

Land Information Memorandum

LIM Number **LIM20240122**

Application Date: 06/03/2024

Issue Date: 20/03/2024

Applicant Details

Applicant Name: Eastern Realty Limited
Attention: Jodie Woodfield
Client Name: Eastern Realty Limited
Postal Address: Apartment 4, 52 Bridge Street
 Ahuriri
 NAPIER 4110

Property Details

Location: 14 Middle Road
 HAVELOCK NORTH 4130

Property ID: 71557

Valuation Number: 1046040800

Legal Description PT LOT 2 DP 6350 0.0765 Hectares
and Area (hectares):

Introduction

This document is in two parts:

- **Part A** contains the information which the Council must disclose in a Land Information Memorandum (LIM) under Section 44A(2) of the *Local Government Official Information and Meetings Act 1987* (LGOIMA).
- **Part B** contains further information which the Council believes may be relevant to the purpose for which you have requested this LIM. This information is made available in accordance with your request under Section 10 of the LGOIMA.

The information in this document is based on information Hastings District Council holds about the property, some of which has been provided by third parties. There may be limits on the extent to which reliance can be placed on some of the information because of the way in which a LIM is prepared and/or the reliability of the information itself.

In particular please note that:

- No site survey or physical inspection of any buildings or other improvements on the property has been undertaken in order to prepare this LIM. Any plans supplied with this LIM should be checked for accuracy;
- A LIM is compiled solely by reference to Council's documented records. It will not therefore include information which may be known to a Council officer but has not been written down and filed on the property records;
- Council records may not disclose the existence of any unauthorised building works or unlawful land uses on the property;
- This LIM does not include information held by the Council relating to the electricity, telecommunication and gas networks for this property. Enquiries about the availability and capacity of those utilities should be made to the relevant network utility operator;
- Part B in particular may contain material supplied to the Council by third parties which is evaluative in nature or material which the Council thinks may be reliable but has not officially verified.
- Property information for this property may also be held by other organisations, such as Hawke's Bay Regional Council;

We are happy to answer any questions you may have about the information in this LIM. However you must make your own judgments as to the value of the material and the extent to which it may be relied upon for your particular purposes. **We recommend that you seek appropriate professional advice regarding the interpretation and specific application of the information to your circumstances.**



Andrea Miller
Senior Building Technician
andream@hdc.govt.nz

Part A

The information below is provided under Section 44A(2) of LGOIMA.

1. Special Features or Characteristics

Note - HDC is aware that additional information relating to the potential for hazards is publicly available on-line on the CDEMG Hazard Information portal at <https://www.hbemergency.govt.nz/hazards/hazards-in-hawkes-bay/>. A copy of any relevant maps for this property are attached for convenience of reference. If you require any further information about any potential risk as it may affect this property you can locate further property specific information at <https://gis.hbrc.govt.nz/hazards/>

Note - If part of this site is identified as being within a potential hazard area, Sections 71 - 74 of the *Building Act 2004* may apply if consent is sought to undertake building work within the identified area. We recommend that you seek advice on the potential application and effect of those sections of the Act.

Note - The Toka Tū Ake EQC Natural Hazards Portal contains information relating to natural hazard risk and how these might impact properties. It also contains information relating to EQC claims relating to land and/or buildings. The Portal may contain information relevant to this property and Hastings District Council recommends that you visit the Portal and review the information relevant to this property and the surrounding area. The Portal can be accessed at <https://www.naturalhazardsportal.govt.nz/s/>.

1.1 Erosion, avulsion or alluvion

None known.

1.2 Falling debris or slippage

None known.

1.3 Liquefaction

The Council holds information on liquefaction risk in the district, contained in an October 2017 report for the Hawke's Bay Regional Council by GNS Science (the report).

According to the report, this property is located within an area indicated as:

- Liquefaction unlikely (very low to low liquefaction vulnerability)

Please refer to the report for a full explanation of the methodology used and qualifications applying to the information. The report is available on the CDEMG hazard portal

<https://www.hbemergency.govt.nz/assets/Hazard-Information-Portal/CR-2015-186.pdf> and

<https://www.hbemergency.govt.nz/assets/Hazard-Information-Portal/CR-2015-186-Appendices.pdf>

1.4 Subsidence (fill or other doubtful ground)

None known.

1.5 Ground Shaking

None known.

1.6 Fault Lines

None known.

1.7 Flooding

The property is located within an area identified in the Hawke's Bay Hazard Portal Flood Risk Areas map as being subject to a low risk of flooding. Refer to attached Flood Risk Areas map for location.

Note: Flood extents shown in the Flood Risk Areas maps are regional in scale, and not meant to show specific flooding details on each property. The specific line drawn to delineate the zones should be assumed to have a buffer ranging from approximately 5 m in steep areas, up to approximately 50 m in flat areas. There may be exceptions to this estimate. Contact Hawke's Bay Regional Council for further information.

1.8 Ponding

None known.

1.9 Inundation

None known.

1.10 Likely presence of Hazardous contaminants

None known.

2. Sewer and Stormwater Drains

Drainage plans attached.

2.1 Sewer

The property is connected to the HDC wastewater system.

2.2 Stormwater

The property is connected to the HDC storm water system.

3. Water Supply

The property is connected to the public supply.

Council's records show the property is supplied by a networked supplier. Information regarding this is attached.

4. Rates

Rate Qualifiers:	General Rate - Commercial Havelock North Havelock North CBD Targeted Rate Community & Resource Management Havelock North Parking Rate Havelock North Promotion Refuse Rate Recycling Rate Security Patrol Havelock North Sewer Rate Wastewater Treatment Uniform Annual General Charge Water Rate
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Land Value:	\$570,000.00
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Improved Value:	\$860,000.00
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Capital Value:	\$1,430,000.00
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Date of Valuation:	1 July 2023
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Annual Rates:	Rates 2023/24 \$8,901.90
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Amount outstanding at date of issue:	\$2,225.40
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Note – The information above relates to rates levied on the property by Hastings District Council and does not include information on rates levied separately for this property by Hawke's Bay Regional Council.

5. Consents, Certificates, Notices, Orders and Requisitions

5.1 Health/Alcohol Registrations and Licences

None recorded.

5.2 Resource Consents

A Resource Consent applies to this property allowing an activity that may be subject to conditions. Copy of decision/s attached.

Application ID	Description	Date Issued
RMA20110123	Establish an Early Childhood Education Facility	25/05/2011

5.3 Building Consents/Permits/Code Compliance Certificates

Application ID	Date Received	Description	Date Issued	Date Code Compliance Certificate Issued
Unknown	Circa 1935	Erect Dwelling	Circa 1935	N/A
Unknown	04/11/1969	Re-Pile Dwelling	04/11/1969	N/A
BP23648	05/08/1970	Erect Garage	18/08/1970	N/A
ABA20001756	12/12/2000	Fit New Wet Floor Shower and Relocate WC and Basin	13/12/2000	CCC Outstanding
ABA20110794	25/07/2011	Change of Use to Extend House for Child Care Centre & Remove Garage	15/09/2011	31/10/2011

Note - Some of the Council's historic permit records are stored under the name of the applicant rather than under the property address. Where necessary we have used information from the title search to try and find the relevant record/s. However, the fact that a permit has not been located for a building does not necessarily mean that a permit was not granted.

Note – New Zealand government owned departments were not required to obtain a building permit prior to the 1995 amendment to the Building Act 1991. The building work was still required to meet technical standards relevant at the time.

5.4 Notification of Waiver or Modification of the Building Code

None recorded.

5.5 Owner/Builder Exemptions: Statutory Declarations

None recorded.

5.6 Schedule One Exemptions, Building Act 2004

None recorded.

5.7 Certificate of Acceptance

None recorded.

5.8 Certificates for Public Use

None recorded.

5.9 Compliance Schedule

Compliance Schedule No.	Description	Issue & Anniversary Date
BWF1041	Havelock North Family Centre	26/10/2011

5.10 Amended Compliance Schedule

Compliance Schedule No.	Description	Date Compliance Schedule was Amended
BWF1041	Havelock North Family Centre	01/05/2018

5.11 Infringement Notices

Infringement Notice ID	Description	Date Issued
0101	Failing to comply with the requirements that building work must be carried out in accordance with a building consent	16/08/2011
0106	Failing to comply with the requirements that building work must be carried out in accordance with a building consent. Failing to comply with inspection report 10254 and continuing building work without an approved building consent.	20/06/2012

5.12 Notices to Fix

None recorded.

5.13 Earthquake-Prone Buildings under Subpart 6A of the Building Act 2004

Buildings on this property have been identified as being expressly excluded from the profile categories for potentially earthquake prone buildings listed in the EPB Methodology (Version 1, 3 July 2017) set by the Chief Executive of the Ministry of Business, Innovation and Employment. Accordingly the buildings have not been identified as being potentially earthquake prone.

5.14 Dangerous Building Notices

None recorded.

5.15 Insanitary Building Notices

None recorded.

5.16 Affected Building Notices

None recorded.

5.17 Swimming and Spa Pool Fencing

There are no pools known to Council on this property.

5.18 Information provided by building contractor under s362T(2) of the Building Act 2004

No information has been received.

5.19 Information concerning certificates issued by a building certifier under the Building Act 1991 or the Building Act 2004

There is no record of the Council receiving any information concerning certificates issued by a building certifier relating to this property.

5.20 Notifications under s 124 of the Weathertight Homes Resolution Services Act 2006

None received.

5.21 Other Notices, Orders and Requisitions

None recorded.

6. Land Use

Note: The Hastings District Plan (as amended by decisions on submissions September 2015 and Environment Court consent orders) is now 'Operative in Part' and has legal effect from 12 March 2020. The exclusion pertains to Section 16.1 Wāhi Taonga District Wide Activity which remains outstanding due to an Environment Court appeal. Further information regarding the District Plan, plus information about the outstanding appeal can be found online: <http://www.hastingsdc.govt.nz/sections/district-plan>

6.1 Zoning

This property is located within the Havelock North General Residential zone of the *Operative Hastings District Plan (March 2020)*.

6.2 Other Relevant District Plan Provisions

None recorded.

6.3 Other Considerations Affecting Land Use

- **Roads**

Middle Road is a Primary Collector Road.

7. Classification of Land or Buildings

None recorded.

8. Information Notified by a Network Utility Operator

None recorded.

Part B

The information below is provided under Section 10 of LGOIMA.

9. Hazardous Activities on Land

The Hawke's Bay Regional Council has a list identifying land on which hazardous activities may have been carried out in the past.

If any such information is held relating to this site, it can be accessed by contacting the Hawke's Bay Regional Council.

10. Fire Fighting Water Supply

The property is located within an area serviced by Hastings District Council's firefighting supply (135m of a Council fire hydrant providing a minimum of FW2 fire protection under Standard *NZ PAS 4509:2008*).

11. Water Meter & Backflow Devices

This property does not have a water meter.

The property is considered an "Extraordinary Supply" under Council's water services by-law. This entitles Council to install a water meter and commence charging as a metered user.

The property has no record of a backflow prevention device being installed at the point of supply.

Note: Should the property undertake any activity that is considered hazardous, a backflow prevention device will be required to be installed and maintained at the cost of the property owner.

12. Proposed Public Works

None known.

13. Current Resource Consents on Surrounding Properties

Refer to attached map for details.

14. Surrounding Property Designations

UNL 9 – Electricity Distribution.

Refer to attached map for locations.

15. Development Contributions

Development contributions are not payable for this property.

16. Other Correspondence or Documents

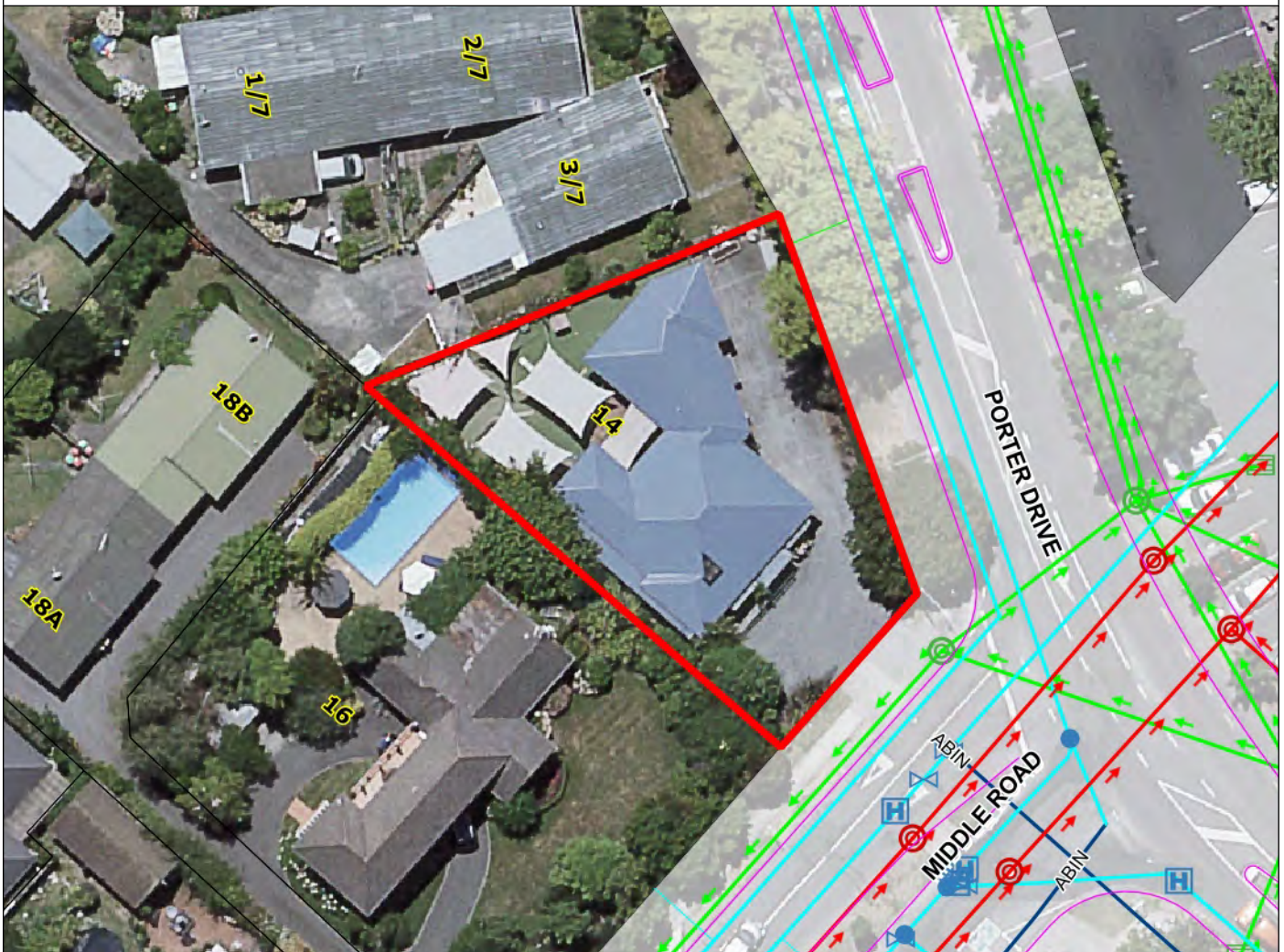
None recorded.

Hastings District Council - LIM Maps

Address: 14 Middle Road HAVELOCK NORTH 4130
 Property No: 71557
 Legal Description: PT LOT 2 DP 6350

**HERETAUNGA
 HASTINGS** DISTRICT COUNCIL

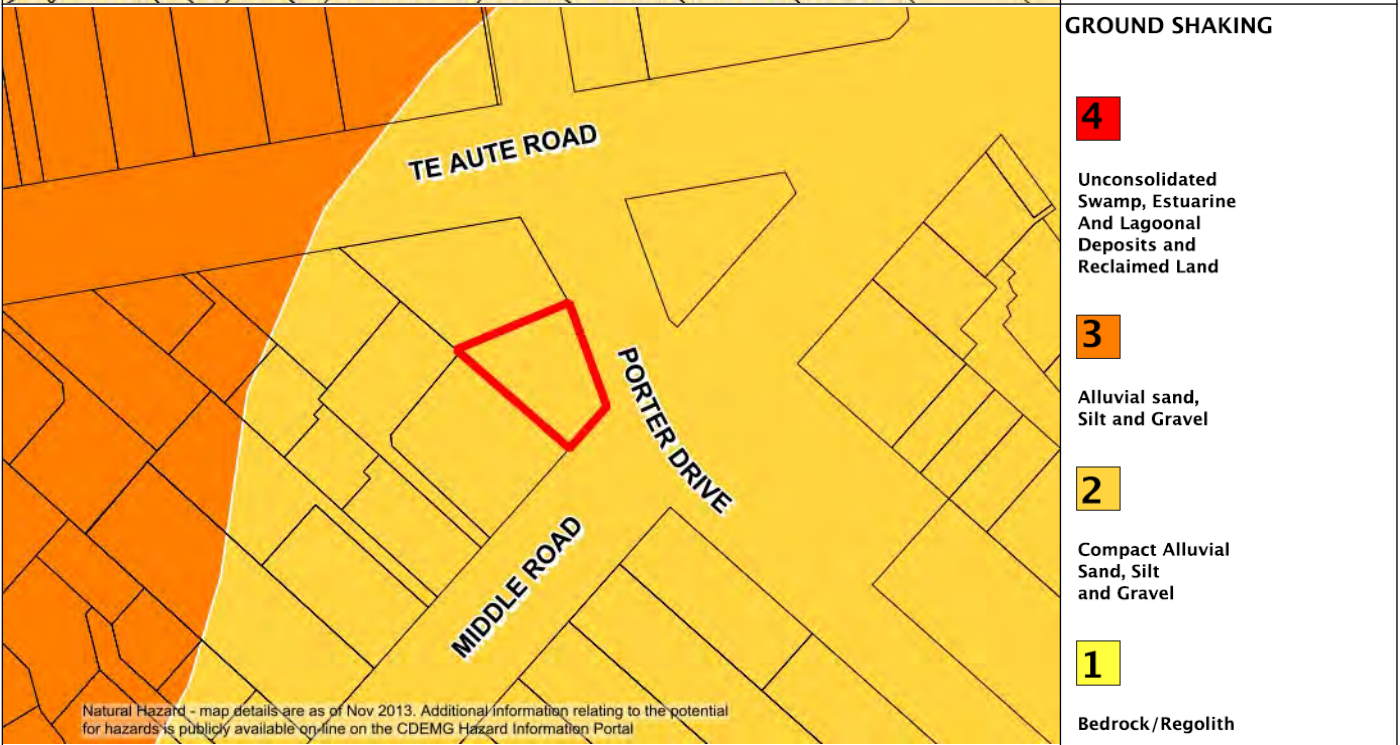
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	Air Valve		Backsump		Aeration Tank		Water
	Hydrant		Headwall		Chamber		Stormwater
	Meter		Manhole		Manhole		Sewer
	Non Return Valve		Pump		Pump		Kerblines
	Pump		Roding Eye		Roding Eye		
	Supply Valve		Sump		Valve		

