Name of owner: [e.g. Mr, Mrs, Miss, Dr, if an individual] \_\_\_\_\_

M. A. O'Halloran & De Bruin Trustees Ltd.

Contact person: MIKE O'Halloran

Mailing address: c/o PDC OPANONI.

Street address / registered office: 3. SH 12 OPANONI.

Phone numbers: Landline \_\_\_\_\_ Mobile 021 882286 ✓

Daytime \_\_\_\_\_ After hour's \_\_\_\_\_ Fax \_\_\_\_\_

Email Address \_\_\_\_\_ Website: \_\_\_\_\_

The following evidence of ownership is attached to this application:

Certificate of Title 6 months old or less  Agreement for Sale and Purchase.  Lease  Other document(s)

**Agent** (only required if application is being made on behalf of the owner)

Name of agent: [e.g. Mr, Mrs, Miss, Dr, if an individual] HANS MITT

Contact person: HANS

Mailing address: 645 c Waitemarama Gorge Rd.  
IRD 3 KAKOHE 0473

Street address / registered office: \_\_\_\_\_

Phone numbers: Landline 094054876 Mobile \_\_\_\_\_

Daytime \_\_\_\_\_ After hour's \_\_\_\_\_ Fax \_\_\_\_\_

Email Address hans.mitt@mcn.com Website: \_\_\_\_\_

Relationship to the Owner: [State details of the authorisation from the owner to make the application on the owner's behalf] Designer .

First point of contact for communications with the council: [State full name, mailing address, phone number /s Fax no., email address] HANS . ✓

JMB



## Application

I request that you issue a Certificate of Acceptance for the building work described in this application.

I hereby certify that, to the best of my knowledge, the information given in this application is true, complete and correct. I undertake to pay all actual and reasonable application costs incurred by the Far North District Council.

Signature of owner:

or

Agent on behalf of and with the authority of the owner:

*M. O'Halloran*  
(MIKE O'HALLORAN)

Date:

The Person / Organisation responsible for invoice payments for this consent:

Owner / Applicant

Agent

Other

## Building work

Description of the building work: Poles concreted, and roof trusses + framing erected, roofing installed.

Date building work carried out: 6/6/14

The personnel (tradesmen) who carried out the building work are as follows:

Builder Name	<u>G. N. CARTER BUILDERS</u>
Address	
Phone Number	<u>021 616 245.</u>
Registration Number	
Plumber Name	
Address	
Phone Number	
Registration Number	
Drain Layer Name	
Address	
Phone Number	
Registration Number	
Electrician Name	
Address	
Phone Number	
Registration Number	
Other _____	
Address	
Phone Number	
Registration Number	

*JWS*



Will the building work result in a change of use of the building? Yes

No

If yes, provide details of new use: \_\_\_\_\_

Intended life of the building if 50 years or less: 25 years

List building consents previously issued (if any): —

Estimated value of building work on which the building levy will be calculated (including goods and services tax): [State estimated value as defined in section 7 of the Building Act 2004] \$ 18,000

The following plans and specifications are attached to this application: \_\_\_\_\_

See Attached.

Reasons why a certificate of acceptance is required: \_\_\_\_\_

The owner, or the owner's predecessor in title, carried out building work for which a building consent was required, but a building consent was not obtained because: [explain in detail]

I WAS ADVISED BY THE REAL ESTATE AGENT WHO CONVEYANCED THE PURCHASE OF THE PROPERTY THAT HE WOULD OBTAIN THE BC AND FOR ME TO PROCEED WITH BUILDING, TAKING PHOTOS ON THE ADVICE OF THE MALCOLM STEVENSON, WHICH TURNED OUT TO BE NOT CORRECT.

A building consent could not practicably be obtained in advance because the building work had to be carried out urgently: [delete on of the following]

(a) ~~for the purpose of saving or protection life or health or preventing serious damage to property as follows: [explain in detail]~~

(b) ~~in order to ensure that a specified system was maintained in a safe condition or made safe as follows: [explain in detail]~~

The building consent authority that granted the building consent is unable or refuses to issue a code compliance certificate in relation to the building work, and no other building consent authority will agree to issue a code compliance certificate for the building work: [state details of name of building consent authority and building consent granted]



## Compliance Schedule

The specified systems for the building are new / being altered / added to / or removed during the course of the building work:

Type of System	New	Modified	Added	Removed
Cable car				
Automatic systems for fire suppression				
Electromagnetic doors or Automatic doors & windows				
Automatic emergency warnings or Manual emergency warnings				
Emergency lighting systems				
Escape route pressurisation systems				
Riser mains for use by fire service				
Any automatic back-flow prevention connected to potable water supply				
Lifts, escalators travelators or other systems for moving people or goods				
Mechanical ventilation or air conditioning systems				
Building maintenance units for providing access to buildings (internal or external)				
Laboratory fume cupboards				
Audio loops or other assistive listening systems				
Smoke control systems				
Emergency power systems				
Means of escape from fire				
Safety barriers				
Means of access and facilities for Disabled Persons				
Hand-held hose reels for fire fighting				
Signs required by the building Code				

There are no specified systems in the building

## Attachments

The following documents are attached to this application:

Project information memorandum:

Plans and specifications:

Certificates from personnel who carried out the building work:

Energy work certificate:

Building Manager

REVIEW DATE: 06/10/12

OBJECT ID: A1105410

*Slu*



# Application checklist

Please ensure that your application contains **TWO sets** of the following information applicable to this building work.

**For larger plans, an A3 set must be supplied - documents to be A4 size**

<p><b>Site Plan</b> - scale 1: 200 include the following:</p> <ul style="list-style-type: none"> <li>○ <i>Contours / datum</i></li> <li>○ <i>finished floor levels</i></li> <li>○ <i>drainage layout [new and existing]</i></li> <li>○ <i>location of water tanks and overflow</i></li> <li>○ <i>earthworks</i></li> <li>○ <i>retaining walls</i></li> <li>○ <i>distance to boundary [show 3 dimensions]</i></li> <li>○ <i>location of pool and pool fencing</i></li> </ul>	<p><b>Foundation plan</b> - scale: 1: 100 include:</p> <ul style="list-style-type: none"> <li>○ <i>footing dimensions</i></li> <li>○ <i>reinforcing size, type, placement</i></li> <li>○ <i>damp proof membrane</i></li> <li>○ <i>mesh type and size</i></li> <li>○ <i>control joint / saw cuts</i></li> <li>○ <i>supplementary steel location</i></li> <li>○ <i>slab thickness, concrete strength</i></li> <li>○ <i>point loads / thickenings</i></li> </ul>
<p><b>Subfloor Plan</b> - scale 1: 50 - include:</p> <ul style="list-style-type: none"> <li>○ <i>location of piles, joist, bearers</i></li> <li>○ <i>size, treatment, grade, spacing of members</i></li> <li>○ <i>bracing</i></li> <li>○ <i>solid blocking</i></li> <li>○ <i>joist layout</i></li> <li>○ <i>connection /capacity / type</i></li> </ul>	<p><b>Floor plans</b> for each level - scale: 1: 50 include:</p> <ul style="list-style-type: none"> <li>○ <i>location of each room</i></li> <li>○ <i>location of windows and doors</i></li> <li>○ <i>location of hot water cylinder</i></li> <li>○ <i>location of plumbing fixtures [sinks, pans]</i></li> <li>○ <i>lintel sizes</i></li> <li>○ <i>location of brace elements [type and size]</i></li> <li>○ <i>location of smoke detectors</i></li> <li>○ <i>location of solid fuel heating appliance</i></li> </ul>
<p><b>Exterior elevations</b> - scale 1: 100 include:</p> <ul style="list-style-type: none"> <li>○ <i>elevation of each affected face of the building</i></li> <li>○ <i>cut and fill</i></li> <li>○ <i>finished ground / finished floor level</i></li> <li>○ <i>size and openings of exterior joinery</i></li> <li>○ <i>roof type, pitch, eaves, gables</i></li> <li>○ <i>gutters, downpipes, vents</i></li> <li>○ <i>type of wall cladding [control joints]</i></li> </ul>	<p><b>Cross and long sections</b> - scale: 1: 50 include:</p> <ul style="list-style-type: none"> <li>○ <i>construction details</i></li> <li>○ <i>ground level, relative datum</i></li> <li>○ <i>finished floor level, steps in floors</i></li> <li>○ <i>floor to ceiling heights</i></li> <li>○ <i>window and door heights</i></li> <li>○ <i>framing size, treatment, grade</i></li> <li>○ <i>swimming pool fencing details</i></li> </ul>
<p><b>Construction details</b> - scale 1: 5 include:</p> <ul style="list-style-type: none"> <li>○ <i>flashing details / penetrations</i></li> <li>○ <i>interface between elements / materials</i></li> <li>○ <i>bottom plate / cladding overhang</i></li> <li>○ <i>soffit / parapet</i></li> <li>○ <i>barrier / exterior connections / stairs</i></li> <li>○ <i>tanking</i></li> <li>○ <i>fire separation / penetration</i></li> </ul>	<p><b>Truss / rafter plan</b> - scale: 1: 100 - include:</p> <ul style="list-style-type: none"> <li>○ <i>location of members</i></li> <li>○ <i>fixing details</i></li> <li>○ <i>bracing</i></li> <li>○ <i>point loads</i></li> <li>○ <i>lintels</i></li> </ul>
<p><b>Earthworks permits</b> <b>Vehicle crossing application</b></p>	<p><b>Risk matrix for Weathertightness</b></p> <ul style="list-style-type: none"> <li>○ <i>Provide one matrix for each face of the building</i></li> </ul>
<p><b>Site specific specifications</b> – identify:</p> <ul style="list-style-type: none"> <li>○ <i>technical work sections</i></li> <li>○ <i>schedule of materials and products</i></li> <li>○ <i>method of compliance</i></li> <li>○ <i>performance standards and expectations</i></li> </ul>	<p><b>Bracing schedule and calculation</b> <b>Structural Engineering Design details and calculations</b> <b>Design reports</b> <b>Producer Statements</b> <b>Energy Service Details</b></p> <ul style="list-style-type: none"> <li>○ <i>Ensure that this information is specific to the project</i></li> </ul>
<p><b>Plumbing and drainage layout</b> - include:</p> <ul style="list-style-type: none"> <li>○ <i>identify fixtures, waste and vent pipe sizes</i></li> <li>○ <i>fixings</i></li> <li>○ <i>materials</i></li> <li>○ <i>standards</i></li> <li>○ <i>potable water compliance</i></li> </ul>	<p><b>Effluent disposal</b> details to include:</p> <ul style="list-style-type: none"> <li>○ <i>application for sewer connection or TP 58 design with producer statement</i></li> <li>○ <i>tank location with set backs identified</i></li> <li>○ <i>location of disposal field</i></li> <li>○ <i>planting details</i></li> </ul>

Vetted: JHubingers

10/6/15

Building Manager

REVIEW DATE: 06/10/12

OBJECT ID: A1105410

CT attached to specifications - checked, current details correct.

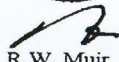




**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**



**Search Copy**

  
R. W. Muir  
Registrar-General  
of Land

**Identifier** NA104D/251  
**Land Registration District** North Auckland  
**Date Issued** 19 February 1996

**Prior References**  
NA64A/877

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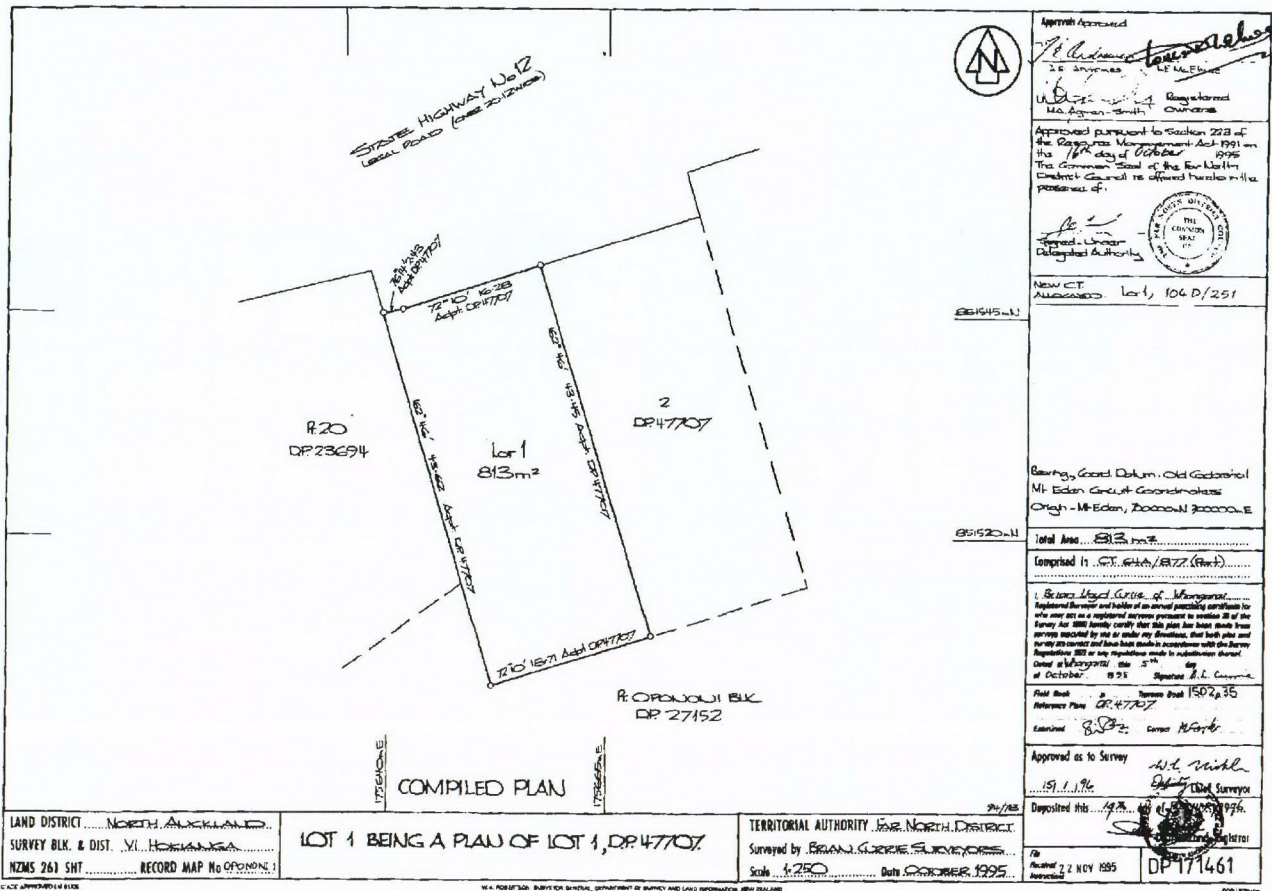
**Estate** Fee Simple  
**Area** 813 square metres more or less  
**Legal Description** Lot 1 Deposited Plan 171461

**Proprietors**  
Michael Anthony O'Halloran and De Bruin Trustees Limited

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**Interests**  
K73873 Building Line Restriction  
8047353.2 Mortgage to ANZ National Bank Limited - 29.1.2009 at 9:05 am





Approved As Surveyed  
*[Signature]*  
 26 August 1995  
 Registered  
 M.A. Agnew - South  
 Registered  
 C. M. E. E. E.  
 Approved pursuant to Section 222 of the Resource Management Act 1991 on the 16th day of October 1995. The Common Seal of the Northland District Council is affixed hereto in the presence of:  
*[Signature]*  
 Registered  
 Delegated Authority



New CT Assigned Lot 1, 104 D/251

85145-U

Bearing, Grid Datum Old Geodetic  
 Mt Eden Great Circle  
 Origin - Mt Eden, Downland 300000 E