Valuation No:	1046040800
Area (Hectares):	0.0765
Total Rates:	\$8901.90
Capital Value:	\$1,430,000
Rateable Land:	\$860,000
Land Value:	\$570,000
Water – Sewer Units:	1.0 - 2.6
Usage – Primary:	41

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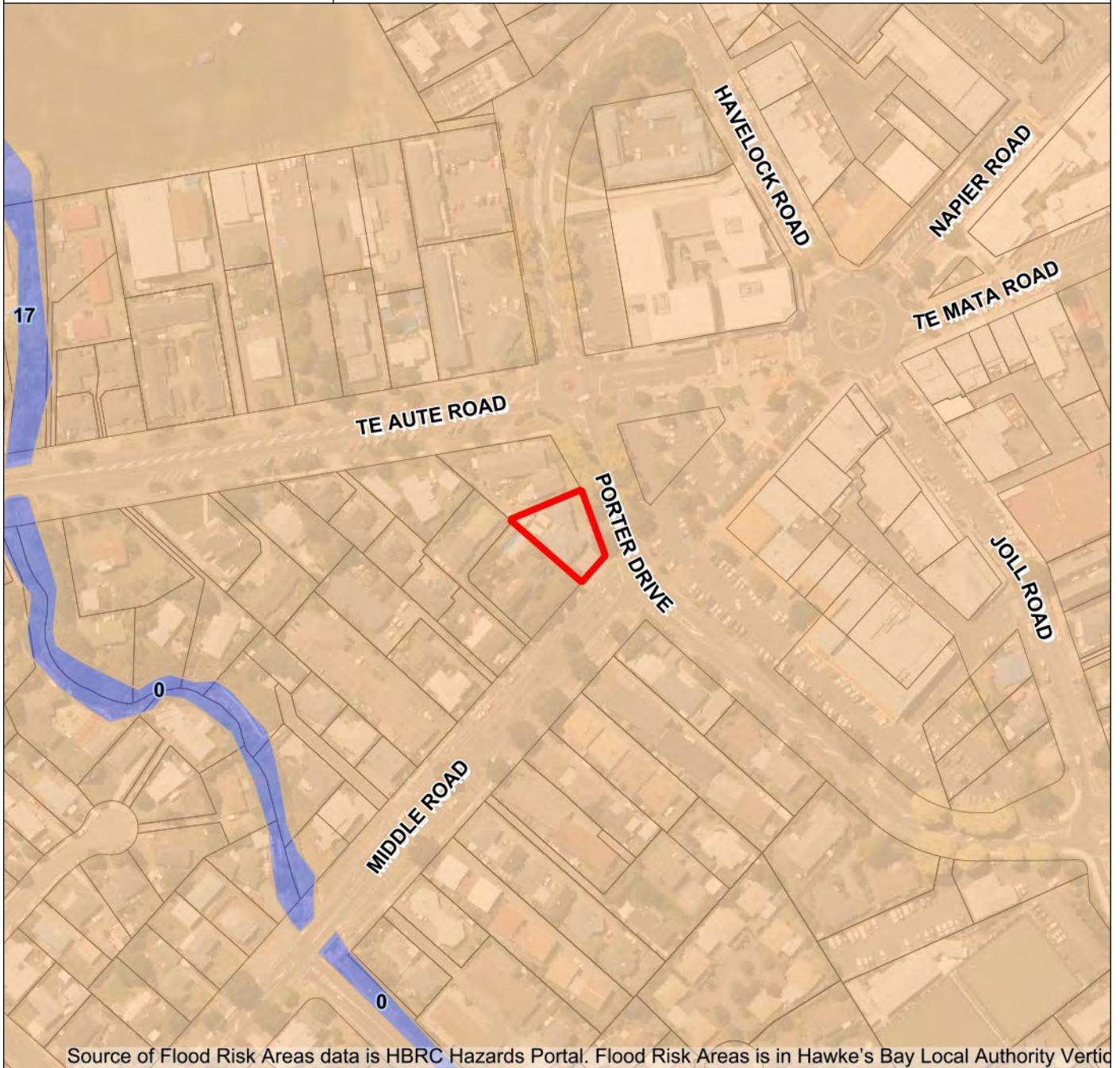


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Source of Flood Risk Areas data is HBRC Hazards Portal. Flood Risk Areas is in Hawke's Bay Local Authority Vertical

- Flood risk areas
- Low risk areas
- Not in study area

Data Source from the Hawke's Bay Regional Council.
For more information, please refer to the Hawke's Bay Hazard Information Portal.
<https://gis.hbrc.govt.nz/hazards/>

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- Suspected Fill Areas
- Suspected Dump Sites
- Engineered Fill
- Actual Dump Sites



- 22-08-1979
- 24/25-08-1981
- 26-07-1985
- 1986
- 13-03-1986
- 1988
- 9-03-1988
- 30-07-1990
- 23-08-1990
- 1992
- 22-07-1992
- 1993
- 1994
- 1995
- 8-04-1995
- October 1995
- 1996
- 4-07-1996
- 1996/2006
- 1997
- October 1998
- 6-07-2006
- Flooding Areas
- Historic Ponding
- Ponding Areas
- Problem Areas

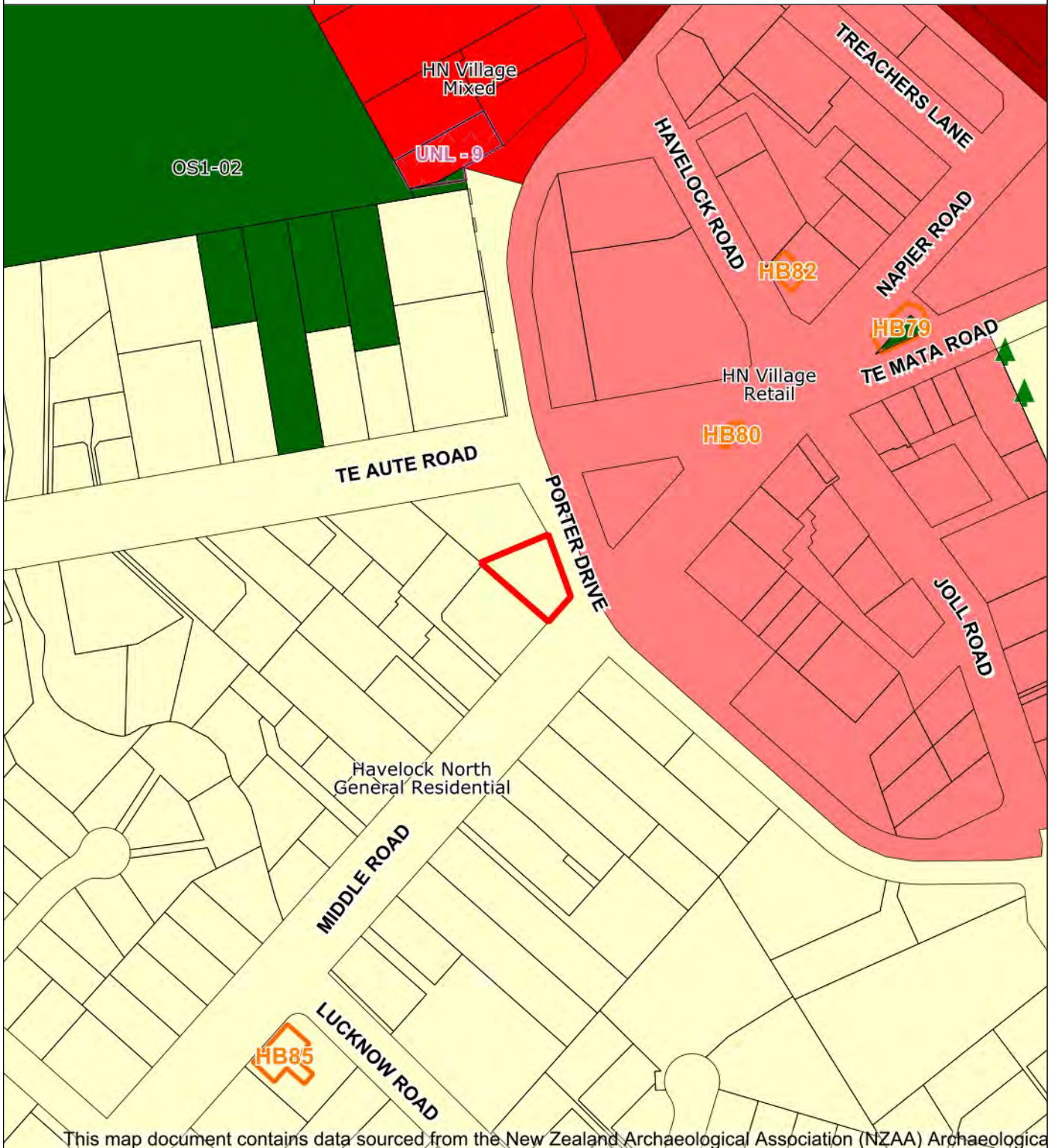
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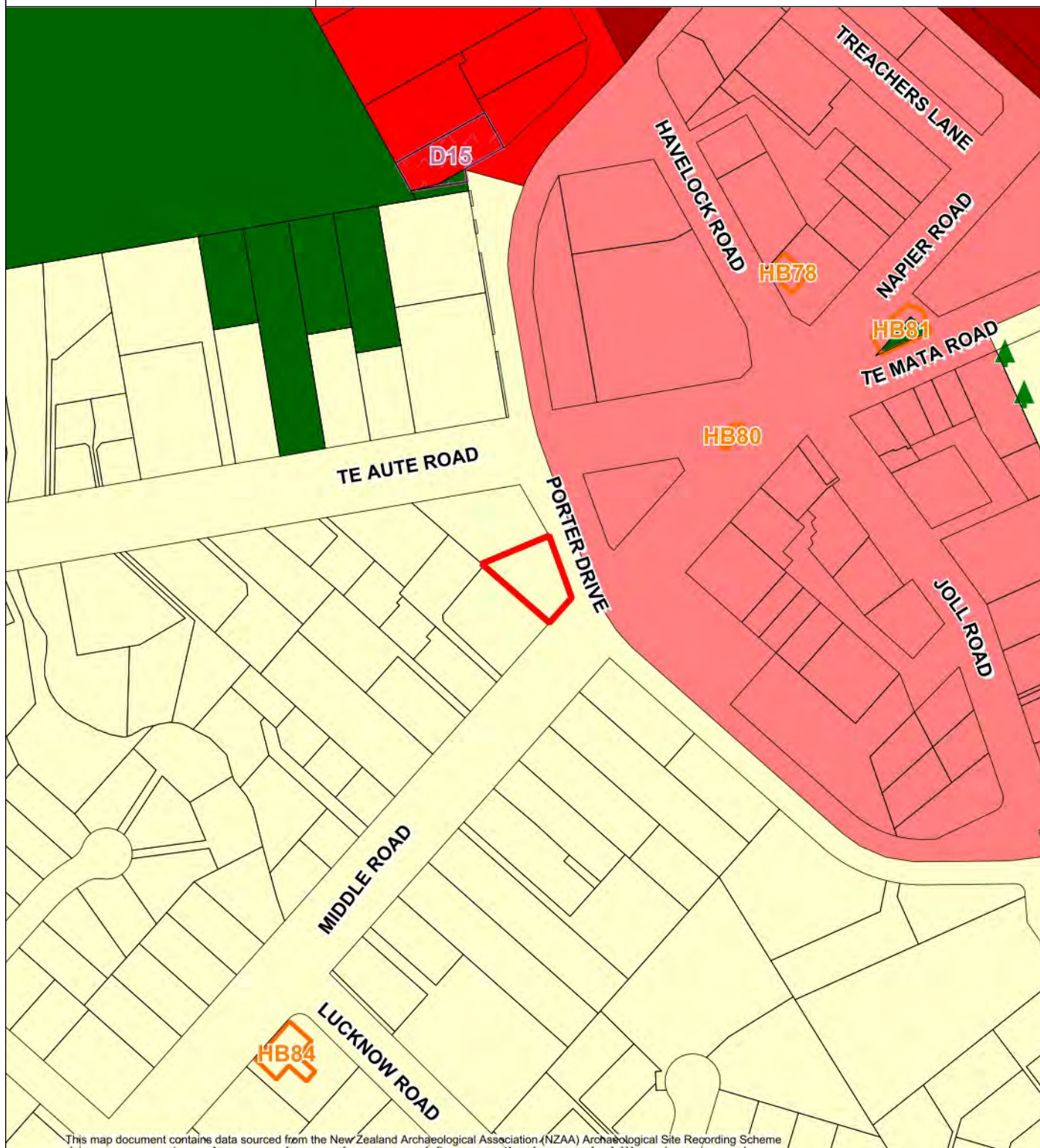
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- National
- Arterial
- Primary Collector
- Secondary Collector
- Access
- Low Volume

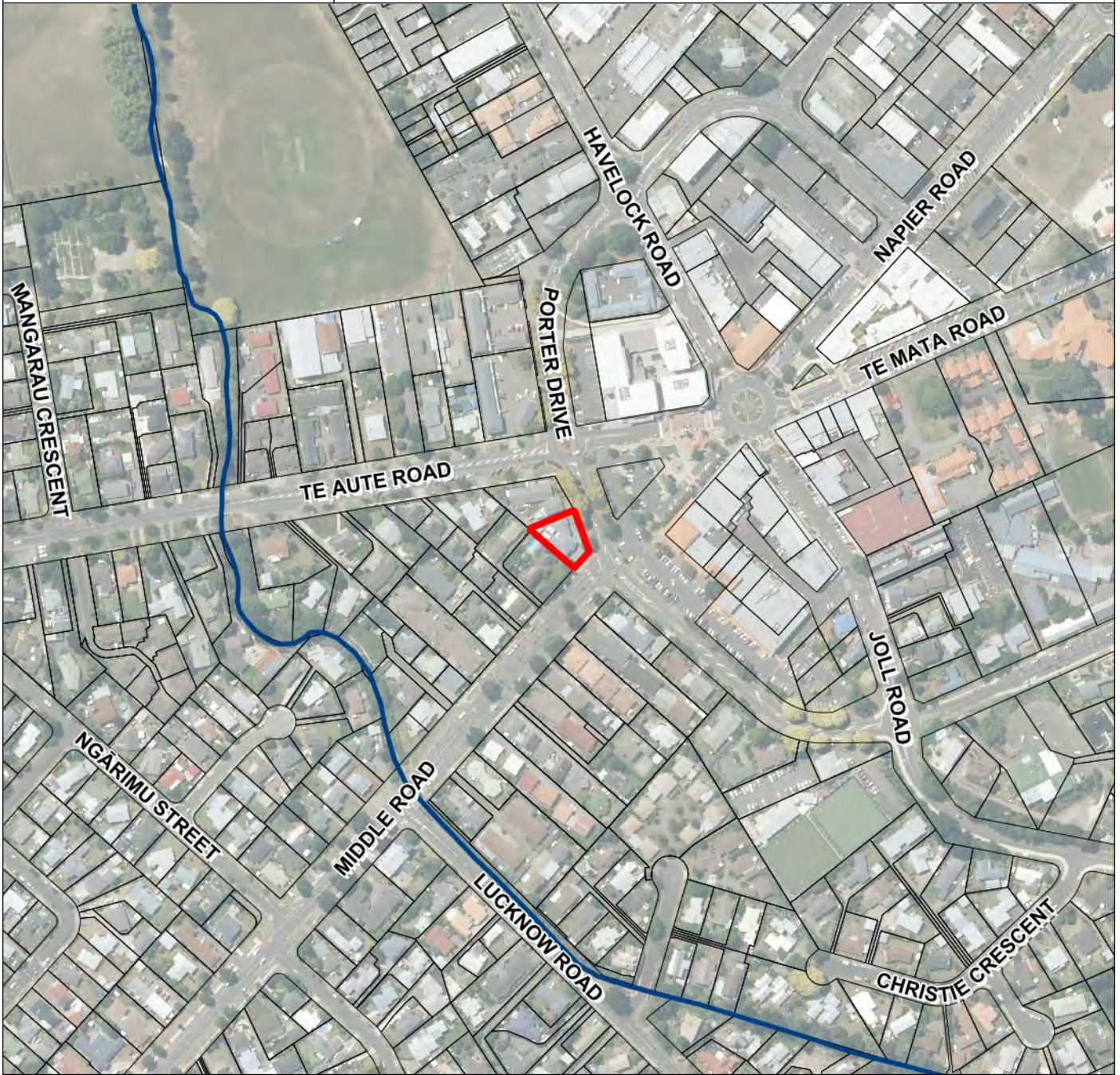
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- HBRC Wellstore
- Cooling Towers
- Drains