85150-U

Total Area 813 m<sup>2</sup>

Comprised in 1/20th of 1/20th of 1/20th

I, *[Signature]*, Licensed Surveyor and holder of an annual practising certificate for who may act as a registered surveyor pursuant to section 22 of the Survey Act 1980 hereby certify that this plan has been made from correct and true surveying and that the bearings and distances are correct and have been made in accordance with the Survey Regulations 1982 or any regulations made in substitution thereof. Signed at Auckland on the 5th day of October 1995. Signature *[Signature]*

Field Book  
 Reference Plan DP 47707  
 Estimated 3.8% Correct North

Approved as to Survey  
*[Signature]*  
 19/1/96  
 Registered  
 Surveyors

Deposited this 19th day of February 1996  
*[Signature]*  
 Registered  
 Registrar

Received 7 NOV 1995  
 DP 171461





K 73873 BLR

10/14/74

Hokianga Harbour

Proc 6795R Formed metalled & lit

Notice No 1256

lot 1-0032 Lot 2-0037 Lot 3-10183

Building Line Restriction  
150 links from Northern side  
of road - NOTICE NO. 476

Possible Future Road  
Notice No 477

Building Line Restriction - 33 feet

See Notice No 476

Notice No 708

Future

middle line - Notice No 476

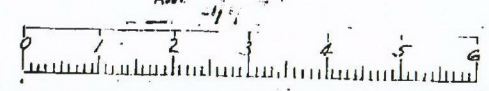
Possible

Building Line Restriction - 33 feet from

Diagram - Not to Scale

NORMAN JACOB GARDNER

to be dedicated Road(1) - 0 0 74  
Residential Lots (x1) - 0 1 240  
Balance (3) - 10 1 18 3  
Total Area - 10 3 09 7



Approved  
Registered Owner  
Approved  
Chief Surveyor

Town of Kaimatawi Ebn No 2

Proposed Subdivision of Part Opononi Bloch, Being Part Land on DP 27152  
Bloch VI Hokianga SD Hokianga County North Auckland I.D.  
Comprised in CT 1163/95

Prepared by KAPothen Registered Surveyor for AS, FAE, L & DY Andrewes  
Scale - 50 Links to an Inch Date - November 1956

I, KAPothen Registered Surveyor hereby certify that this schematic plan was prepared by me in accordance with the Land Subdivision Act and the regulations made thereunder.

Rev. 3rd 5.1  
L.M.A.I. 10/1/57  
Rev. 8.1.1957



73873

FILED IN THE DEPARTMENT  
1163 11/27/95

27<sup>th</sup> DAY OF November, 1959  
9:00 P.M.

*Malcolmson*  
[Faint text below signature]



Recorded on O.P. 27/52  
7k.

C.T.

1163/95

11500

BLR  
Chief Surveyor

9 of 1  
[unclear]  
12881





# COA TRACKING SHEET

## CONSENT N° - BC-2015-1211/0

**APPLICANT NAME:** Michael Anthony O'Halloran and de Bruin Trustees Limited **Date:** 10-Jun-2015

**PROJECT DESCRIPTION:** Poles Concreted, Roof Trusses and Framing Erected and Roofing Installed without Building Consent

**LEGAL DESCRIPTION:** LOT 1 DP 171461 BLK VI HOKIANGA SD, 3327795

**PROJECT LOCATION:** , 3 State Highway 12, Opononi 0473

### BUILDING ADMIN – CONSENT LODGED / MAINTAINED

	Tick or NA		Date or NA
Application Dimensions entered	✓	Email sent to HPT	—
Building Classifications entered	✓	Email sent to EHO	—
Miscellaneous Data entered	✓	Email sent to Utility Operator	—
Related Applications entered	✓	Email sent to NZFS	—
Related Licenses entered	✓	Site Inspection booked	✓
CT and all applicable Interests enclosed	✓	Property file received	✓
Address updated to Agent if applicable	✓		

COMMENTS:

**CHECKED BY:** Initials - *JUB* Signature - *JUBingers* **DATE -** 10/6/15

### PIM OFFICERS ASSESSMENT/ DP CHECK

RFI requested: 16/6/15	RFI Received: 25/6/15	RFI requested:	RFI Received:
PIM/Dp checklist completed	✓	Conditions / Other requirements identified over page	Tick or NA NA
2 sets of plans stamped and signed	✓	Form4 required & identified over page	NA

**ASSESSED BY:** Initials - *AC* Signature - *AC* **DATE -** 25/6/15

### BUILDING OFFICERS ASSESSMENT

RFI requested: ✓ 2.7.15	RFI Received: 29.9.15	RFI requested: —	RFI Received: —
Building checklist(s) completed	✓	Refer Conditions on building officers assessment sheet	Tick or NA N/A
2 sets of plans stamped and signed	✓		

**GRANTED BY:** Initials - *IH* Signature - *AHiggs* **DATE -** 13.10.15.

### BUILDING ADMIN – COA ISSUED

	Tick or NA		Tick or NA
Check all sections of tracking sheet signed off	✓	Collate and tidy up documents for filing/scanning	✓
Ensure 2 sets of plans stamped and signed by PIM/BO	✓	Remove any unnecessary popup memos	✓
Generate invoice for any additional fees, processing time	✓	Check the documents!!!	✓
Complete Misc Data screen	✓	Notify Swimming Pool Register	NA
Attach copy of PIM, conditions etc to BC if applicable	✓	Notify BWOFF / Compliance Schedule required	25

**ISSUED BY:** Initials - *KLM* Signature - *KLM* **DATE -** 13.10.15

No. of Prepaid Inspections	0
Additional Inspections	
Total Inspections	2

Pathway Hours	
Additional Chargeable hours	
Additional Charges approved	



## CONDITIONS FOR BC-2015-1211/0

### PIM / District Plan Conditions / Other Requirements

#### Condition of Form4:

- Not yet applied for**  
No works to commence until Resource Consent/Earthworks permit has been applied for and granted by Council.
- Lodged – but not granted yet**  
No works to commence until RC \_\_\_\_\_ lodged \_\_\_\_\_ has been granted by Council.
- Granted**  
Works to comply with all conditions of RC \_\_\_\_\_ granted by Council on \_\_\_\_\_.

### Building Conditions / Important and Imperative Information

- REFER CONDITIONS ON BUILDING OFFICERS ASSESSMENT SHEET

# PIM / DP ASSESSMENT FOR BC-2015-1211/0

**1 District Plan Zone:** Residential

<b>2 Resources:</b>					
Outstanding Natural Feature	/	Site of Significance to Maori	/	Drains in Kaitaia/Awanui (Drainage bylaw)	/
Outstanding Landscape Feature	/	Heritage Precinct	/	Bush/Pine trees (fire risk 12.4.6.1.2)	/
Outstanding Landscape	/	Kerikeri Visual Buffer (12.5A.6.3.3)	/	Services (Any sewer, stormwater or water lines?)	Wastewater water supply stormwater
Notable Trees	/	Designation	/	Landcover (Hail site - orchard use subject to contam soil regs)	/
Recorded Archaeological Site (notify HPT if <100m)	/	Airport Zone (15.2.5.1.2)	/	Setback from Water (Chap 12)	47m stated ✓
Reg Arch Site	/	NRC Flooding (discharge consent)	/		
Historic Site	/	Hazards (other)	/		
Historic Places Trust	/	Coastal Hazard Rangiputa, Whatuwhiwhi, Tokerau, Aurere, Taipa, Coopers B, Hiji, Ahipara, Oponeri, Omapere	Clear as per map CH15		

**3 Certificate of Title:**

Certificate of Title #: NA1040/251 Area: 813m<sup>2</sup> ✓

Lot: 1 DP: 171461 ✓

Consent Notices: (Condition/Other Requirements of PIM)

**Building Line Restrictions:** ~~at 0.5m~~ across with Wayne 2 BLPs one along the bottom. clearance appears clear ✓

**Transit NZ Gazette Notice:** (section 91 following this authorises crossing - otherwise Transit approval req for new activity)

**Easements:**

**Other:**

**Cross Lease:** (advise they may need cross lease neighbour consent + legal advice + update flats plan - ref std condition)

**Covenants:** (advise private covenants not enforced by Council but may affect BC - ref std condition)



4 Zone Rules: (DP)			
Rule:	Requirement:	Proposed:	Decision:
Residential Intensity			N/A
Visual Amenity:			<del>_____</del>
Sunlight:	2m+ 45 deg		appears to comply
Setback	3m road 1.2m side	5m sketched	OK
Height:	8m	Scale rule approx 45m	OK
Impermeable Surface:	SW management 50%	Imp Surf Req:    % of site area    =    m2 (max) Exist            + Proposed            =    m2 (actual) (Actual)            x 100 =            % (Area)	38.5% stated OK
Traffic Intensity:			Exempt
Scale of Activity:			exempt
Noise:			Assume OK
Other:	Building coverage 45%	< 38.5% stated	OK
Other:			
Notes:			



5 District Wide Issues (DP), Bylaws and NRC			
	Requirement:	Proposed:	Decision:
Earthworks RC requirement	Volume: < m3		
	Cut/fill: >1.5m Eng retain wall: >3m		
EWP requirement (Bylaw)	Volume: >50m3	6m <sup>3</sup> stated	
	Within 3m from boundary	>3m from boundary	
	>500mm in Depth	Assume on	
NRC Ewks Permit (NRC)	If volume > 5000m3 (large projects)		
Parking: (Loading Bays):			existing
Access: (Chp 15)			existing
Setback – Water: (Chp 12)		4.7m Stated	OK ✓
Signage: (Chp 16)			
Hazardous substs (petrol stn 12.8)			
Setback – Services (Bylaw)			
NRC requirements (Bridges/Damns)			
NES contaminated soils (HAIL site)			
Other			
Notes:			
6 TP58			
TP58	• Approved TP58 Writer?		
	• No. bedrooms on plan vs TP58		
	• Occupancy corresponds with bdms		
	• Setback from water (DP vs TP58)		
	• 15/20m setback from kerb & channel, open sw drain/channel		
	• If NRC floodzone discharge consent		
	Primary system		
	• 20m setback water		
	• 100% reserve		
	• Land slope < 25% 14° 1 in 4 (if greater slope then Disch consent)		
• Grd water sep 1.2m			
Secondary system			
• 15m setback water			
• 30 % reserve			
• Land slope , 6% 3.5° 1 in 17 (if greater slope then subsurface drippers)			
• Ground water sep 0.6m			
Notes:			

appears clear of and cover the shown check at edge of sub

water supply

ne/sram

NA



7	Rules Exceeded – if applicable			
	None			
8	Type of Activity under Resource Management Act 1991			
	Permitted			
9	Any Resource Consents relevant to this application			
		Is RC required	Y	<input checked="" type="radio"/> N
		Is EWP required	Y	<input checked="" type="radio"/> N
		Other		
10	Other Licenses/Approvals that may be required			
	Licence to Occupy (building within Council Road Reserve)		Y	<input checked="" type="radio"/> N
	Historic Places Trust (building work within 100m of arch site)		Y	<input checked="" type="radio"/> N
	Notes:			
11	Site Inspection			
	Site Inspection Sheet attached		<input checked="" type="radio"/> Y	<input type="radio"/> N
	Topography		Mahirade	
	Wind	EH	<input checked="" type="radio"/> VH	H M
	Sea Spray Zone		<input checked="" type="radio"/> Y	<input type="radio"/> N
	Engineering required? (Note on PIM) <i>show compliance with N2BC</i>		<input checked="" type="radio"/> Y	<input type="radio"/> N
	Is Certificate of Public Use required?(School, Police station, library – public buildings)		Y	<input checked="" type="radio"/> N
	Is Section 72 required? Hazard identified – engineering/geotech assessment required?		Y	<input checked="" type="radio"/> N
	Is Section 75 (Titles held together) Certificate required?		Y	<input checked="" type="radio"/> N
	Notes:			



**ATTACHMENTS TO BE SENT OUT WITH PIM/DP DOCUMENT:**

Required	
	RED Attachment clearly indicating that this is a PIM only, <b>NOT</b> a Building Consent
	PIM Invoice / Receipt
	<p><b>Conditions for PIM (Other Requirements)</b></p> <ul style="list-style-type: none"> <li>• Consent Notices (relevant)</li> <li>• HPT/ADP</li> <li>• Relocate standard condition</li> <li>• CPU standard condition</li> <li>• Sec 72/75 standard condition</li> <li>• Survey required to confirm height/sunlight compliance</li> <li>• Cross lease advice note</li> <li>• Setback from services</li> <li>• Sleepout not to be used as a sep res unit</li> <li>• Health licence required (<i>dairy, takeaway, café, tavern, camping ground, meat/fish/poultry/seafood packaging/processing, delicatessen, fruit and vege, mortuaries, septic tank cleaner, hairdresser, sports facility, RSA etc</i>)</li> <li>• RC conditions/Advice notes</li> <li>• Other</li> </ul>
	(Form4) Retrospective Resource Consent – Resource Consent and Conditions
	(Form4) Retrospective Earthworks Permit (breaches Bylaw) Application Form
	(Form4) Retrospective Discharge Consent – breaches NRC Water and Soil plan
	GIS Map (showing zone, hazards, services, HPT if applicable)
	Development Contribution Notice
	Vehicle Crossing Permit AND Standard Condition
	Rapid Number Application Form AND Standard Condition
	Certificate of Public Use AND Standard Condition
	Section 75 Notification Letter (Amalgamation of Titles) AND Invoice ( <i>must be signed, returned and paid prior to issue of PIM/BC</i> )
	Section 72 Notification Letter (Hazards) AND Invoice
	Copy of CT- if customer paid
	Licence to Occupy

*Not required as address is already numbered as number 3.*

**COMMENTS:**

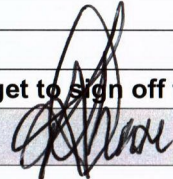
*OK to issue of check as appears to comply with all the rules*

\*\*\*\* Don't forget to sign off front of tracking sheet \*\*\*\*

ASSESSED BY: Initials -

*AE*

Signature -



DATE -

*25/6/15*



Date	1.7.15			Consent no.	2015-1211
Residential	1	2	3	Building Officer	Fred Higginson

Key: A- Approved N = Not approved N/A = Not applicable

Please note National multi use and the Approved /Simple design solutions are only processed for district plan requirements foundations, OSD and correctness to the DBH approval.

Item checked				Check building application form 2 for the following
Project value checked	A	N	N/A	Square meter rate \$290 m <sup>2</sup>
Quality of Documents	A	N	N/A	A3 plans A4 specs A3 and A4 provided.
Description of work	A	N	N/A	Fit for purpose and correct Open roofed building.
Site inspection	A	N	N/A	referenced Rod Spooner
<b>PIM issues</b>				<b>Has the Pim been issued and are there any considerations needed in the building processing</b>
Section 72 (hazards)	A	N	N/A	
Section 75 (2 lots)	A	N	N/A	
Wind and corrosion zones	A	N	N/A	determine fixings UH / sea spray zone
<b>Restricted Building Work (comes into effect 1<sup>st</sup> March 2012)</b>				<b>Check building application form 2a for the following</b>
				<b>CoW</b>
RBW indentified	A	N	N/A	Primary structure External moisture management systems Fire safety systems
LBP licensed in area of Design.	A	N	N/A	DBH register checked Known designer
Form 2a (CoW) site specific and filled out correctly	A	N	N/A	Code references, Plan and specs nominated, Carried out or supervised
Form 2b Site specific and filled out correctly	A	N	N/A	statutory declaration as to owner builder status
Trade LBP's nominated for all associated building work	A	N	N/A	Condition required that no building work can be started till the LBP's are recorded - Note on Tracking Sheet.
<b>Site plan</b>				<b>Check building application form 2 for the following</b>
Scale appropriate	A	N	N/A	On page title.
Datum / contours	A	N	N/A	Site plan / moderate
Finished floor level	A	N	N/A	Protected and unprotected levels
Sitting dimensions	A	N	N/A	Distance from boundary 4 Provided
Buildings closer than 1.0m to boundary	A	N	N/A	Check FRR & Eaves closer than 670mm to boundary
Retaining walls	A	N	N/A	Live or dead load
Drainage shown	A	N	N/A	distance to foundation/structure angle of inference Stormwater revised now.