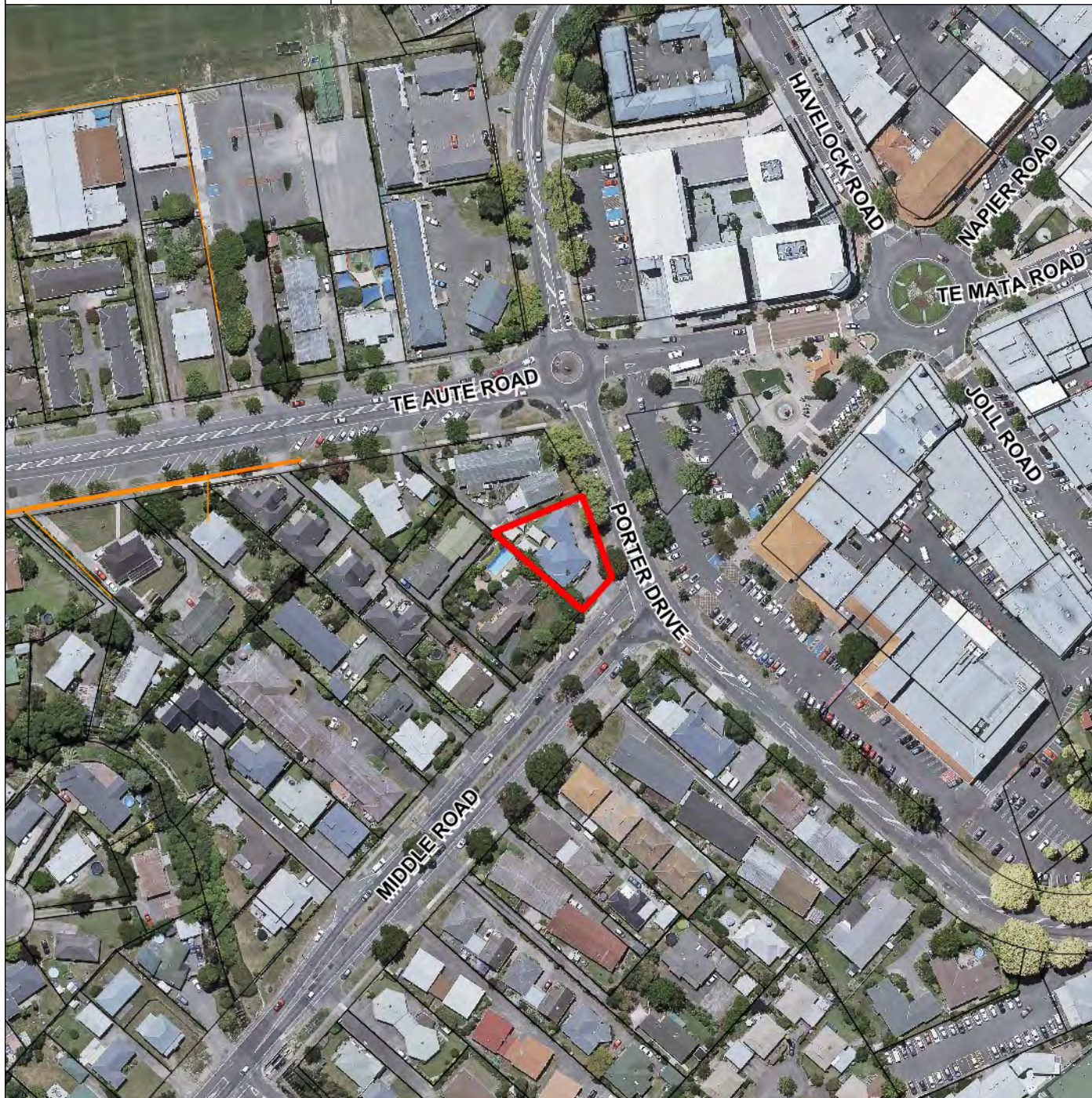
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High Voltage Transmission Pylons



Unison Low Voltage Overhead Conductor



High Voltage Transmission Lines



Unison High Voltage Overhead Conductor

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Topo Maps downloaded from Land Information NZ (February 2016)

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1m Contours

10m Contours

20m Contours

— 1m Intervals — 10m Intervals — 10m Intervals — 50m Intervals — 20m Intervals — 100m Intervals

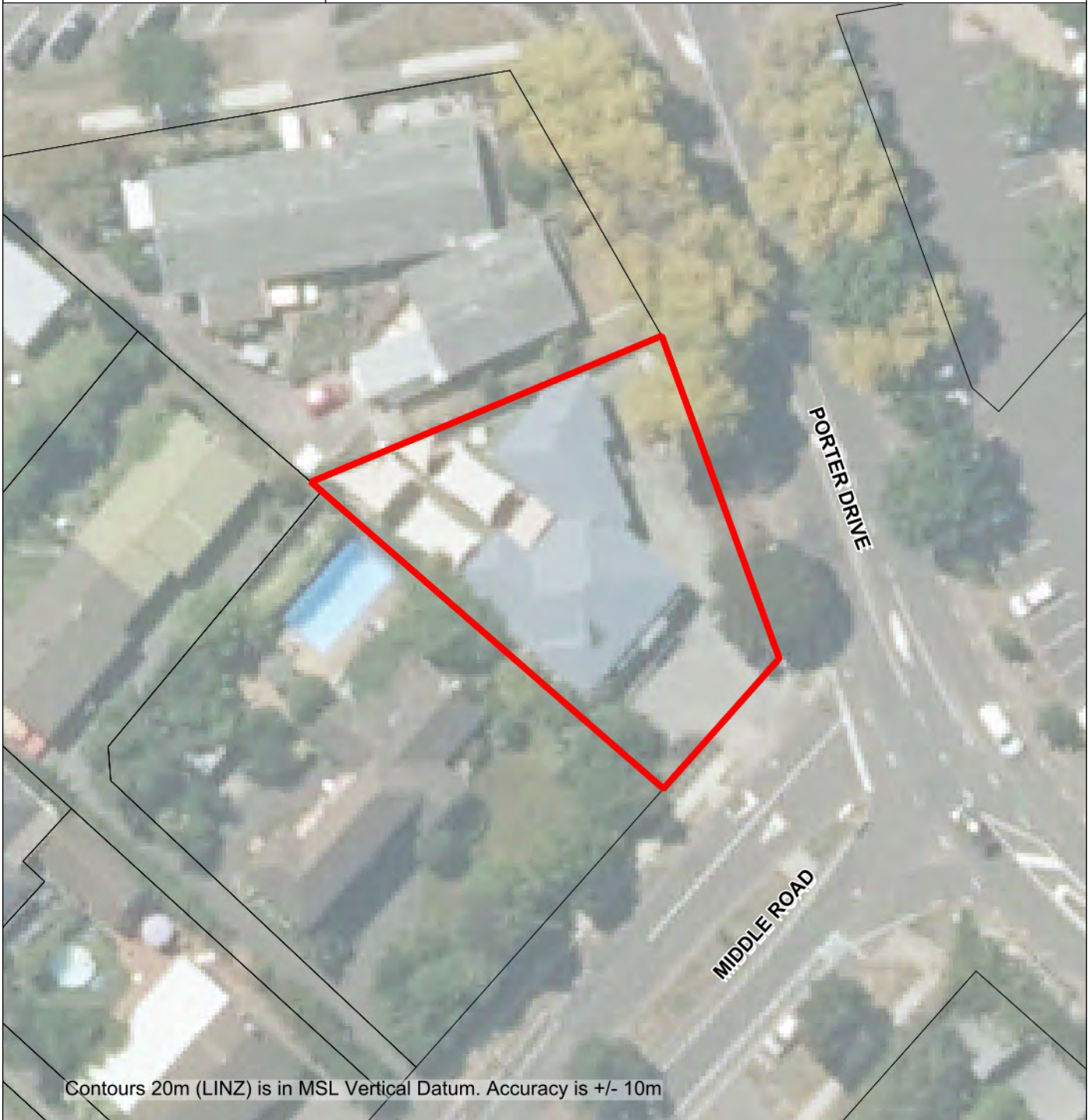
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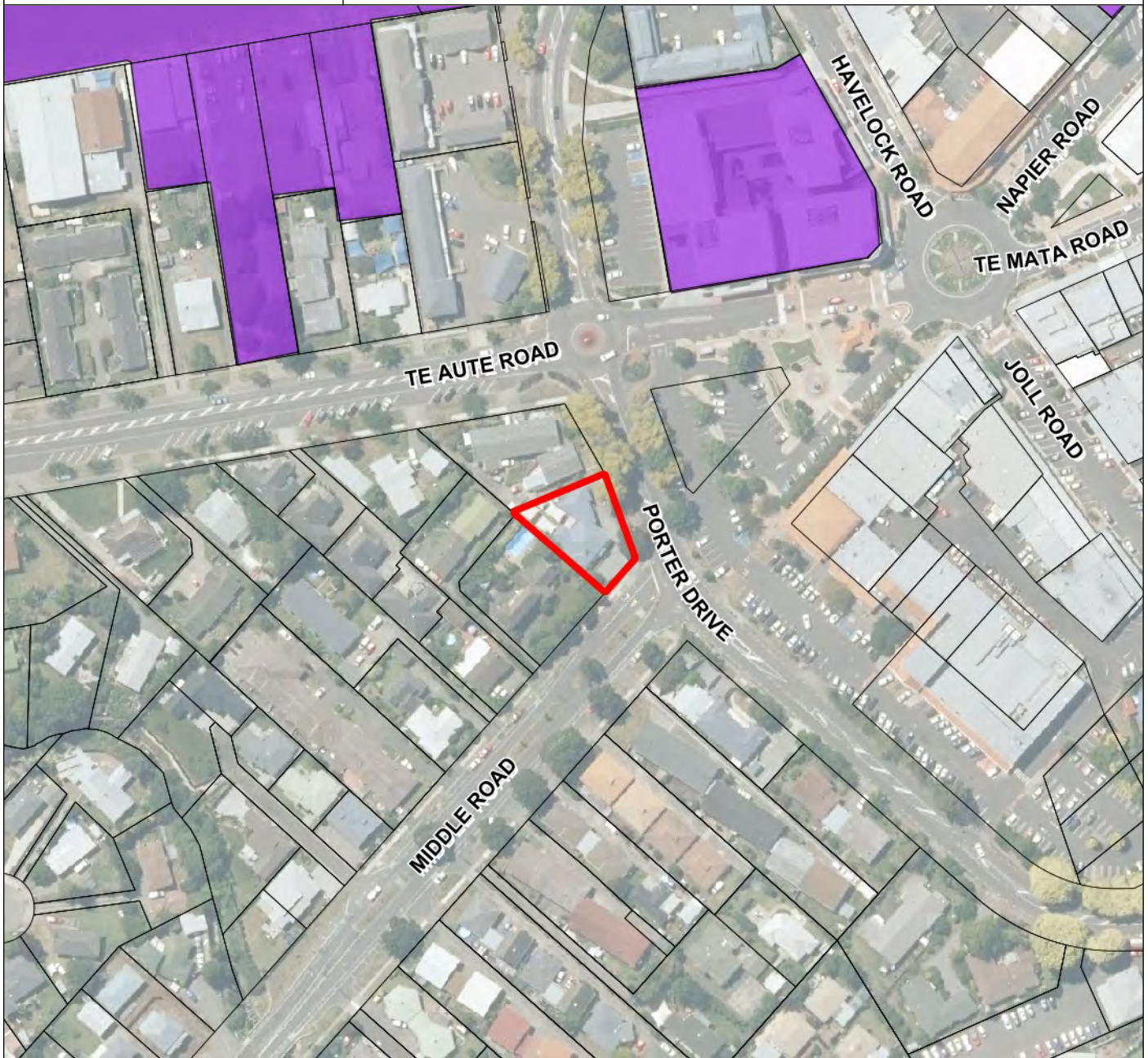
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- | | | |
|---|---|--|
| ■ At or Below Background: Natural State | ■ Contaminated for Land Use: Human Health | ■ Suitable for Land Use: Natural State |
| ■ At or Below Background: Remediated | ■ Managed For Land Use | ■ Suitable for Land Use: Remediated |
| ■ Contaminated for Land Use: Environment | ■ Risk Not Quantified | |

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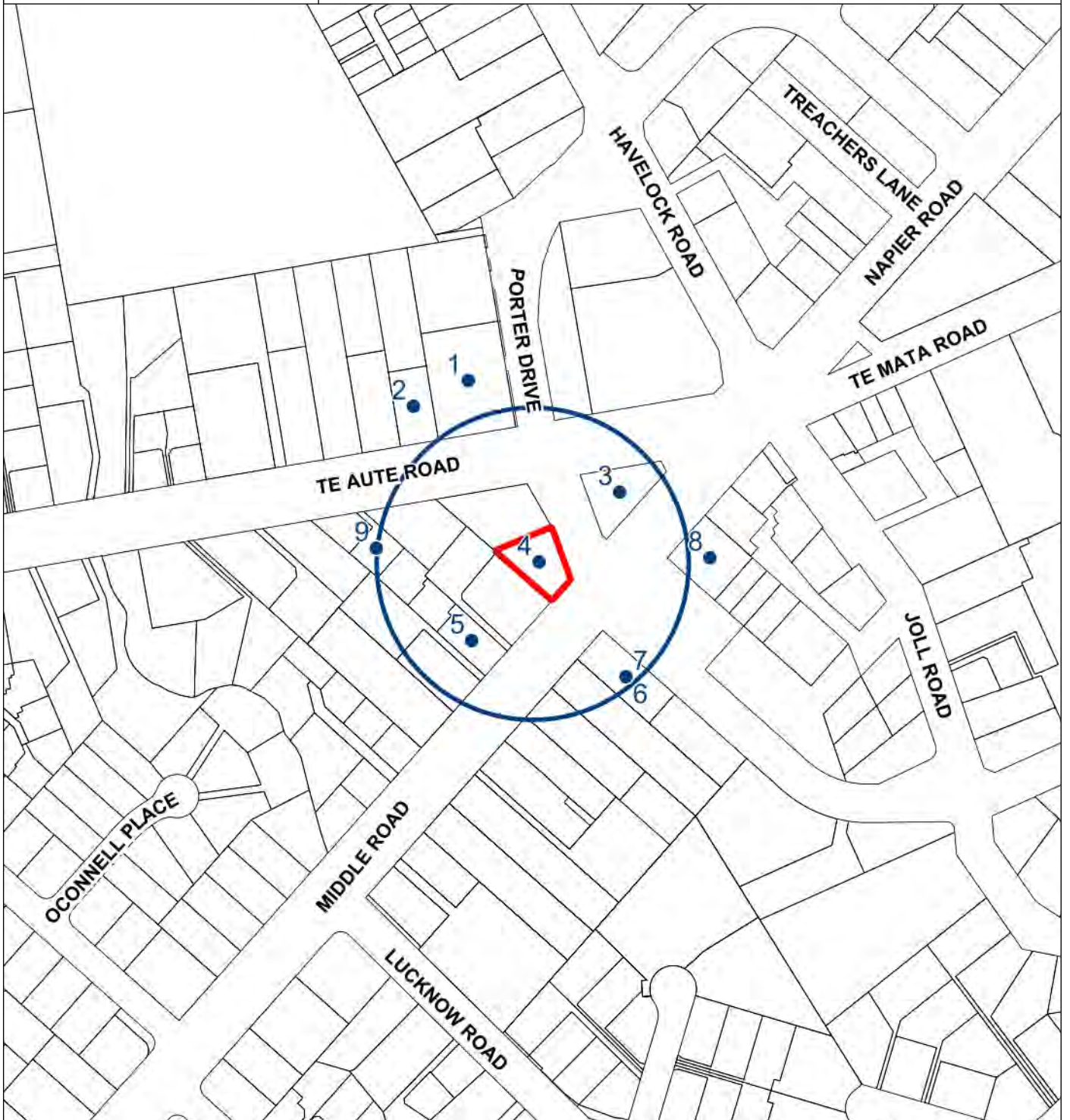
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14 Middle Road HAVELOCK NORTH 4130



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RMA CONSENTS ON NEARBY PROPERTIES

Map Reference	RMA Description
1	71073 - RMA20020442 - for a Certificate of Compliance to erect Block C 71073 - RMA980184 - to subdivide 689/1
2	71075 - RMA20010156 - certificate of compliance 71075 - RMA950112 - operate a child care centre for a maximum of 20 children
3	71556 - RMA20040048 - To undertake internal and external alterations to a Category II Historic Building 71556 - RMA20170197 - Earthquake Strengthening for Heritage Building - Havelock North site 71556 - RMA20190426 - Proposed placement of structure within 50m of Heritage Building in the Havelock North Village Centre Retail 71556 - RMA20220196 - Proposed external alteration: Addition of 2 WiFi units to heritage building (HB80) in the Havelock North Village Centre Retail
4	71557 - RMA20110123 - establish an early childhood education facility
5	71561 - RMA20050211 - Subdivide to adjust title
6	71934 - RMA20020535 - for a Certificate of Compliance to extend Early Childhood Centre 71934 - RMA930445 - establish a medical centre
7	71935 - RMA20000523 - to subdivide to create two additional residential lots 71935 - RMA20030466 - for a Certificate of Compliance
8	71944 - RMA920188 - to erect one sign
9	99316 - RMA20070089 - To create a Right of Way not meeting the minimum width requirement

**OPERATIVE DISTRICT PLAN (Partially Operative March 2020
with the Exception of Section 16.1 – Wāhi Taonga District Wide Activity)**

Residential Zones

-  Regional Hospital
-  General Residential
-  Hastings City Living
-  Character Residential
-  Flaxmere Community Residential
-  Clive-Whakatu Residential
-  Waimarama Coastal Settlement
-  Coastal Settlement
-  Plains Settlement
-  Rural Residential
-  Deferred Residential



Commercial Zones

-  Central Commercial
-  Residential Commercial
-  Suburban Commercial
-  Large Format Retail
-  Commercial Service
-  Havelock North Village Centre Business
-  Havelock North Village Centre Mixed
-  Havelock North Village Centre Retail
-  Flaxmere Commercial
-  Flaxmere Commercial Service
-  Clive - Whakatu Suburban Commercial
-  Haumoana - Te Awanga Suburban Commercial
-  Bridge Pa Suburban Commercial

Industrial Zones

-  Light Industrial
-  General Industrial
-  Whirinaki Industrial
-  Havelock North Village Centre Industrial
-  Tomoana Food Industry
-  Deferred General Industrial





Rural / Plains Zones

-  Plains Production
-  Rural









Open Space Zones

-  Hawkes Bay Regional Sports Park
-  Deferred Regional Sports Park
-  Open Space

Special Character Zones

-  Nature Preservation Zone
-  Iona Special Character Zone
-  Te Mata Special Character Zone
-  Tuki Tuki Special Character Zone

Cultural / Heritage

-  Archaeological Sites (* See Note below re accuracy)
-  Notable Trees
-  Site of Significance (SS)
-  Wāhi Taonga (W)
-  Historic/Heritage Features (HB)
-  Queen Street East Historic Area
-  Russell Street Historic Area
-  Oak Avenue / Green Hill Historic Area

Riparian Land Management

-  Riparian Areas
-  List 1
-  List 2
-  Recommended Areas for Protection

Landscape Areas / Features

-  Coastal Landscape Character Area
-  Outstanding Natural Feature
-  Outstanding Natural Landscape Area
-  Rural Landscape Character Area
-  Significant Amenity Landscape Area














Overlays and Precincts

-  Breadalbane Avenue Special Character Area
-  Toop Street Character Area
-  Central Character Precinct
-  Te Mata Restricted Building Area
-  Restricted Building Area - Havelock North Character Residential
-  Te Mata Lifestyle Area
-  Te Awanga Lifestyle Area Limit
-  Roys Hill Winegrowing Area

Aquifer

-  Heretaunga Plains Unconfined Aquifer

Other

-  Designation (D)
-  Scheduled Activities (S)
-  Contaminated Sites
-  River Hazard
-  National Grid Structure
-  National Grid Line
-  Bridge Pa Noise Contours
-  Pan Pac Noise Contours
-  Prohibited Development Area
-  Coastal Environmental Boundary
-  Hastings District Boundary
-  Prohibited Building Area (Te Mata Eastern Escarpment)
-  Brookvale Structure Plan (Stormwater Management Areas)

*This map document contains data sourced from the New Zealand Archaeological Association (NZAA) Archaeological Site Recording Scheme. Archaeological site data shown has been recorded between 1979 and 2015. The accuracy of an archaeological site is recorded only to within 100m of a site and must only be used as a guide. To ascertain the exact location, nature and extent of any archaeological site shown on a property, NZAA advise that the user arrange on-site verification by a qualified archaeologist. NZAA gives no warranty in relation to the data (including accuracy, reliability, completeness or suitability) and accepts no liability, without limitation, liability in negligence) for any loss, damage or costs relating to any use of the data. The archaeological site data on Council's GIS system is updated every 3 months and therefore contains the most up-to-date information on the location of sites recorded under the NZAA Archaeological Site Recording Scheme.