Footings / Foundation – concrete B1,B2,C4,E1,E2,E3,G10,G12,G13,H1				
Specific design PS1	A	N	N/A	
Footings	A	N	N/A	depth / width
Reinforcing	A	N	N/A	steel size, type
Concrete strength	A	N	N/A	Strength to be used 17.5 or 20 or 25 mpa
Point loads	A	N	N/A	
Columns and posts	A	N	N/A	depth / size
Stepped foundation	A	N	N/A	sloping sites
Foundation – timber design B1,B2,C4,E1,E2,E3,G10,G12,G13,H1				
Specific design PS1	A	N	N/A	
Pile plan set out <i>Pile</i>	A	N	N/A	<i>This is Dropsteel Sheet 3.</i>
Ordinary piles	A	N	N/A	Depth, size, punch pad, connections?
Anchor piles	A	N	N/A	Depth, size, punch pad, connections?
Braced piles	A	N	N/A	Depth, size, punch pad, connections?
Driven piles (NZS3604 / specific design)	A	N	N/A	Driven pile certificate required
Ground clearance	A	N	N/A	DPC and cross flow necessary <300mm
Columns and posts	A	N	N/A	depth / size, treatment, cut-outs <i>600φ x 1400d 225 SED H5</i>
Slabs – standard B1,B2,C4,E1,E2,E3,G10,G12,G13,H1				
Specific design	A	N	N/A	
Granular fill	A	N	N/A	certificate required if >600mm
Sand binding and DPM	A	N	N/A	25mm sand and DPM membrane 0.25 micron min
Finished floor level	A	N	N/A	Protected and unprotected levels
Pads / thickenings	A	N	N/A	Nominated on plans
Drainage pipes	A	N	N/A	Floor thickenings
Slab thickness	A	N	N/A	
Saw-cuts	A	N	N/A	3.0m or 4.0m or 6.0m
Mesh – 668	A	N	N/A	12m maximum
Mesh – 665	A	N	N/A	24m maximum
Free joints	A	N	N/A	>24m
Supplementary steel	A	N	N/A	internal corners



Subfloor B1,B2, C4,D1,E1,E2,E3,G10,G12,G13,H1					
Timber treatment	A	N	N/A		showing type and level of treatment
Bearers	A	N	N/A		Size, centres, span, fixing
Joist	A	N	N/A		Size, centres, span
Bracing layout and calculations	A	N	N/A		(location, type spread etc)
Framing – wall B1,B2,C1-4,E1,E2,G10,G12,G13,H1					
Timber treatment	A	N	N/A		type and level of treatment
Bottom and top plate	A	N	N/A		treatment, size, fixing details
Stud / post (size, height, c/s)	A	N	N/A		Compatible for cladding specs
Lintel (size / shown on plans)	A	N	N/A		
Lintel (point load)	A	N	N/A		Engineer design required
Engineered beams (size / fixing)	A	N	N/A		Engineer design required
Cantilevered lintels (construction details provided)	A	N	N/A		Engineer design required
Ceiling battens	A	N	N/A		type / size / centres
Wall / ceiling linings	A	N	N/A		wet / dry areas
Building wrap	A	N	N/A		type / compatibility
Wind barrier (rigid / non-rigid)	A	N	N/A		
Cavity battens	A	N	N/A		(size / type / treatment / fixing, 20mm, vermin proof)
Bracing units	A	N	N/A		type, limitations, openings, size, dragon ties
Mid-floor framing B1,B2,C4,E1,E2,E3,G10,G12,G13,H1					
Layout for each level (joist size, c/s, blocking)	A	N	N/A		
Engineer designed beams	A	N	N/A		Engineer design required
Framing – roof B1,B2,C4,E1,E2,E3,G10,G12,G13,H1					
Ceiling joists (size / centres / span)	A	N	N/A		
Rafter (size / centres / span)	A	N	N/A		
Truss design PS1 (layout / type)	A	N	N/A		PS1 from manufacturer <i>MiTek H1.2</i>
Bracing	A	N	N/A		type / fixings <i>53x.91 Mult. brace x 2 in each endbay</i>
Roofing underlay	A	N	N/A		type / compatibility <i>Thermacraft watergate.</i>
Under purlin	A	N	N/A		size / shown on plan



Purlin	<input checked="" type="radio"/> A	<input type="radio"/> N	<input type="radio"/> N/A	Tile, batten, size, fixing, span, c/s <i>240x45 SGB H1.2</i>
Eaves	<input checked="" type="radio"/> A	<input type="radio"/> N	<input type="radio"/> N/A	width specified
Outriggers	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	
Veranda Beams	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	
<b>Cladding - wall B1,B2,C4,E1,E2,E3, F1,F2,F3,F4,G4,G5,G6,G7,G8,G10,G12,G13,H1</b>				
Type specify type	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	(Note: If this is an alternative solution of consequence)
Spec's maintenance installation	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	
Bottom edge clearances ground ,decks, walls	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	Protected and unprotected level identified
E2 risk matrix provided / required	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	
Flashing, air-seals Windows, doors, corners	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	
Flashing details Apron, barge, intersection junction	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	Kick-out, birds beak folded edges, degree ,size
Control joints details shown on plans	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	Check against Manufacturers details
<b>Cladding – roof B1,B2,C1-4,E1,E2,G12,G13,H1</b>				
Type (specify type/s)	<input checked="" type="radio"/> A	<input type="radio"/> N	<input type="radio"/> N/A	<i>Custom orb / color steel</i>
Minimum roof pitch	<input checked="" type="radio"/> A	<input type="radio"/> N	<input type="radio"/> N/A	<i>15°</i>
Specifications	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	maintenance/ installation
Substrate	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	suitable for cladding
Roof penetrations	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	junction flashings detailed
Internal gutter	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	size/capacity/ timber treatment
<b>Decks / balconies / stairs B1,B2, C1-4,E1,E2,E3, D1,G1, G3,G4,G7,G10,G11,G12,G13,G14,F2,F4,H1</b>				
Timber treatment	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	
Finished floor level	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	clearances / air-gap
Stringer connection	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	Fixings and separation
Floor joists	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	size / c/s / cantilever
Waste / overflow	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	if internal
Saddle flashings	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	construction details
Decking	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	material / membrane
Barriers	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	Handrails and landings
Tread and Riser	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	Dimensions and Slip resistance
Bracing calculations	<input type="radio"/> A	<input type="radio"/> N	<input checked="" type="radio"/> N/A	>2.0m wide



**Plumbing and Drainage On-site disposal and other Waste Water B1,B2,E1, G13,G14 , TP58**

Septic tank	Effluent design	A	N	N/A	
	Type	A	N	N/A	
	Size	A	N	N/A	
	Location plan	A	N	N/A	
Stormwater soakage (Design / details provided)		A	N	N/A	Revised on site plan to existing.
Backflow Pools, spa baths, etc)		A	N	N/A	
D/P	Size	A	N	N/A	80ø Dp 2 provided.
	Number	A	N	N/A	
	Location	A	N	N/A	
Cess-pits provision for at split floors / retaining walls		A	N	N/A	

**Plumbing sanitary B1,B2,G12, G13,G14,E2, F2**

Diagrammatical or schematic layout		A	N	N/A	
System		A	N	N/A	G13      ASNZ3500.2      Other
Individual waste pipes	Discharge units	A	N	N/A	
	Length	A	N	N/A	
	Pipe size	A	N	N/A	
	Gradient	A	N	N/A	
	Fixings	A	N	N/A	
	Venting	A	N	N/A	
Soil waste & overflow stacks	Discharge units	A	N	N/A	
	Pipe sizes	A	N	N/A	
	Gradients	A	N	N/A	
	Venting	A	N	N/A	
	Fixings	A	N	N/A	
	Expansion joints	A	N	N/A	
Gully traps / org		A	N	N/A	

**Producer Statement PS1, PS2 (Note there may be more than one)**

Design specific to project	A	N	N/A	
Design within the authors competence	A	N	N/A	CP Eng
Building code clauses	A	N	N/A	State code clauses BT NZS 1120 NZS 3603.
Compliance document / Alternative solution used	A	N	N/A	Note: If this is an alternative solution of consequence
Building work covered by this statement all / part only	A	N	N/A	Stamped plans and or Calculations provided Excludes truss. design
Level of supervision required by Engineer	A	N	N/A	PS4 CM1-5and or PS3 from contractor
Insurance cover appropriate on statement	A	N	N/A	200,000



Conditions Required on Building Consent				
Section 67	Y	N	N/A	Waivers and Mods
Section 72	Y	N	N/A	Natural Hazards
Section 75	Y	N	N/A	Two or more allotments
Section 90	Y	N	N/A	Inspection checklist filled in for project and completed
Section 113	Y	N	N/A	Specified intended life Only for projects under the 50yrs

**Important Imperative Information to be added to Building Consent**  
 PS3, PS4, survey certification, notes for the inspector/ builder (If new building CCC applicable or older building Condition assessment report provided ..... Note any recommendations or quality of report.....)