If calling ask for Jason Tickner
File Ref: 71557#0009
Our Ref: RMA20110123

24 May 2011

**APPLICATION FOR CERTIFICATE OF COMPLIANCE PURSUANT SECTION 139 OF THE
RESOURCE MANAGEMENT ACT 1991**

Applicant: Summer Education Limited
Site: Lot 2 DP 6350 (CT: HB93/287)
Address: 14 Middle Road, Havelock North
Proposal: Establish a Childcare Centre

Date of Receipt of Application: 10/05/2011

This is to certify that in terms of Section 139 of the Resource Management Act 1991 the proposal by Summer Education Limited to establish a Childcare Centre at 14 Middle Road, Havelock North, as set out in the application and further information received (TRIM ref: 71557) is a permitted activity under the Hastings District Plan.



**DECISION ISSUED UNDER
DELEGATED AUTHORITY BY:**

Katrina Brunton
**ENVIRONMENTAL CONSENTS MANAGER
PLANNING AND REGULATORY SERVICES**

DATE: 23 May 2011

ADVISORY NOTES:

1. The activity cannot legally take place until all terms and conditions of the District Plan are met and is subject to ongoing compliance with the standards and terms in Section 8.0 of the District Plan.

PLANNING AND REGULATORY SERVICES
Private Bag 9002, HASTINGS 4156
DX MA75020
Phone 06 871 5000
Fax 06 871 5115
www.hastingsdc.govt.nz

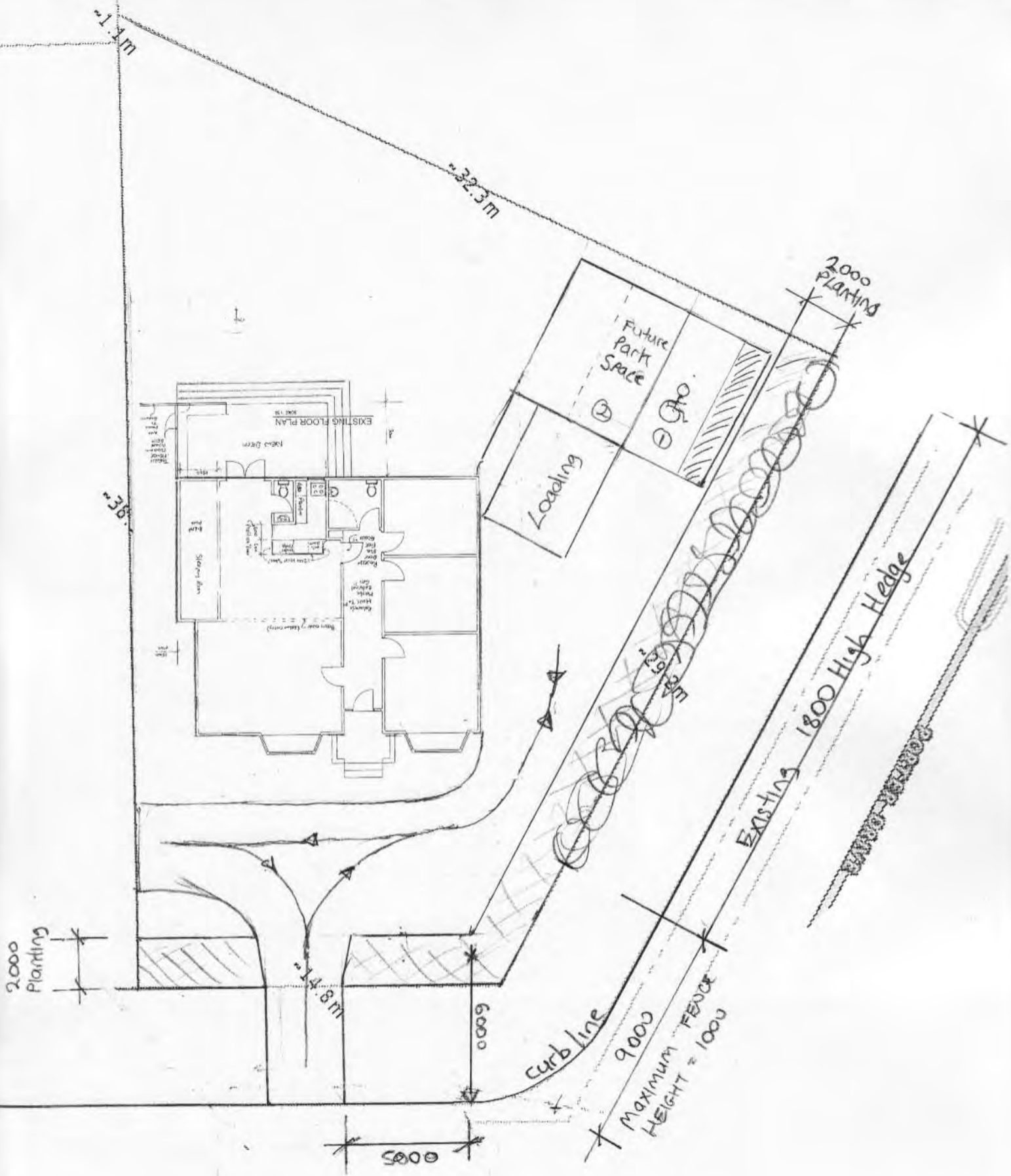
2. Given the vehicle crossing is proposed to be relocated to comply with the District Plan, an application for a new vehicle crossing is required. Please refer to the following fact sheet online for further information regarding this process:

<http://www.hastingsdc.govt.nz/files/all/documents/building/factsheets/vehicle-crossings.pdf>

It has also been identified that the proposed vehicle entrance location may require some an existing road sign to be relocated. Please communicate with Councils Transportation Urban Maintenance Engineer - Bill Blair on (06) 871 5000 to discuss.

3. The subject site currently contains a Health Care Service (Osteopath) which has not been legitimised under the Resource Management Act. This activity was not assessed as part of this Certificate of Compliance and will require Resource Consent to continue operation.

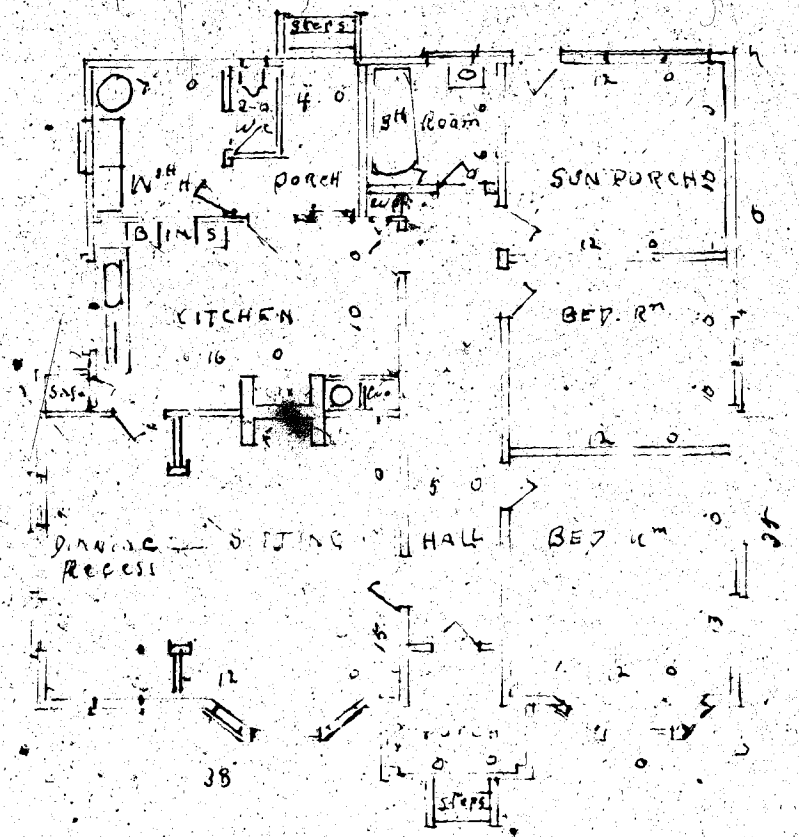
If the Health Care Service Facility cannot operate fully 'exclusive and separate' from the Childcare Centre (i.e. must not share car parking etc), the application for resource consent will need to involve both activities and if granted this Certificate of Compliance will be cancelled.



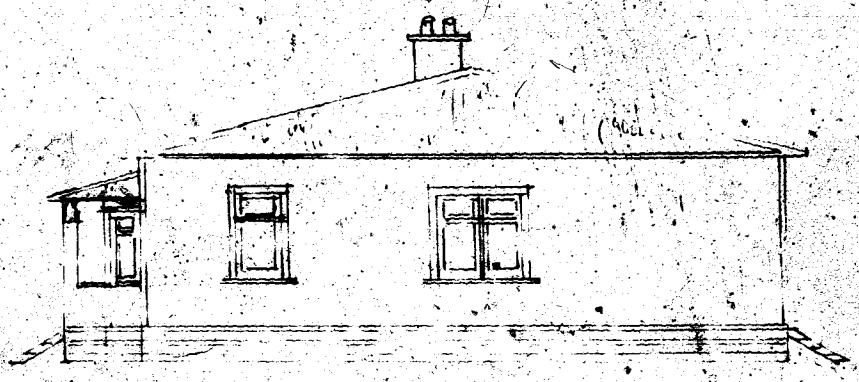
Fence Height ≈ 1000	ACCESS ≈ 3000	Maximum fence Height ≈ 1000
-----------------------------	-----------------------	-------------------------------------

658/14
1

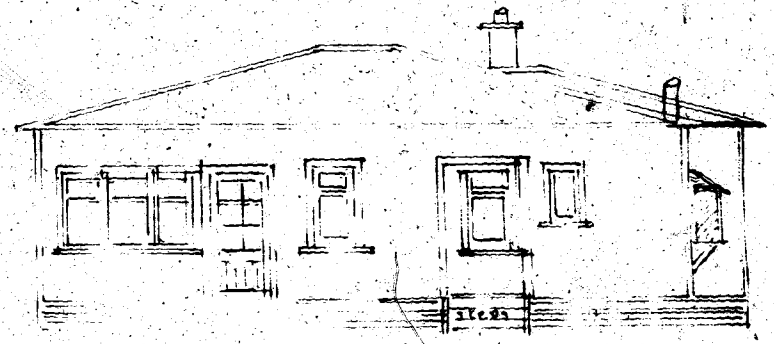
PROPOSED COTTAGE
for
MR. J. HONEYBUN
HAVELOCK NORTH



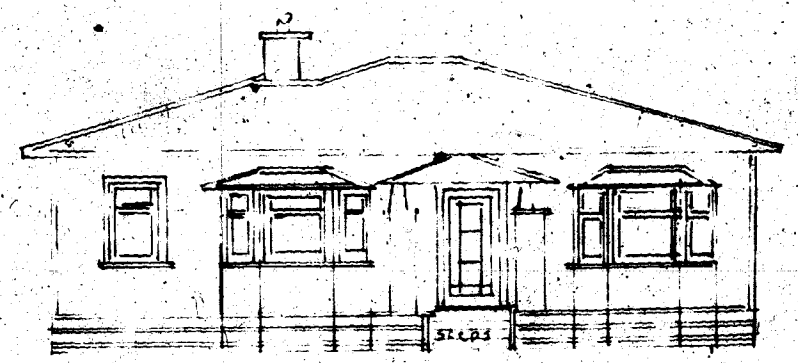
PLAN Scale 8 feet One Inch.



SIDE ELEVATION



BACK ELEVATION



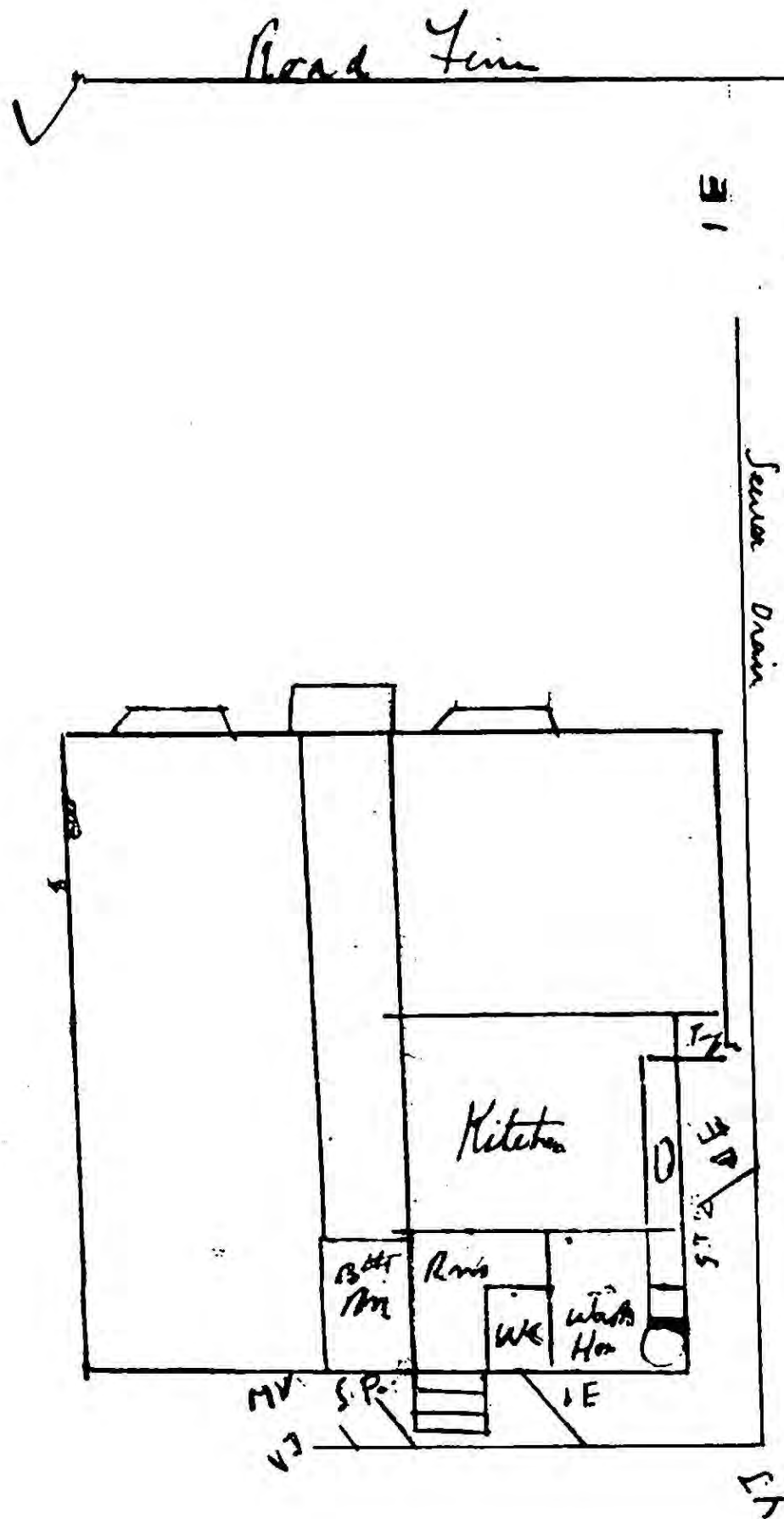
FRONT ELEVATION

HAVELOCK NORTH TOWN BOARD

DRAINAGE BLOCK PLAN.

Reference:— I.T. means Intercepting Trap.
F.A.I. „ Fresh Air Inlet.
I.C. „ Inspection Chamber.
I.E. „ Inspection Eye.

G.T. means Gully Trap.
M.V. „ Man Vent.
T.V. „ Terminal Vent



Owner *Mr Harry Green*
Street *14 Middle Rd*

Section

Block

Record No

658/14
1 PLAN

HAVELOCK NORTH BOROUGH COUNCIL

Date, 4th Nov 1969.

APPLICATION FOR A BUILDING PERMIT

I HEREBY apply for a Building Permit for a Dwelling (Repiling only)
(state type of building)
in accordance with the plans and specifications herewith, and the
particulars given below.

Signature of Applicant... N. R. Shaw...

APPLICATION FOR PLUMBING AND / OR DRAINAGE PERMIT

I HEREBY apply for a permit to carry out Plumbing and/or Drainage work
in accordance with the plans and specifications herewith, and the
particulars given below.

Signature of Applicant.....

PLEASE USE BLOCK LETTERS AND GIVE FULL PARTICULARS

DESCRIPTION OF PROPERTY:

Assessment No. 1046/48.....: Lot 2.....: D.P. 6350.....
Location of Work 1/4 MIDDLE ROAD....., Havelock North.
(Street and No.)

NAME OF OWNER: J. ISEMAN..... ADDRESS: 1/4 MIDDLE ROAD
INESON..... HAVELOCK NTH......

NAME OF BUILDER: N. R. SHAW..... ADDRESS: 402 PEPPER ST
HASTINGS.....

NAME OF PLUMBER:..... ADDRESS:.....

NAME OF DRAINLAYER:..... ADDRESS:.....

VALUE OF WORK:

Building	<u>380.00</u>
Plumbing	.....
Drainage	.....
Total	<u>380.00</u>

NOTE:
The Builder, Plumber and
Drainlayer are required to
locate all underground services
before commencement of excavation.
Plans of electrical, and Post and
Telegraph cables are located at
the Borough Office.

FLOOR SPACE = 1300.57 Square Feet.

Signed N. R. Shaw.....

FOR OFFICE USE ONLY

APPROVED.....Building Inspector:.....196

APPROVED.....Health Inspector:.....196

SUBJECT TO:-

<u>FEEES PAID</u>		<u>PERMIT NOS.</u>	
Building	.....	Building	.....
Plumbing	.....	Plumbing	.....
Drainage	.....	Drainage	.....
Sewer	.....	Works	.....
Water	.....	Order	.....
Crossing	.....	

RECEIPT NO.
1016

HAVELOCK NORTH BOROUGH COUNCIL

Date 5th August 1970

APPLICATION FOR A BUILDING PERMIT

I HEREBY apply for a Building Permit for a Garage (state type of building) in accordance with the plans and specifications herewith and the particulars given below. BAYBUILT INDUSTRIES (1970) LTD.

Signature of Applicant P.O. BOX 3054

NAPIER

APPLICATION FOR PLUMBING AND / OR DRAINAGE PERMIT

I HEREBY apply for a permit to carry out Plumbing and/or Drainage work in accordance with the plans and specifications herewith and the particulars given below. BAYBUILT INDUSTRIES (1970) LTD.

Signature of Applicant P.O. BOX 3054

NAPIER

PLEASE USE BLOCK LETTERS AND GIVE FULL PARTICULARS

DESCRIPTION OF PROPERTY:

Assessment No. 1046/48 Lot 2 D.P. 6350

Location of Work 14 MIDDLE ROAD Havelock North (Street and No.)

NAME OF OWNER: MR. J. A. IRESON ADDRESS: as above IRESON

BAYBUILT INDUSTRIES (1970) LTD.

NAME OF BUILDER: P.O. BOX 3054 ADDRESS:

NAPIER

NAME OF PLUMBER: ADDRESS:

NAME OF DRAINLAYER: ADDRESS:

VALUE OF WORK:

Building 597.00
Plumbing
Drainage
Total 597.00

NOTE:

The Builder, Plumber and Drainlayer are required to locate all underground services before commencement of excavation. Plans of electrical, and Post and Telegraph cables are located at the Borough Office.

BAYBUILT INDUSTRIES (1970) LTD.

FLOOR SPACE = 320 Square Feet

Signed P.O. BOX 3054 NAPIER

FOR OFFICE USE ONLY

APPROVED Building Inspector: 196

APPROVED Health Inspector: 196

SUBJECT TO:- Adequate Stormwater. H. N. B. C.

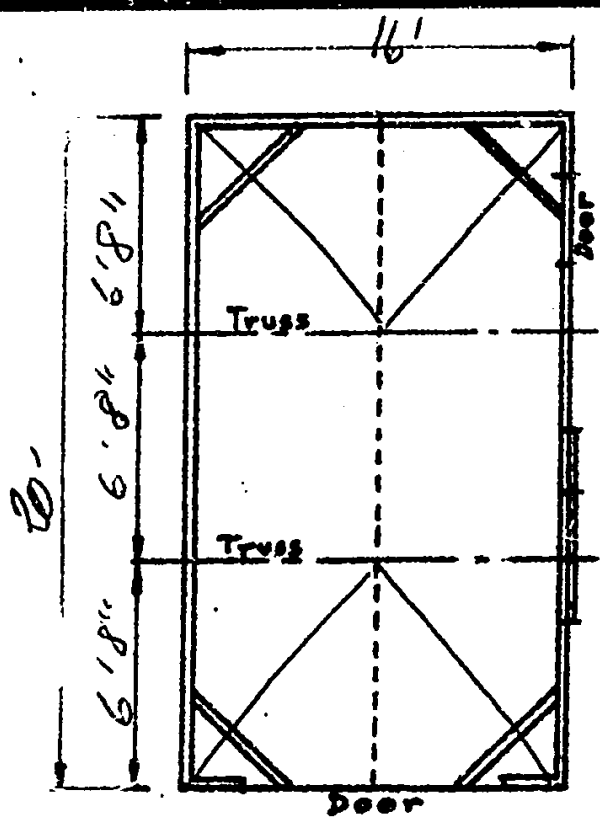
NOT TO BE USED FOR RESIDENTIAL, COMMERCIAL OR INDUSTRIAL PURPOSES.

PERMIT NOS.

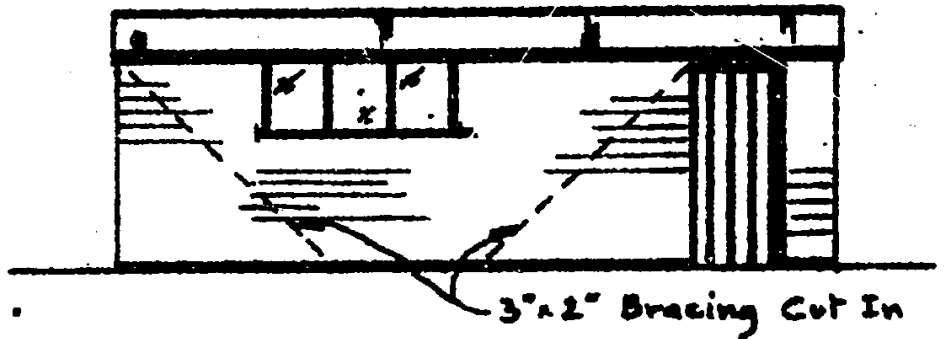
FEEES PAID Building 3.00 Plumbing Drainage Sewer Water Crossing

RECEIPT NO.

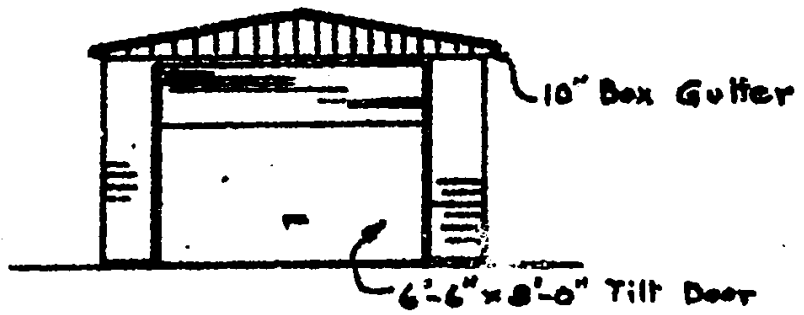
Building 23648 Plumbing Drainage Works Order



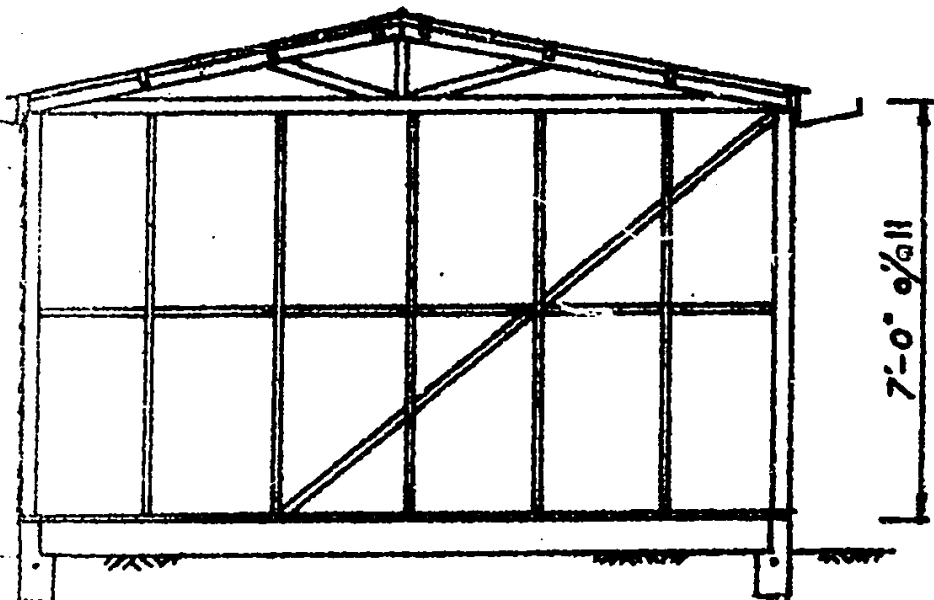
Plan



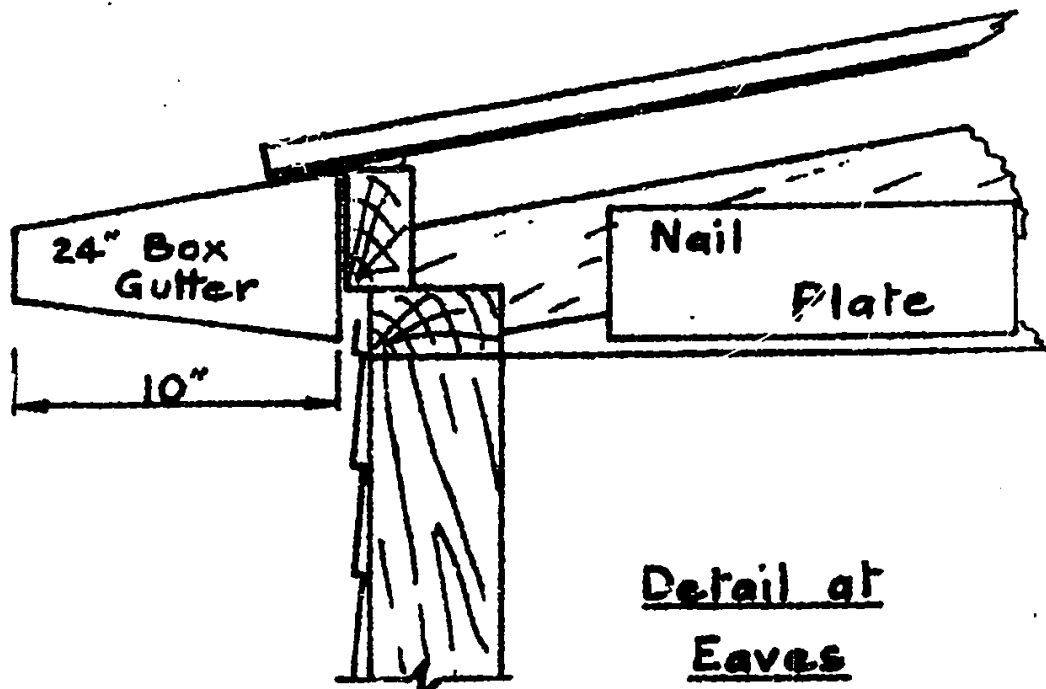
Elevation



Front



Section

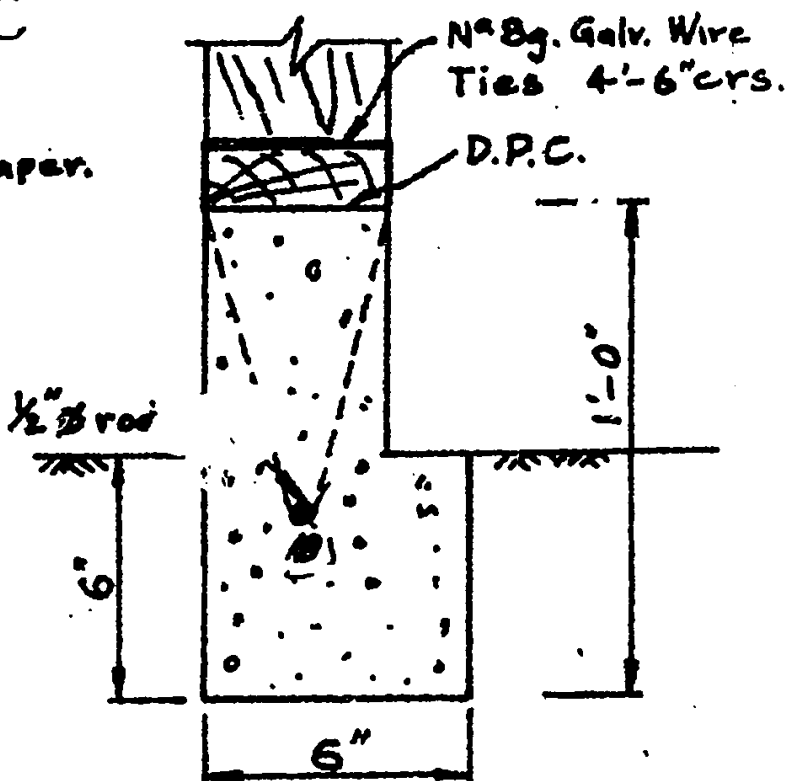


Detail at Eaves

SPECIFICATION

- Plates 4"x2" TPR Fastened at 4'-6" crs. with 8g Galv. Wire.
- Studs 4"x2" " 24" crs.
- Dwangs 4"x2" " 1 row
- Dragon Ties 3"x2" "
- Ridge 3"x2" "
- Roof Nail Plate Trusses 8'-0" crs. max. Type C Triple Grip Connected
- Purlins 4"x2" TPR Checked 2"
- Cladding Roof - Standard 26g G.C. Iron on Nailing & Paper.
Walls - Galv. Metal Weatherboard.
~~3/8" Flat Fibrolite~~

All Bearing Members No. 1 Framing Grade.



Footing

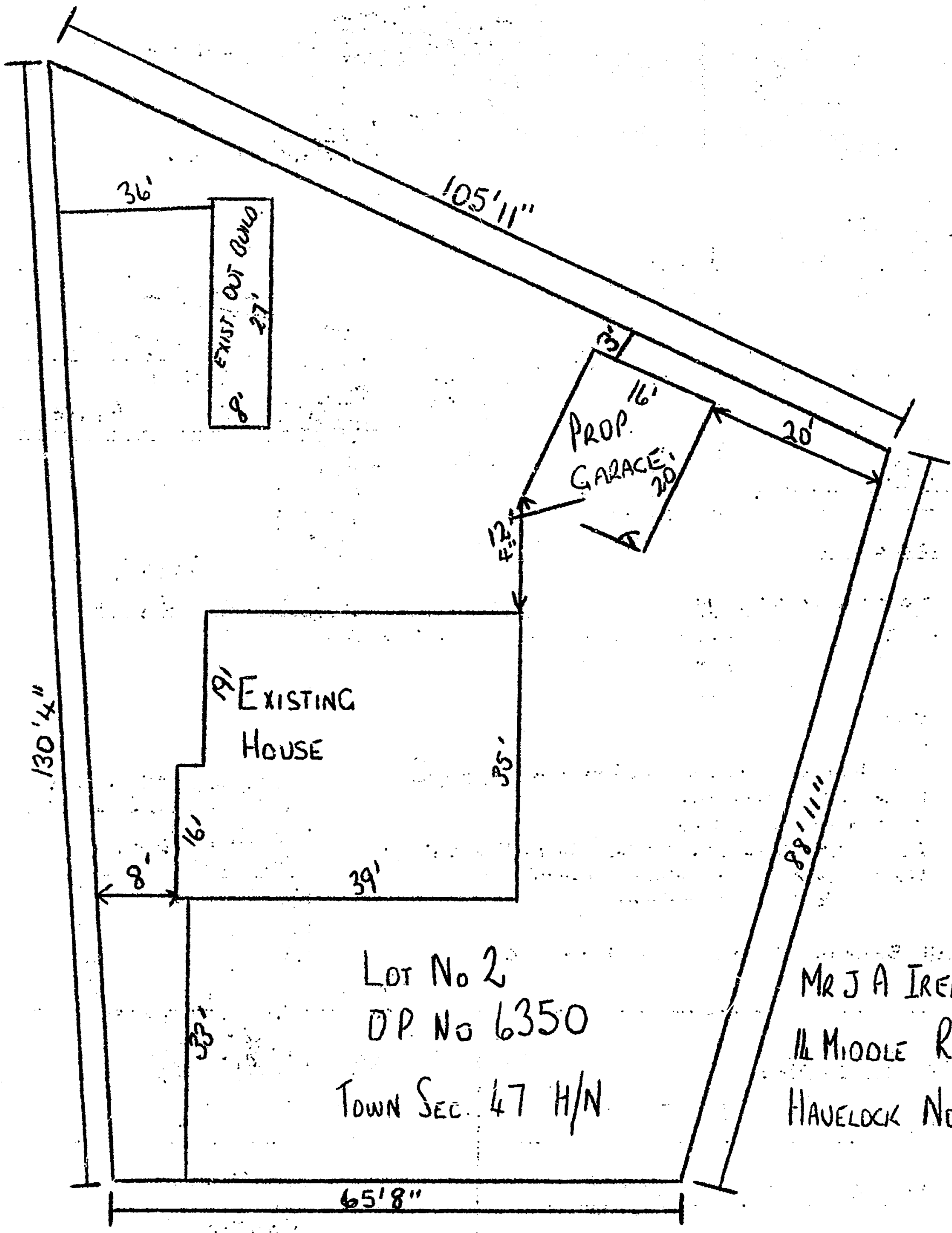
PROPOSED GARAGE

For MR. J. A. IRESON

At 14 MIDDLE ROAD,

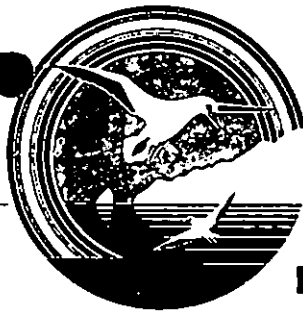
HAVELOCK NORTH

Note:- Site Plan on Back.



LOT No 2
D.P. No 6350
TOWN SEC. 47 H/N

MR J A IREDON
1/2 MIDDLE ROAD
HAUELOCK NORTH



Hastings District Council


BUILDING CONSENT NO: ABA 20001756

Section 35, Building Act 1991

ISSUED BY: HASTINGS DISTRICT COUNCIL

**DEMPSEY, ADRIAN
14 MIDDLE ROAD
HAVELOCK NORTH 4201**

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: DEMPSEY, ADRIAN Mailing Address: 14 MIDDLE ROAD, HAVELOCK NORTH 4201	All <input checked="" type="checkbox"/> Stage No of an intended .....stages
PROJECT LOCATION Street Address: 14 MIDDLE ROAD, HAVELOCK NORTH 4201	New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: FIT NEW WET FLOOR SHOWER & RELOCATE WC & BASIN
LEGAL DESCRIPTION Property Number: 71557 Valuation Roll No: 10460 40800 Legal Description: PT LOT 2 DP 6350	Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/> Estimated Value: \$5000
COUNCIL CHARGES The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$ ALL FEES ARE GST INCLUSIVE	Signed for and on behalf of the Council: Name: Sue Fraser  Position: Consents Administrator (Building) Date: 13 Dec 2000

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

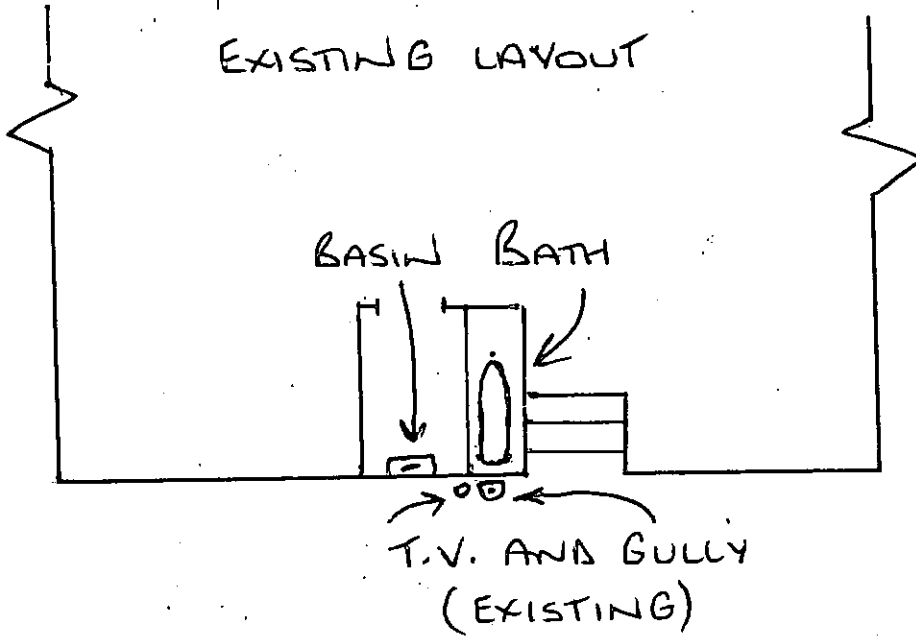
This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No: 20001756"

BMW PLUMBING

PO BOX 2197, STORTFORD LODGE, HASTINGS
118 CHARLOTTE CRESCENT, HASTINGS
Phone (06) 878 5513. Fax (06) 878 3755

H.D.C.