~~#3 condition required on EA~~  
 25 years life stated on Form 8.

Restricted Building Works	
<input checked="" type="checkbox"/>	LBP info supplied (admin to add appropriate condition)
<input checked="" type="checkbox"/>	LBP info <b>NOT</b> supplied (admin to add appropriate condition)

**The Certificate of Design Work supplied with this consent has identified Restricted Building Works for the following:**

Primary structure (carpenter, brick and blocklayer, foundation specialist)	External moisture management systems (carpenter, external plasterer, roofer)	Fire safety systems
<input checked="" type="checkbox"/> Foundations and subfloor framing <input checked="" type="checkbox"/> Walls <input checked="" type="checkbox"/> Roof <input checked="" type="checkbox"/> Column and Beams <input checked="" type="checkbox"/> Bracing <input checked="" type="checkbox"/> Other	<input checked="" type="checkbox"/> Damp Proofing <input checked="" type="checkbox"/> Roof cladding or roof cladding system <input checked="" type="checkbox"/> Ventilation system <input checked="" type="checkbox"/> Wall cladding or wall cladding system <input checked="" type="checkbox"/> Waterproofing <input checked="" type="checkbox"/> Other	<input checked="" type="checkbox"/> Other



Date / Time	Type	Officer's initials	Summary of dialogue, requests for information, etc

**Decision:**

<p><b>Request Further Information</b></p>	<p>Name: Fred Higginson</p>	<p>Signature: <i>F Higginson</i></p>	<p>Date: 2.7.15</p>
<p><b>Granted<sup>1</sup></b>      <b>Refused</b> (Circle decision)</p>	<p>Fred Higginson</p>	<p><i>F Higginson</i></p>	<p>Date: 13.10.15</p>

<sup>1</sup> I am satisfied on reasonable grounds that building application, plans and specifications have shown compliance with the New Zealand Building Code.

### CERTIFICATE OF ACCEPTANCE CHECKLIST

<b>Address</b>	3 State Highway 12, Opononi 0473								
<b>Date</b>	1.7.15		<b>Consent number</b>		BC-2015-1211/0	<b>Processed by:</b>		Fred Higginson	
<b>Building Cat.</b>	1	2		3		<b>Comp. level</b>	S	C	T
<b>Wind zone</b>	L	M	H	VH	SD	<b>Corrosion</b>	Zone 1	Seaspray	

**Instructions:**

1. Use this checklist to detail the information present in the application.
1. It may be necessary to complete the required **T19** processing sheet for this application.
2. If it is considered that the information supplied is sufficient to Grant a C.O.A., and a T 19 is or is not completed, then sign and date the approval on the bottom of this form along with the reasons why and limitations.
3. **Comments** should be completed as they help show **decision** making process.
- 4.

REQUIREMENT	YES	NO	COMMENT
Proof of ownership supplied	✓		CT
Legal description Lot, Deposited Plan, Block	✓		
Form 3 – project information memorandum if applicable development contribution notice			
Form 4 –project information memorandum if applicable Resource Management Act restrictions			
Heritage site/building	✓		
Site Visit conducted by council inspector	✓		
Power lines			
Flooding			
Sewer connections/ TP 58 State what is applicable			
Storm water connections			
Floor area m <sup>2</sup>	✓		62m <sup>2</sup>
Current lawfully established use Number of occupants per use and per level			
Does application involve a change of use? If yes, provide details			
Vehicle crossing application required			
Full description of project Sufficient info to identify scope of work	✓		Open roofed building.
Date building work carried out	✓		6.6.14.
Specified intended life of building If less than 50 years this must be identified	✓		25 years.
Project value checked	✓		18,000

ATTACHMENTS	YES	NO	COMMENT
List of and if possible Certificates from personnel who	✓		Refer Form 8.



carried out the work	✓		
Energy work certificates		1	
Building report	✓		
Other Producer statements or Engineers Reports	✓		PSI
Other Specifications	✓		
<b>Plans</b>	✓		
Site	✓		
Foundation	✓		
Floor framing – required for each level		1	
Slab			
Floor plan – <del>required for each level</del>	✓		
Elevations	✓		
Energy source			
Wall bracing calculations (each level)		1	
E2 Risk analysis (each face of building)			
List of certified products used			
Engineering calculations and plans	✓		
Sectional drawings	✓		
Timber framing and treatment levels	✓		
Waivers or modifications			
Swimming pool Details			
Backflow			
Fire evacuation plan			
Plan for access and facilities for people with Disabilities			
Application - compliance schedule			
Application – amendments to compliance schedule			
<b>Council generated information / inspection records / processing sheets</b>			
Site Inspection Notes – council inspector	✓		Rob Spooner
Building inspection Notes – council inspector	✓		Fred Higginson
Appropriate checklist for building project (T 19)	✓		
Other information - council		1	

**Means of compliance with Building Code :**

In order to satisfy this, use the appropriate T19 processing sheet to supplement the processing, and make the DECISION for GRANTING OR REFUSING the issue of the C.O.A.

**State why a C.O.A should be issued.**

Note: you should state the details and reasons why this building work described in the attached complies with the building code,

The clauses covered by this COA satisfy the provisions of the building code.



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and that the certificate is to be limited/qualified as follows: (this will appear on the actual C.O.A.)

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<input checked="" type="radio"/> Granted <input type="radio"/> Refused		I am satisfied on reasonable grounds that this application, plans and specifications have shown compliance with the Building Code, and that the COA should be issued to the qualifications as stated above.	
Checked by:	Fred Higginson	Date	13.10.15
Reviewed by:		Date	



2015-1211

9.10.15

Sporting and remedial work to be carried out with BC 2015-1225.





2015-12-11 9.10.15  
Multi brace at each end.





2015-12-11

9.10.15.

2/M16 bolts to truss/pole connection



225 SED poles.



1/M12 bolt to bearing beam







# Far North District Council

16 June 2015

Michael Anthony O'Halloran and de Bruin Trustees Limited  
C/- Hans Mitt  
645C Waitemarama Gorge Road  
RD 3  
Kaikohe 0473

Private Bag 752, Memorial Ave  
Kaikohe 0440, New Zealand  
Freephone: 0800 920 029  
Phone: (09) 401 5200  
Fax: (09) 401 2137  
Email: ask.us@fndc.govt.nz  
Website: www.fndc.govt.nz

*Te Kaunihera o Tai Tokerau Ki Te Raki*

*The top place where nothing  
is too far north and west*

**Reference Number:** BC-2015-1211/0  
**Property Address:** 3 State Highway 12, Opononi 0473  
**PID #** 3327795  
**Description:** Poles Concreted, Roof Trusses and Framing Erected and Roofing Installed without Building Consent

Dear Sir / Madam,  
**Request for Further Information**

Thank you for lodging your application with the Far North District Council.