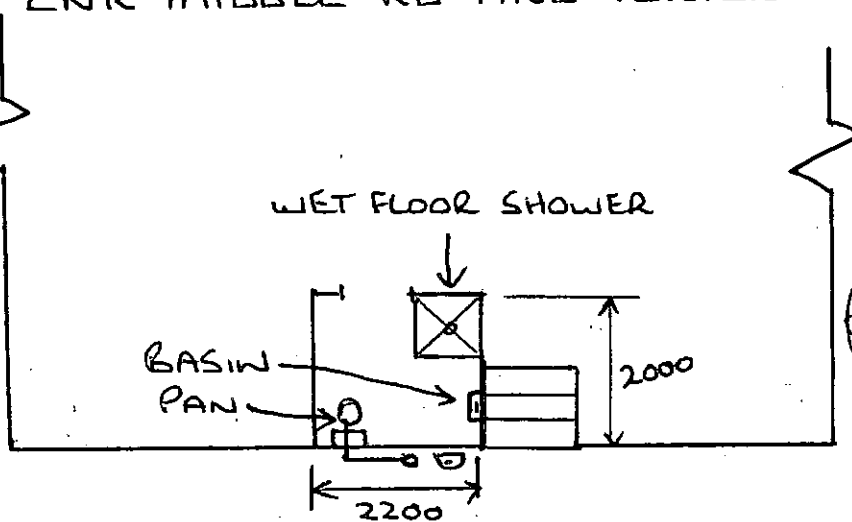
EXISTING LAYOUT



* NEW PARAPLEGIC BATHROOM FOR
ADRIAN DEMPSEY
OSTEOPATH

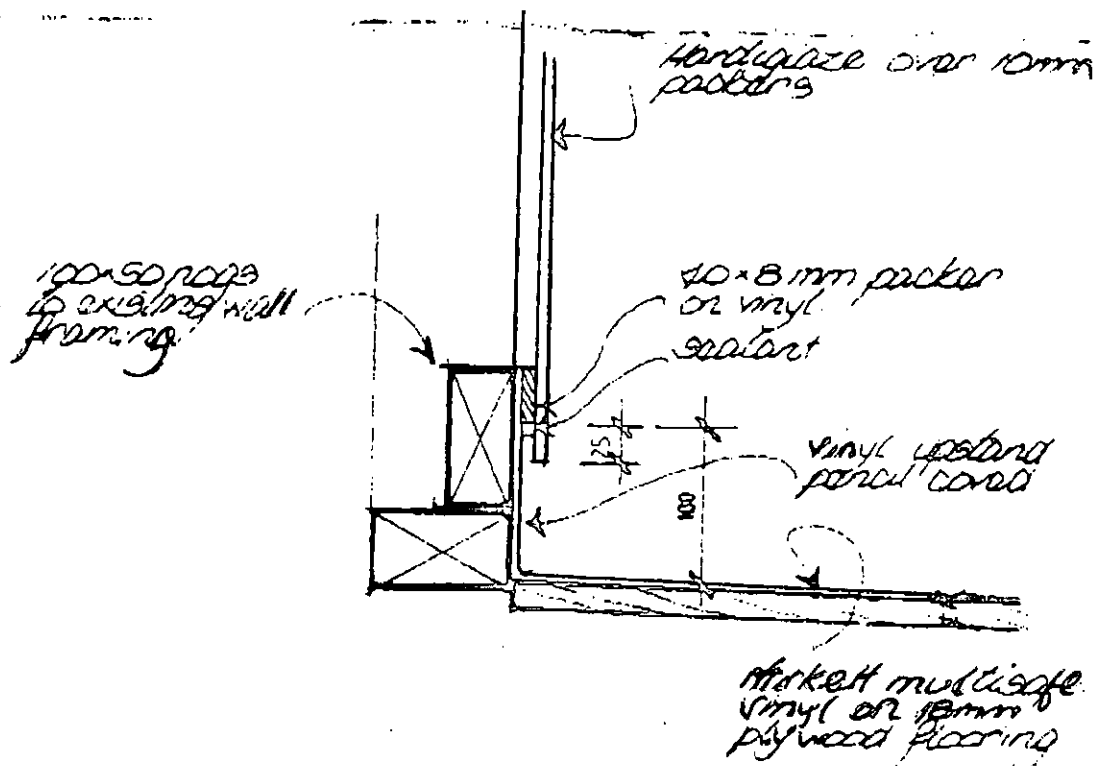
CNR MIDDLE RD AND PORTER DR. HAJELOCK NTH.

Approved by
HASTINGS DISTRICT COUNCIL
All work to compl. with the Building Act 1991
and New Zealand Building Code 1992
Approving Officer: *[Signature]*
Date: 2/1/2000



Mixer & Tempering
Valve.
for Shower & Basin.

SEWER FROM PAN
TO T.V.



covered upstand

FORM 5
BUILDING CONSENT
Section 51, Building Act 2004



**HASTINGS
DISTRICT
COUNCIL**

Building Consent Number ABA20110794

The Building

Street address of building: 14 Middle Road HAVELOCK NORTH 4130
Legal description of land where building is located: Part LOT 2 DP 6350
Building name: N/A
Location of building within site/block number: PT LOT 2 DP 6350
Level/unit number: One

The Owner

Name of owner: Adrian Neil Dempsey
Contact person: Adrian Dempsey
Mailing address: PO Box 3181 Hawkes Bay Mail Centre NAPIER 4142
Street address/registered office: 34 Tainui Drive
Phone number: Landline: 8785513
Mobile:
Daytime: 8785513
After hours:
Facsimile number:
Email address: ad.ost@btinternet.com

First point of contact for communications with the council/building consent authority:
Adrian Dempsey

Building Work

The following building work is authorised by this building consent:

Change of Use to Extend House for Child Care Centre & Remove Garage

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

A compliance schedule is required for the building.

The compliance schedule must contain the listed specified systems on the attached 'Compliance Schedule' page and comply with the performance standards for those systems required by the building code:

Attachments

Copies of the following documents are attached to this building consent:

Issued by Hastings District Council

14 September 2011



CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

SECTION 1

THE BUILDING

Building consent number

ABA20110794

Issued by:

Hastings District Council

Description of Work:

Remove Garage

Change of Use to Extend House for Child Care Centre &

Street Address of Building:

14 Middle Road HAVELOCK NORTH 4130

Legal Description of land where building is located:

Part LOT 2 DP 6350

Building Name:

N/A

Location of building within site/block number:

PT LOT 2 DP 6350

Level/unit number:

One

Current, lawfully established, use:

Commercial

Year first constructed:

1940's

Intended Specified Life:

Indefinite

SECTION 2

THE OWNER

Name of owner:

Adrian Neil Dempsey

*Contact Person:

Adrian Dempsey

Owner's mailing address:

**Ellis Builders Limited
PO Box 3181
Hawkes Bay Mail Centre
NAPIER 4142**

Street address/Registered office:

34 Tainui Drive

Owner's contact details:

Landline: **8785513**

Mobile:

After hours:

Facsimile Number:

Email: **ad.ost@btinternet.com**

Website:

SECTION 3

CODE COMPLIANCE

The building consent authority named below is satisfied, on reasonable grounds, that -

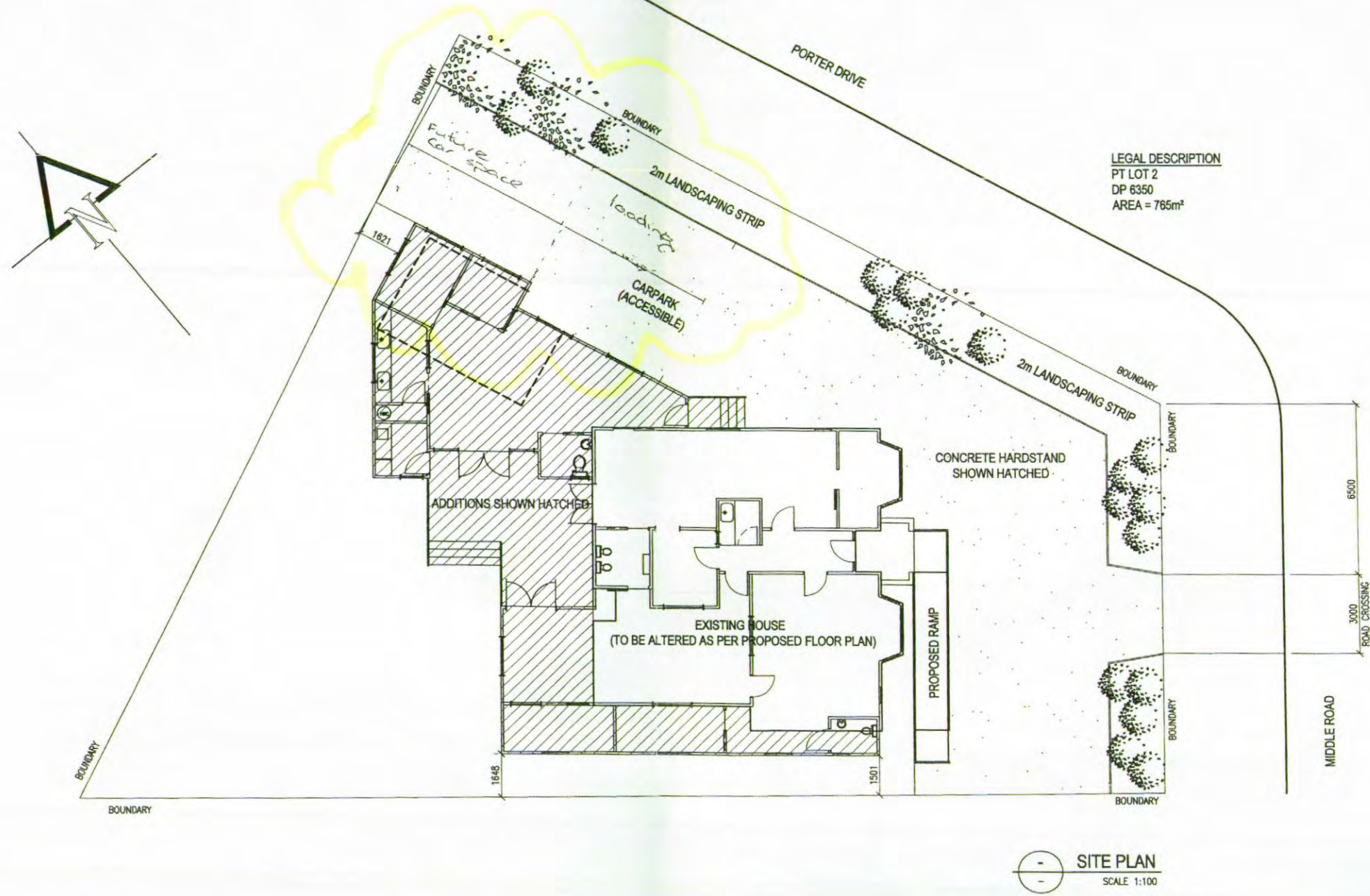
(a) the building work complies with the building consent;

Signature

Position Senior Business Support Officer
On behalf of Hastings District Council
31 October 2011

**ABA20110794
APPROVED - Site Copy
Hastings District Council
14/09/2011**

All dimensions to be verified on site before making any shop drawings or commencing any work. The copyright of this drawing remains with RFR Building Design and Project Management Ltd.



LEGAL DESCRIPTION
PT LOT 2
DP 6350
AREA = 765m²

0	22.7.11	MF	FOR BUILDING CONSENT
REV	DATE	BY	REASON



RFR Building Design & Project Management
PO Box 3410 Napier
Phone 06 842 1014 Fax 06 842 1015

Project Details
**PROPOSED ALTERATIONS
PARENT AND CHILD
14 MIDDLE ROAD**

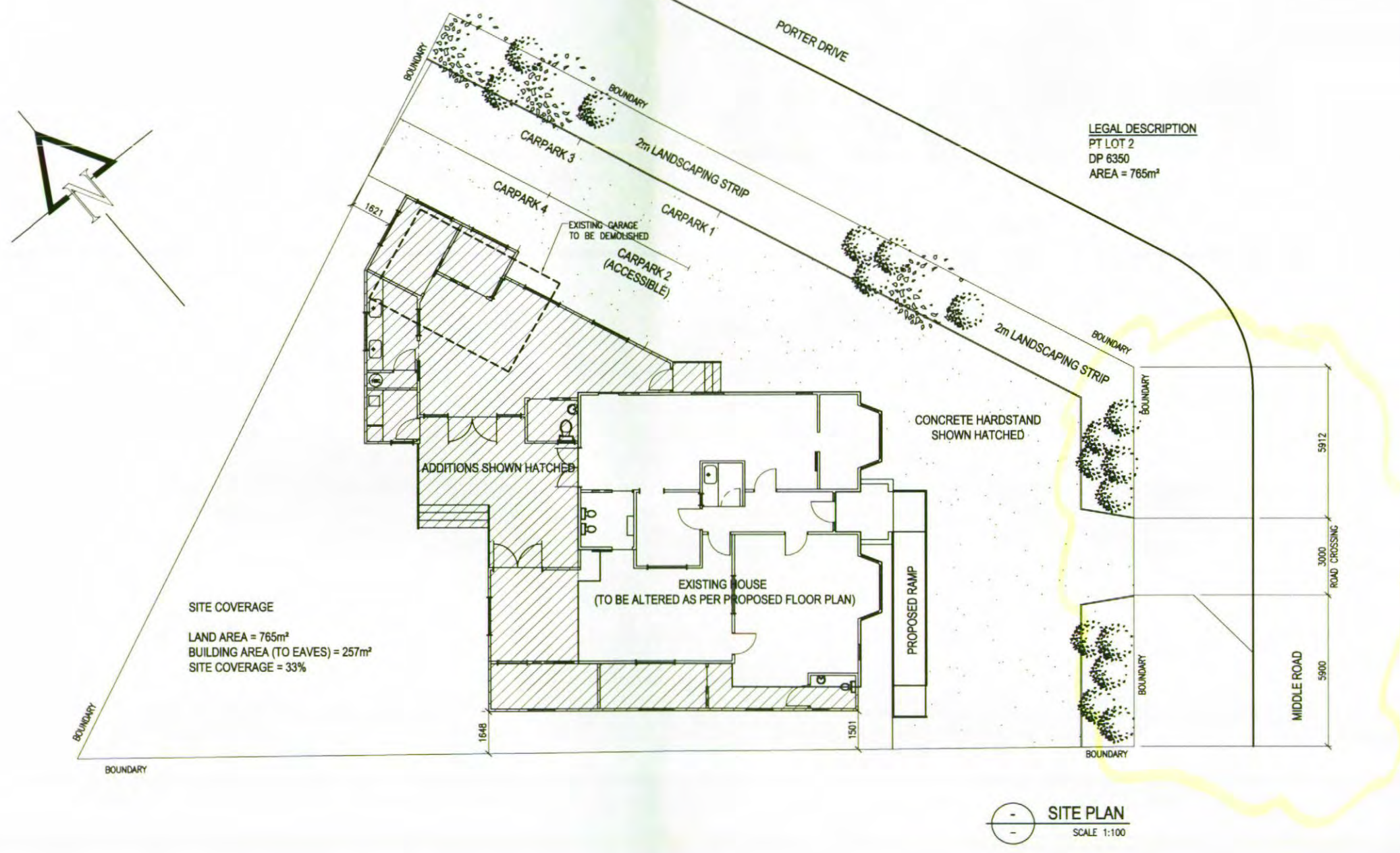
Sheet Title
SITE PLAN

Drawn	MF	Scale	1:100	(ON A1)
Approved	MF	Filename	11032	
Job No	11032	Sheet No	S01	Rev
				0

*CARPARKING
OK to submit
J. Jambak
14/09/2011*

ABA20110794
APPROVED - Site Copy
Hastings District Council
14/09/2011

All dimensions to be verified on site before making any shop drawings or commencing any work. The copyright of this drawing remains with RFR Building Design and Project Management Ltd.



VEHICLE CROSSING AS AGREED ON SITE WITH SIMON ROSSON

REV	DATE	BY	REASON
1	10.8.11	MF	REVISED LAYOUT
0	22.7.11	MF	FOR BUILDING CONSENT

RFR Building Design & Project Management
 PO Box 3410 Napier
 Phone 06 842 1014 Fax 06 842 1015

Project Details
PROPOSED ALTERATIONS
PARENT AND CHILD
14 MIDDLE ROAD

Sheet Title
SITE PLAN

Drawn	Scale	Sheet No	Rev
MF	1:100	S01	1
Approved	Filename	Job No	
MF	11032	11032	

ABA20110794
 APPROVED - Site Copy
 Hastings District Council
 14/09/2011

All dimensions to be verified on site before making any shop drawings or commencing any work. The copyright of this drawing remains with RFR Building Design and Project Management Ltd.

EXISTING ACCESSIBLE TOILET AND SHOWER TO BE STRIPPED OUT AND REFITTED AS PER PROPOSED FLOOR PLAN

REMOVE EXISTING PORCH

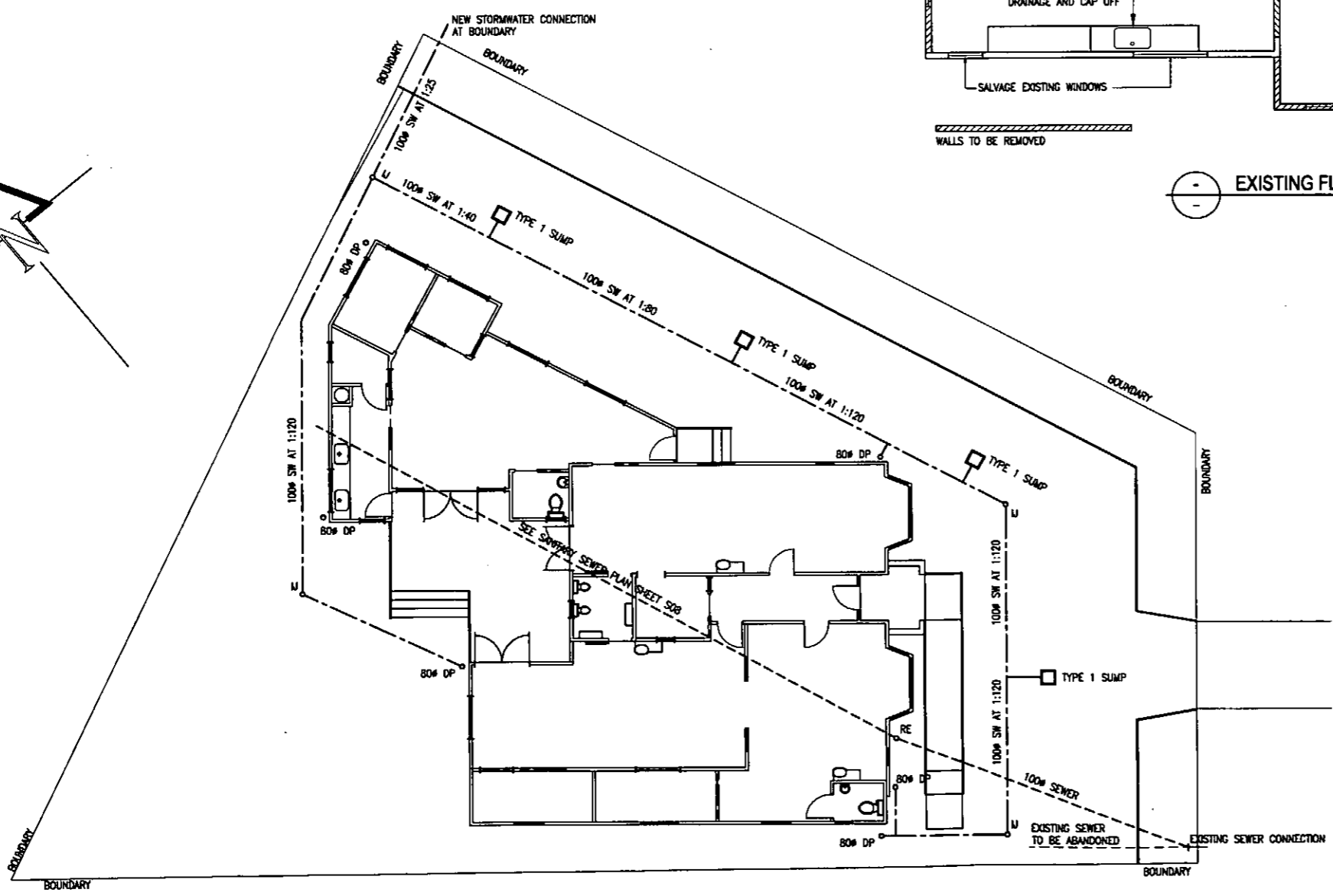
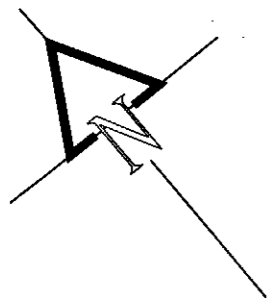
REMOVE PLUMBING AND DRAINAGE AND CAP OFF

SALVAGE EXISTING WINDOWS

WALLS TO BE REMOVED

SALVAGE EXISTING WINDOWS

EXISTING FLOOR AND DEMOLITION PLAN
 SCALE 1:50



DRAINAGE PLAN
 SCALE 1:100

1	10.8.11	MF	REVISED LAYOUT
0	22.7.11	MF	FOR BUILDING CONSENT
REV	DATE	BY	REASON



RFR Building Design & Project Management
 PO Box 3410 Napier
 Phone 06 842 1014 Fax 06 842 1015

Project Details
**PROPOSED ALTERATIONS
 PARENT AND CHILD
 14 MIDDLE ROAD**

Sheet Title
**DRAINAGE PLAN
 AND
 DEMOLITION PLAN**


Drawn	Scale	AS SHOWN (ON A1)
MF		
Approved	Filename	
MF	11032	
Jab No	Sheet No	Rev
11032	S02	1

ABA20110794
 APPROVED - Site Copy
 Hastings District Council
 14/09/2011

ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING ACT AND NZS3804:1999 AND TO MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS
 ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE BEFORE PROCEEDING WITH ANY CONSTRUCTION

TIMBER GRADING AND TREATMENT
 ALL TIMBER WALL FRAMING AND DOOR AND WINDOW REVEALS TO BE SGR GRADE H1.2 EXCEPT WHERE NOTED OTHERWISE.

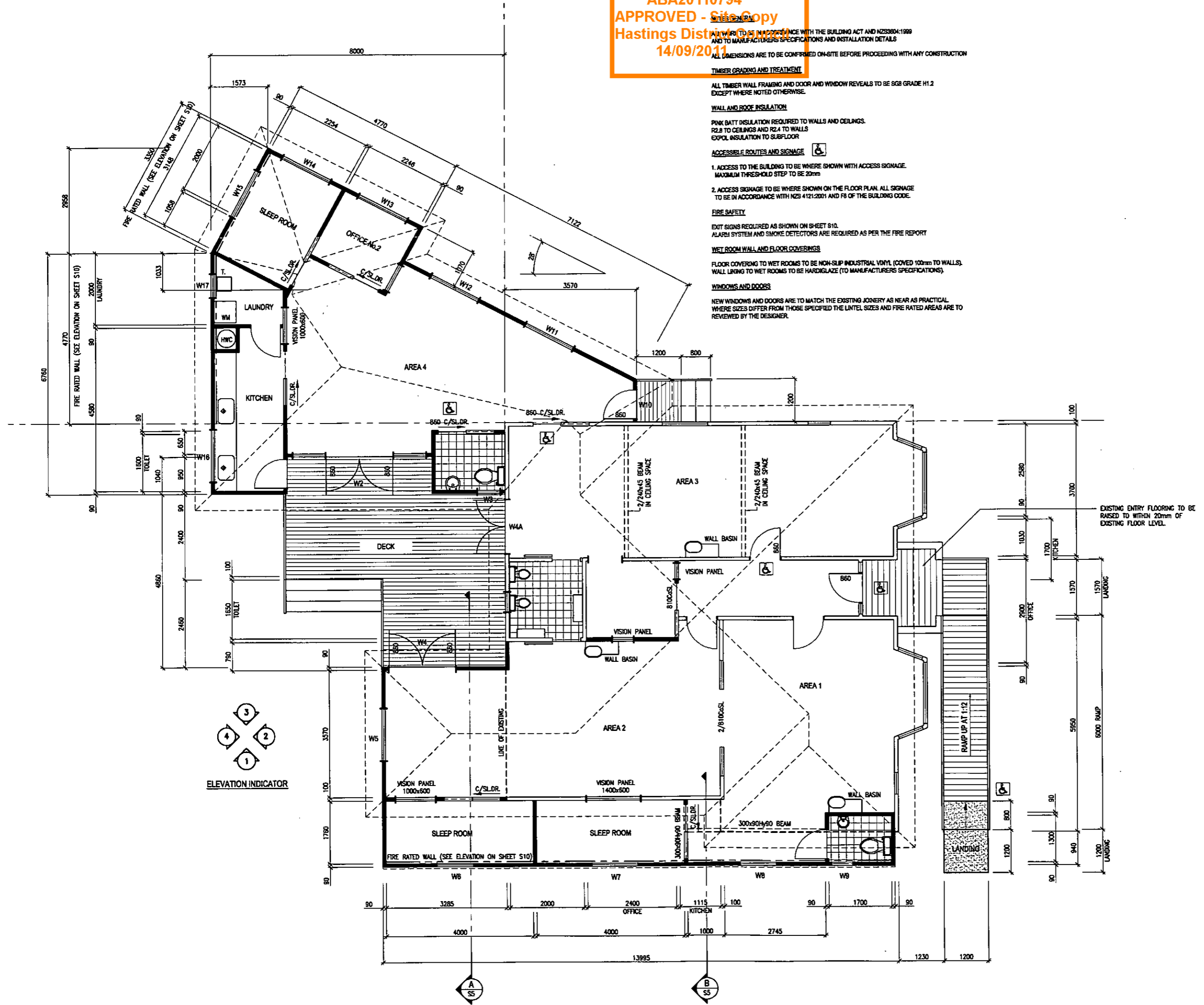
WALL AND ROOF INSULATION
 PINK BATT INSULATION REQUIRED TO WALLS AND CEILINGS.
 R2.0 TO CEILINGS AND R2.4 TO WALLS
 EXPOL INSULATION TO SUBFLOOR

ACCESSIBLE ROUTES AND SIGNAGE 
 1. ACCESS TO THE BUILDING TO BE WHERE SHOWN WITH ACCESS SIGNAGE. MAXIMUM THRESHOLD STEP TO BE 20mm
 2. ACCESS SIGNAGE TO BE WHERE SHOWN ON THE FLOOR PLAN. ALL SIGNAGE TO BE IN ACCORDANCE WITH NZS 4121:2001 AND F8 OF THE BUILDING CODE.

FIRE SAFETY
 EXIT SIGNS REQUIRED AS SHOWN ON SHEET S10.
 ALARM SYSTEM AND SMOKE DETECTORS ARE REQUIRED AS PER THE FIRE REPORT

WET ROOM WALL AND FLOOR COVERINGS
 FLOOR COVERING TO WET ROOMS TO BE NON-SLIP INDUSTRIAL VINYL (COVERED 100mm TO WALLS).
 WALL LINING TO WET ROOMS TO BE HARDGLAZE (TO MANUFACTURERS SPECIFICATIONS).

WINDOWS AND DOORS
 NEW WINDOWS AND DOORS ARE TO MATCH THE EXISTING JOINERY AS NEAR AS PRACTICAL. WHERE SIZES DIFFER FROM THOSE SPECIFIED THE LINTEL SIZES AND FIRE RATED AREAS ARE TO BE REVIEWED BY THE DESIGNER.



EXISTING ENTRY FLOORING TO BE RAISED TO WITHIN 20mm OF EXISTING FLOOR LEVEL.

All dimensions to be verified on site before making any shop drawings or commencing any work. The copyright of this drawing remains with RFR Building Design and Project Management Ltd.

1	10.6.11	MF	REVISED LAYOUT
0	22.7.11	MF	FOR BUILDING CONSENT
REV	DATE	BY	REASON



RFR Building Design & Project Management
 PO Box 3410 Napier
 Phone 06 842 1014 Fax 06 842 1015

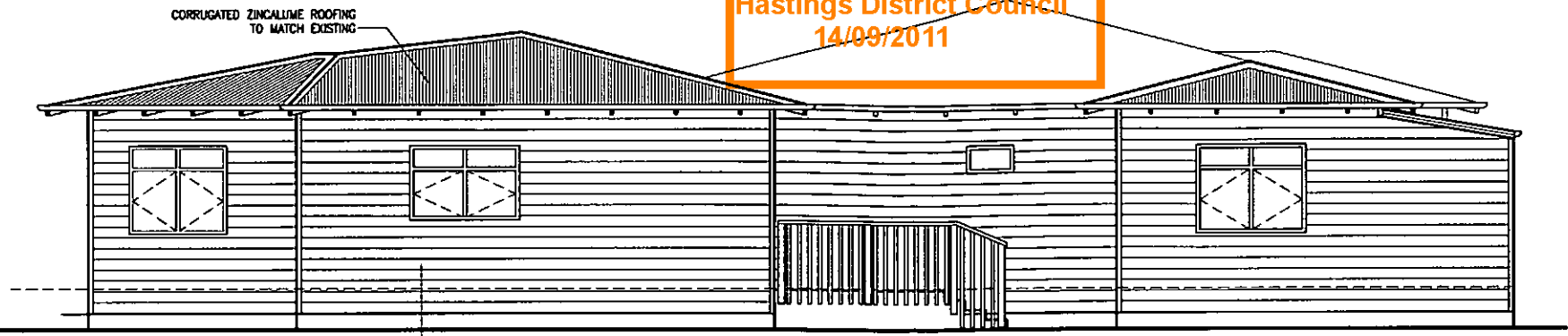
Project Details
**PROPOSED ALTERATIONS
 PARENT AND CHILD
 14 MIDDLE ROAD**

Sheet Title
PROPOSED FLOOR PLAN

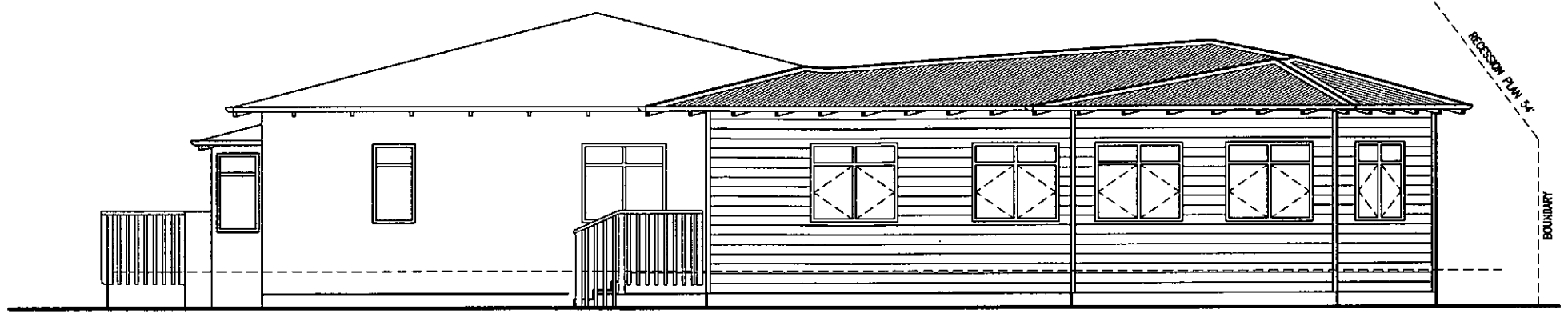
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Approved	MF	Filename	11032	
Job No	11032	Sheet No	S03	Rev
				1

ABA20110794
 APPROVED - Site Copy
 Hastings District Council
 14/09/2011

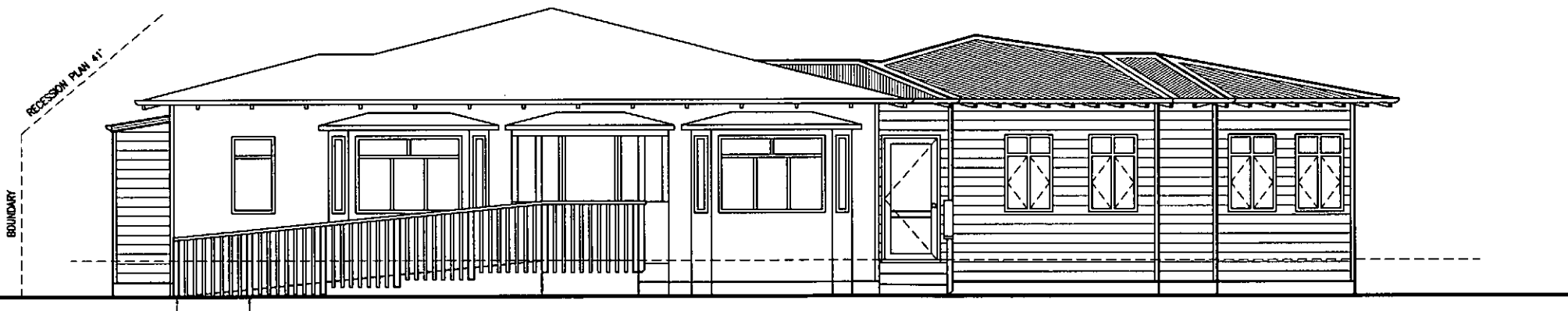
All dimensions to be verified on site before making any shop drawings or commencing any work. The copyright of this drawing remains with RFR Building Design and Project Management Ltd.



4 NORTH ELEVATION
 S03 SCALE 1:50

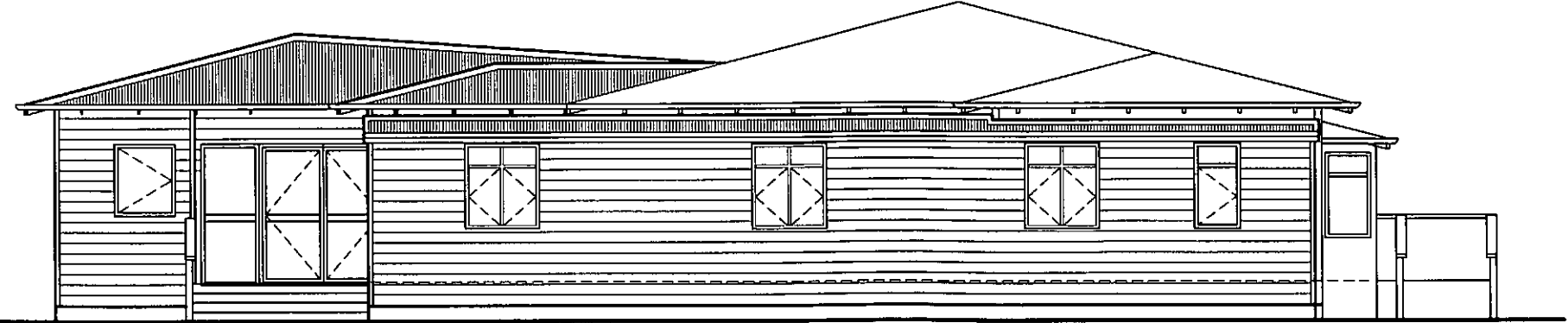


3 EAST ELEVATION
 S03 SCALE 1:50



CARRY END 2 90x90 H5 UPRIGHTS INTO 300 SQ. x 400 DEEP CONC. PAD. DWANG FOR 45x45 UPRIGHTS AT 100mm CRS.