Processing of your application has highlighted the need for further information to be provided to enable the process of issuing your consent to continue. The time period for processing your application has been suspended under Section 33 of The Building Act 2004, however this will be resumed as soon as **ALL** the requested information is received and deemed complete by the processing officer. Information must be provided within **20 working days** of date of this request; if information is not provided in full, the application for consent may be refused. If you are unable to respond within 20 working days, please contact the Building Team and arrange an agreed time frame.

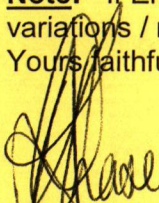
### Planning Aspect

1. ✓ Please provide a Certificate of Title and all its attached documents, that is 6 months old or less.
2. ✓ Please show on the Site Plan where the stormwater line is. (refer attached map)
3. ✓ Please state the setback of the building from the sea
4. ✓ Please detail the impermeable surfaces calculations

To ensure that processing time is kept to a minimum, please collate all the above requested information and submit 2 copies to Council using your reference number BC-2015-1211/0.

**Note:** If Engineer certified plans are required, please ensure any changes / variations / modifications are endorsed and are A3 size.

Yours faithfully,

  
Arona Chase  
PIM Officer  
**District Services**



## Aroha Chase

---

**From:** HANS MITT <hans\_mitt@msn.com>  
**Sent:** Wednesday, 24 June 2015 5:33 p.m.  
**To:** Aroha Chase  
**Subject:** RE: BC2015~1225  
**Attachments:** O Hallaran Revised Site Plan 24 06 201524062015.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Aroha,

Revised site plan attached to adress Rfi issues , CT/BLR sent earlier .

Regards

Hans Mitt

> From: [Aroha.Chase@fndc.govt.nz](mailto:Aroha.Chase@fndc.govt.nz)  
> To: [hans\\_mitt@msn.com](mailto:hans_mitt@msn.com)  
> Subject: FW: BC2015~1225  
> Date: Mon, 22 Jun 2015 23:42:09 +0000  
>  
> Hi Hans,  
>  
> Jasmine has sent through the plans that you asked for.  
>  
> Attached is the request for further information regarding the BC. It is similar to the COA.- Original sent in post today.  
>  
> Regards

>  
> Aroha Chase  
> PIM Officer  
> District Services  
> Ph. 09 401 5200 or 0800 920 029  
>  
>  
>  
>  
> \_\_\_\_\_  
>

> Get it done online at your convenience, visit our website - [www.fndc.govt.nz](http://www.fndc.govt.nz)  
> -----

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> -----

> Far North District Council | Te Kaunihera o Tai Tokerau Ki Te Raki

> Ph. 09 401 5200 | Fax. 09 401 2137 | Email. [ask.us@fndc.govt.nz](mailto:ask.us@fndc.govt.nz)

> Address. Memorial Avenue, Private Bag 752, Kaikohe 0440, New Zealand

>

> Please consider the environment before printing this email.

>



## Aroha Chase

---

**From:** HANS MITT <hans\_mitt@msn.com>  
**Sent:** Tuesday, 23 June 2015 5:43 p.m.  
**To:** Aroha Chase  
**Subject:** FW: Opononi Section, 3 sh 12  
**Attachments:** SKM\_C454e15062316570.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

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**From:** [dave@hammondslaw.co.nz](mailto:dave@hammondslaw.co.nz)  
**To:** [hans\\_mitt@msn.com](mailto:hans_mitt@msn.com)  
**Subject:** RE: Opononi Section  
**Date:** Tue, 23 Jun 2015 04:51:35 +0000

Attached is a copy of the Certificate of Title and a copy of the Building Line Restriction.

Kind regards,

Donnis Tilly  
PA to D B Dennis

**HAMMONDS | LAW**

Phone 09 439 7099 | Fax 09 439 6464

P O Box 16, Dargaville 0340 | [www.hammondslaw.co.nz](http://www.hammondslaw.co.nz)

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**From:** HANS MITT [[mailto:hans\\_mitt@msn.com](mailto:hans_mitt@msn.com)]  
**Sent:** Tuesday, 23 June 2015 2:40 p.m.  
**To:** Dave Dennis  
**Subject:** RE: Opononi Section

Hi Dave,

Just replying on behalf of Mike and Debbie re their COA/BC application at Opononi .

The FNDc have come back and asked for a copy of the CT and these BLR certificates which show the the dates of issue from LINZ , I wonder whether you still have anything on file please that would suffice to send to the Council?



Regards

Hans Mitt

Architectural Design

094054876

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From: [dave@hammondslaw.co.nz](mailto:dave@hammondslaw.co.nz)  
To: [debra.hill@northlanddhdhb.org.nz](mailto:debra.hill@northlanddhdhb.org.nz)  
CC: [hans\\_mitt@msn.com](mailto:hans_mitt@msn.com)  
Subject: Opononi Section  
Date: Tue, 24 Feb 2015 00:35:19 +0000  
Hi Debbie

I am copying Hans Mitt into this email. I am not sure why our prior email forwarding a copy of the Title did not go through to him.

Hans is correct that there is a Building Line Restriction on the Title. I **attach** a copy of the Building Line Restriction. It is made up of a Survey Plan only. It is hard to read, but it appears that there is Building Line Restriction which restricts any building 150 links from the northern side of the road which is adjacent to the harbour. 150 links is 30.1752 metres. Due to the poor quality of the plan it is difficult to tell where that starts and finishes.

That Building Line Restriction may not affect this property, but there is potential Building Line Restriction across the back of the property as well, which restriction is only 33 feet from a potential future road across the back of the property. As the Building Line Restriction Plan pre-dates the most recent Survey Plan, i.e. 1956 compared to 1995, it is pretty well impossible to determine from this Plan, where and how the section is affected. I would suggest that it may be necessary for some investigation to be undertaken with the local authority.

Kind regards,  
Dave Dennis

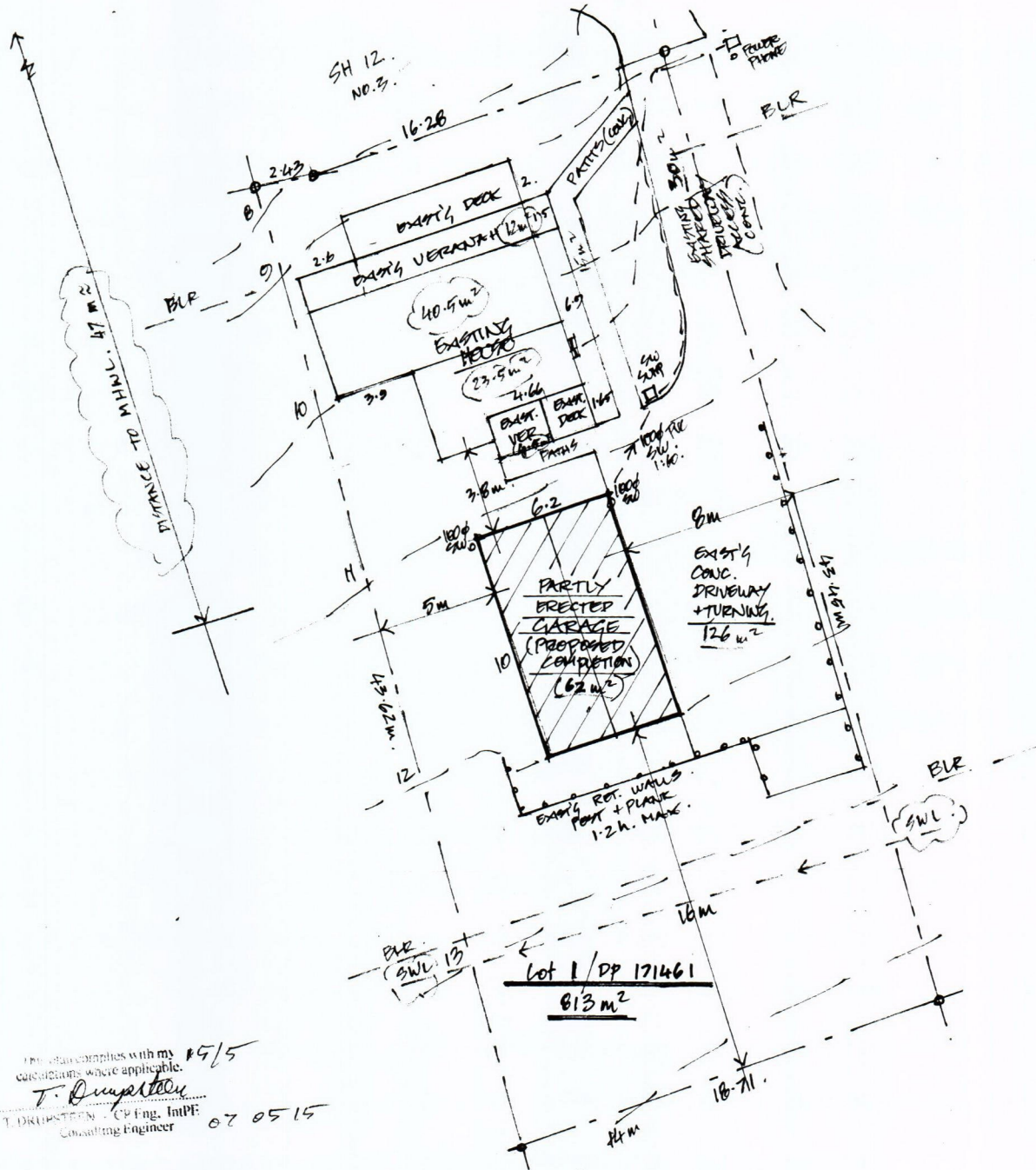
**HAMMONDS | LAW**

Phone 09 439 7099 | Fax 09 439 6464

P O Box 16, Dargaville 0340 | [www.hammondslaw.co.nz](http://www.hammondslaw.co.nz)

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NOTES:

- ZONE: RESIDENTIAL
- WIND: V. HIGH
- SOIL: CLAY
- EXISTS: 6m<sup>3</sup>
- IMP. SURF: 38.5%
- CONTOURS: 1m INT. ABOVE H.S.L.

BUILDINGS:

- ENCLOSURE = 140.5
- 23.5
- 62
- VERANDA = 16.5
- PAVING = 126
- 15
- 30
- 313.5

19/5  
 T. Drumpton  
 T. DRUMPTON - CP Eng. IntPE  
 Consulting Engineer 07 05 15

**O'HALLORAN - PROPOSED GARAGE (PARTLY ERECTED)**  
**SITE PLAN 1:200 (A3) Sheet 1 of 6**  
**HM SIGN Rev. 25/4/15 20/2/15**  
 " 24/6/15.





2 July 2015

*Te Kaunihera o Tai Tokerau Ki Te Raki*

*the top place where talent  
wants to live, work and invest*

Michael Anthony O'Halloran and de Bruin Trustees Limited  
C/- Hans Mitt  
645C Waiotemarama Gorge Road  
RD 3  
Kaikohe 0473

<b>Reference Number:</b>	BC-2015-1211/0
<b>Property Address:</b>	3 State Highway 12, Opononi 0473
<b>PID #</b>	3327795
<b>Description:</b>	Poles Concreted, Roof Trusses and Framing Erected and Roofing Installed without Building Consent

Dear Sir / Madam,

**Request for Further Information**

Thank you for lodging your Certificate of Acceptance application with the Far North District Council.

Initial assessment of your application has highlighted the need for further information to be provided to enable the process of issuing your application to continue. The time period for processing your application has been suspended under Section 98 (2) of The Building Act 2004, however this will be resumed as soon as **ALL** the requested information is received and deemed complete by the processing officer.

Information must be provided within **20 working days** of date of this request; if information is not provided in full, the application for a Certificate of Acceptance may be refused. If you are unable to respond within 20 working days, please contact the Building Team and arrange an agreed time frame.

**Building Aspect**

1. Please provide plans and specification that relates to the certificate of acceptance application only. ✓
2. Storm water to discharge to approved outfall, provide details. ✓
3. SED pole hole depth shown in photo differ from engineer plans, provide correct details. ✓
4. Provide receipt from supplier of 225 SED H5 poles.
5. Provide wind zone, spacing, layout and fixing details on fabricator design statement for trusses. ✓
6. Specify the roofing underlay type used. ✓
7. Purlin treatment shown in site inspection photos appear not to be H3.2 as noted on plans. ✓

All items now received and okay

29.9.15

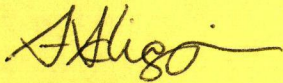
A.B.



To ensure that processing time is kept to a minimum, please collate all the above requested information and submit 2 copies to Council using your reference number BC-2015-1211/0.

**Note:** If Engineer certified plans are required, please ensure any changes / variations / modifications are endorsed and are A3 size.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'F. Higgison', with a long horizontal flourish extending to the right.

Fred Higgison  
Building Officer  
**District Services**



COA 2015-1211

1. Please provide plans and specification that relates to the certificate of acceptance application only.
2. Storm water to discharge to approved outfall, provide details.
3. SED pole hole depth shown in photo differ from engineer plans, provide correct details.
4. Provide receipt from supplier of 225 SED H5 poles.
5. Provide wind zone, spacing, layout and fixing details on fabricator design statement for trusses.
6. Specify the roofing underlay type used.
7. Purlin treatment shown in site inspection photos appear not to be H3.2 as noted on plans.



## Lysigna Mare

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**From:** HANS MITT <hans\_mitt@msn.com>  
**Sent:** Tuesday, 22 September 2015 7:08 p.m.  
**To:** Building Support; fred.higgson@fndc.govt.nz  
**Subject:** FW: Letter for BC2015-1211/0  
**Attachments:** Shadow Clad Manual 22 09 201522092015.pdf

Please see attached to address RFI for COA--BC 2015-1211/0.

---

From: hans\_mitt@msn.com  
To: building.group@fndc.govt.nz  
Subject: RE: Reminder Letter for BC2015-1225/0  
Date: Tue, 22 Sep 2015 18:33:24 +1200

Please find attached revised plans to address RFI

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From: Building.Group@fndc.govt.nz  
To: hans\_mitt@msn.com  
Subject: RE: Reminder Letter for BC2015-1225/0  
Date: Mon, 14 Sep 2015 02:52:00 +0000

Deadline extended out to 5/10/2015.

Regards,



**Jasmine Burgess**  
Building Support Officer  
District Services, Far North District Council  
09 401 5200 or 0800 920 029 | Jasmine.Burgess@fndc.govt.nz  
[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)



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**From:** HANS MITT [mailto:hans\_mitt@msn.com]  
**Sent:** Monday, 14 September 2015 2:47 p.m.  
**To:** Building Support  
**Subject:** RE: Reminder Letter for BC2015-1225/0

Hi Marion, Thank you for your letter which we were expecting.

Due some unforeseen hold ups and issues, resolving all the issues involved with these applications we are still a few weeks away from completing everything needed. Partly this is due to needing renewed truss design info from Mitek, also the engineer had been unavailable and I had poor health.



Consequently we would be very grateful if you could extend us a bit more time please to send everything to you.?

Kind Regards

Hans Mitt

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From: [Building.Group@fndc.govt.nz](mailto:Building.Group@fndc.govt.nz)

To: [hans\\_mitt@msn.com](mailto:hans_mitt@msn.com)

Subject: Reminder Letter for BC2015-1225/0


Date: Mon, 14 Sep 2015 02:25:10 +0000

Please find attached reminder letter for the above consent - original documentation to follow in the post.

For any enquiries please contact the letter writer on Freephone 0800 920029 or 09 4015200.

If you wish to provide the requested information via email, please forward to [bsg@fndc.govt.nz](mailto:bsg@fndc.govt.nz). (Please note: council printing / photocopying fees will apply as per our fees and charges schedule).

Kind regards



**Marion Reihana**

**Team Leader Building Support**

District Services, Far North District Council

09 401 5200 or 0800 920 029 | [marion.reihana@fndc.govt.nz](mailto:marion.reihana@fndc.govt.nz)

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Address. Memorial Avenue, Private Bag 752, Kaikohe 0440, New Zealand

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