2 SOUTH ELEVATION
 S03 SCALE 1:50



1 WEST ELEVATION
 S03 SCALE 1:50

REV	DATE	BY	REASON
1	10.8.11	MF	REVISED LAYOUT
D	22.7.11	MF	FOR BUILDING CONSENT



RFR Building Design & Project Management
 PO Box 3410 Napier
 Phone 05 842 1014 Fax 05 842 1015

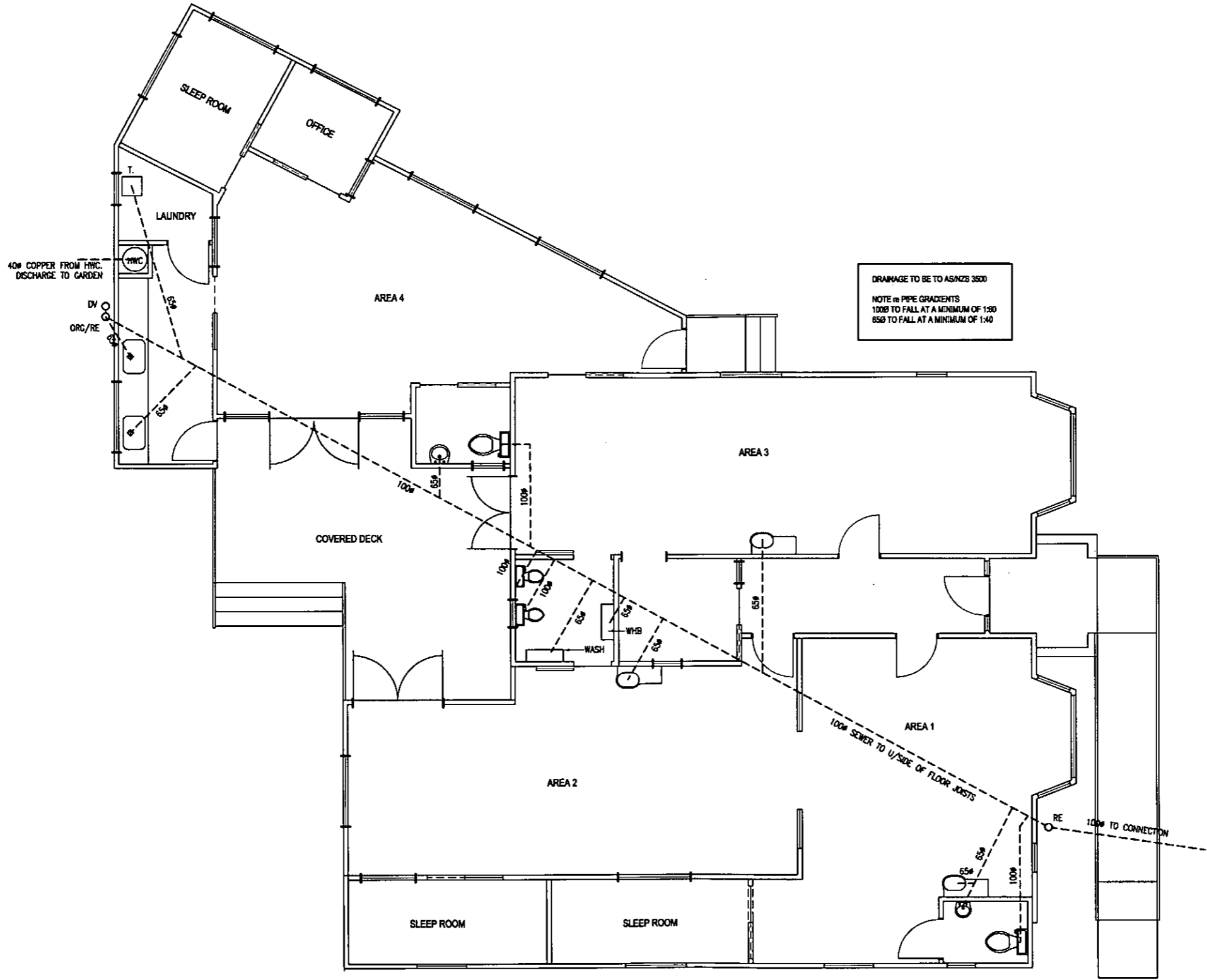
Project Details
**PROPOSED ALTERATIONS
 PARENT AND CHILD
 14 MIDDLE ROAD**

Sheet Title
ELEVATIONS

Drawn	MF	Scale	1:50	(ON A1)
Approved	MF	Filename	11032	
Job No	11032	Sheet No	S04	Rev
				1

ABA20110794
APPROVED - Site Copy
Hastings District Council
14/09/2011

All dimensions to be verified on site before making any shop drawings or commencing any work. The copyright of this drawing remains with RFR Building Design and Project Management Ltd.



1	10.8.11	MF	REVISED LAYOUT
0	22.7.11	MF	FOR BUILDING CONSENT
REV	DATE	BY	REASON



RFR Building Design & Project Management
 PO Box 3410 Napier
 Phone 08 842 1014 Fax 08 842 1015

Project Details
PROPOSED ALTERATIONS
PARENT AND CHILD
14 MIDDLE ROAD

Sheet Title
DRAINAGE PLAN

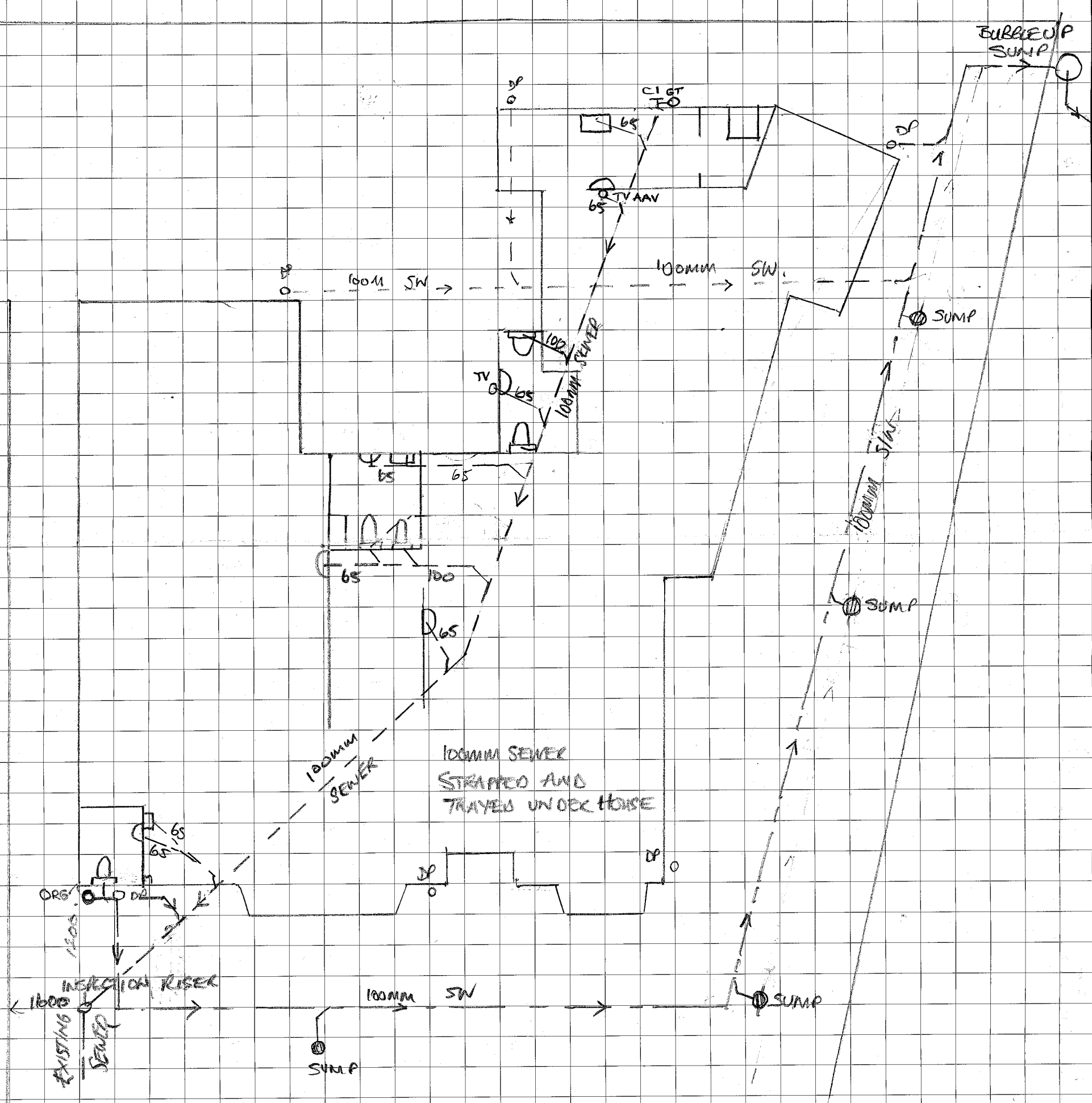
Drawn	MF	Scale	1:50	(ON A1)
Approved	MF	Filename	11032	
Job No	11032	Sheet No	S08	Rev
				1

As-Built Drainage Plan



HASTINGS
DISTRICT
COUNCIL

ABA No:	20110794	Property ID	71557
Owner:	A. Dempsey & T. Fitz-Cerald		
Address:	14 Middle Rd		
Drainlayer:	PANTON PLUMBING	Reg. No.	
Sign:		Date:	19.10.11



Minimum Standards: 1. Drawn to Scale with a Ruler. 2. Drawn in Ink. 3. Drain Fully Dimensioned and Labelled. 4. Road Indicated. 5. Connection Points Indicated. 6. North Point Indicated. 7. To be Supplied at Time of Inspection.

Hastings District Council
 207 Lyndon Rd East, Hastings, 4122
 Private Bag 9002, Hastings, 4156
 Ph 871 5000, Fax 871 5115
 amendments@hdc.govt.nz

CUSTOMER SERVICE
 15 SEP 2011
 RECEIVED



HASTINGS
 DISTRICT
 COUNCIL

AMENDMENT APPLICATION FORM

- NOTE 1: This form must be completed and attached to every amendment you submit to Council.
 NOTE 2: All additional fees will be charged and invoiced (payable) prior to receiving your Code Compliance Certificate.
 NOTE 3: Council has the right to refuse incomplete applications. Please allow 20 working days for processing (Council will endeavour to prioritise all amendments), however if all required information is not supplied you may experience additional delays in obtaining your amended consent.
 NOTE 4: Documentation submitted on CD or via email must be submitted in multi-page PDF format.

SECTION 1: OWNER/AGENT: this form must be completed by the owner or agent

Name of Owner Agent: Ellis Builders Ltd Date: 13 September 2011

Building Consent Number **ABA:20110794**

Project Address: 14 Middle Road, Havelock North

How would you like to receive the approved amendments? Collect in person Email (limit 4 Mb) Post (if posted provide mailing address below)

Postal Address: P.O. Box 3181, Onekawa, Napier 4142

Owner's/Agent's contact details: Murray Benson

Landline: 835 8699 Mobile: 021 772 117 Email: ellis.builders@xtra.co.nz

SECTION 2 - AMENDMENT DESCRIPTION: comprehensive written description of changes this amendment is applicable to

Project Description - Reference sheet numbers amendments relate to (e.g. Sheets 3 & 8, Floor Plan and Bracing Plan - window W9 and Bracing element B3 positions swapped. Sheet 4, Western Elevation - window W9 repositioned)

1] Add steps to right hand end of accessible ramp - refer Sheet SO3

2] Bathroom off area 1 now adult toilet pan in lieu of 'junior' - refer Sheet SO3

3] Ablution between Area 2 & 3 layout 'mirrored' plus addition of Caroma Valette basin at adult height - refer Sheet SO3 and Caroma detail attached

4] Accessible toilet remains set out as per NZS 4121:2003 but with addition of a Junior toilet pan in a new added recess - refer Sheet SO3

5] Add a wash trough in Area 4 (same as the one in ablution between Areas 2 & 3) - refer Sheet SO3

6] Kitchen/Laundry spaces "mirrored" with externally mounted Dux 160 litre hot water cylinder - Refer Sheet SO3 and Data Sheet attached

7] Due to the above there has been some minor changes to the bracing elements and these are shown on the attached reworked Gib Ezybrace spreadsheet, revised sheet SO8, and accompanying literature.

SECTION 3: PLANS: include references to all sheet numbers with changes and highlight around the changes on the drawings/plans

1 copy of all plans. The plans must be:

Drawn clearly to scale (ruled, not sketched)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A	Clear and concise copies (*not reduced in size)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
On plain white, preferably A3* paper	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A	Include the designers name	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
Drawn in ink (not pencil)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A	Engineering details are drawn	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
Changed Sheet Numbers referenced	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A	Changes highlighted on all drawings/plans (ballooned/clouded)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A

SECTION 4: SPECIFICATIONS: new specifications relevant to changes provided

Specific design calculations & details	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A	Identify compliance with the NZ Building Code	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
Structural calculations & producer statements <i>BASED CALCS</i>	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A	List all Alternative Solutions	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
Fire safety systems	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A	Alternative solutions calculations / producer statements	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
Details of all materials, fittings and installation requirements for these amendments	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A		<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A

Office use

Handling Officer: _____ Property ID: _____

Amendment application form: Completed by the owner agent on behalf of and with written authority from the owner Yes No

All dimensions to be verified on site before making any shop drawings or commencing any work. The copyright of this drawing remains with RFR Building Design and Project Management Ltd.

NOTES GENERAL

ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING ACT AND NZS3604:1999 AND TO MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS

ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE BEFORE PROCEEDING WITH ANY CONSTRUCTION

TIMBER GRADING AND TREATMENT

ALL TIMBER WALL FRAMING AND DOOR AND WINDOW REVEALS TO BE S68 GRADE H1.2 EXCEPT WHERE NOTED OTHERWISE.

WALL AND ROOF INSULATION

PINK BATT INSULATION REQUIRED TO WALLS AND CEILINGS. R2.8 TO CEILINGS AND R2.4 TO WALLS. EXPOL INSULATION TO SUBFLOOR.

ACCESSIBLE ROUTES AND SIGNAGE

1. ACCESS TO THE BUILDING TO BE WHERE SHOWN WITH ACCESS SIGNAGE. MAXIMUM THRESHOLD STEP TO BE 20mm
2. ACCESS SIGNAGE TO BE WHERE SHOWN ON THE FLOOR PLAN. ALL SIGNAGE TO BE IN ACCORDANCE WITH NZS 4121:2001 AND F8 OF THE BUILDING CODE.

FIRE SAFETY

EXIT SIGNS REQUIRED AS SHOWN ON SHEET S10. ALARM SYSTEM AND SMOKE DETECTORS ARE REQUIRED AS PER THE FIRE REPORT

WET ROOM WALL AND FLOOR COVERINGS

FLOOR COVERING TO WET ROOMS TO BE NON-SLIP INDUSTRIAL VINYL (COVERED 100mm TO WALLS). WALL LINING TO WET ROOMS TO BE HARDGLAZE (TO MANUFACTURERS SPECIFICATIONS).

WINDOWS AND DOORS

NEW WINDOWS AND DOORS ARE TO MATCH THE EXISTING JOINERY AS NEAR AS PRACTICAL. WHERE SIZES DIFFER FROM THOSE SPECIFIED THE LINTEL SIZES AND FIRE RATED AREAS ARE TO BE REVIEWED BY THE DESIGNER.

PLAN SHOWING SUMMARY OF CHANGES SHOWN ON "AMENDMENT APPLICATION FORM" DATED 13/09/11

ABA 20110794

1	10.8.11	MF	REVISED LAYOUT
0	22.7.11	MF	FOR BUILDING CONSENT
REV	DATE	BY	REASON

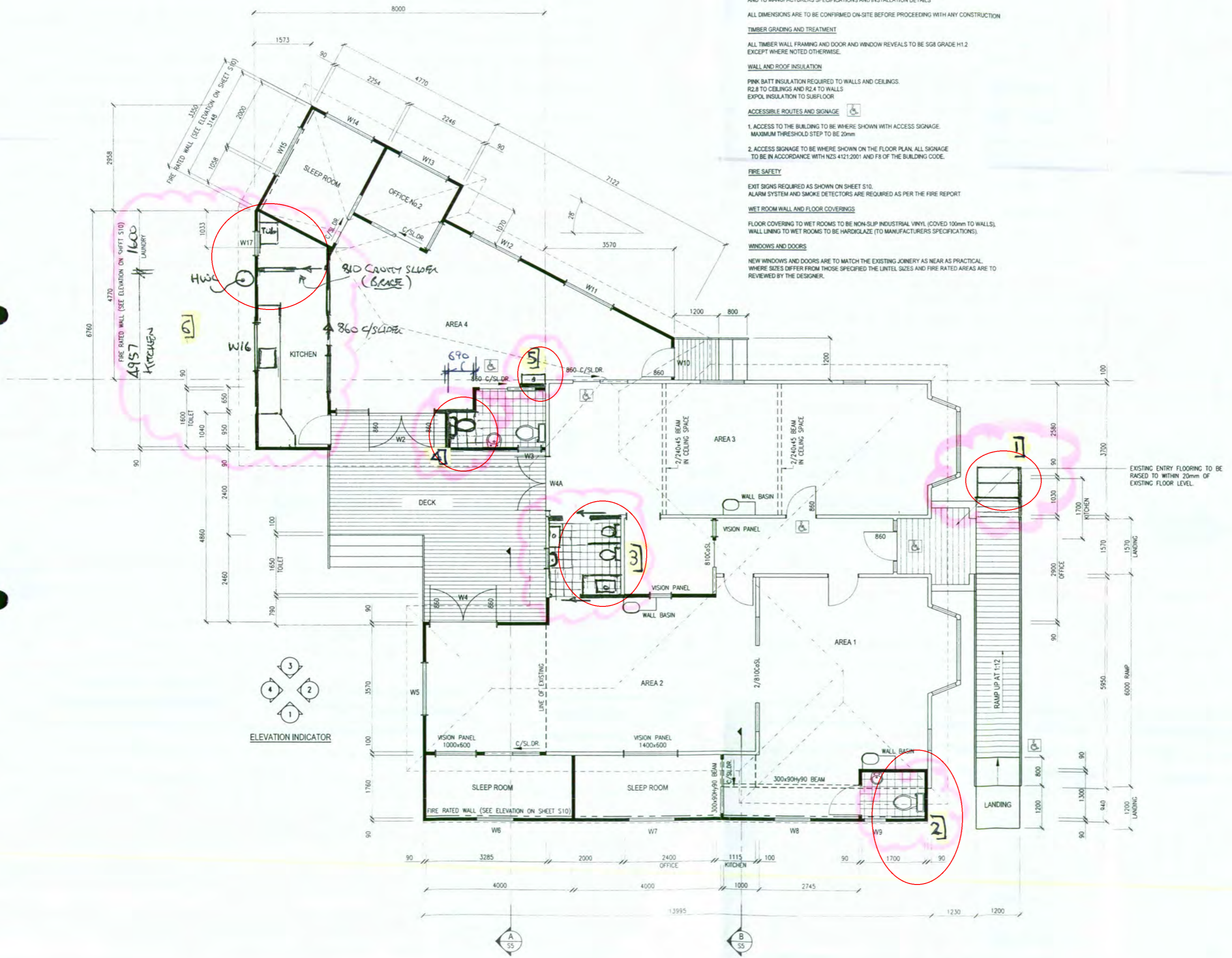


RFR Building Design & Project Management
PO Box 3410 Napier
Phone 06 842 1014 Fax 06 842 1015

Project Details
**PROPOSED ALTERATIONS
PARENT AND CHILD
14 MIDDLE ROAD**

Sheet Title
PROPOSED FLOOR PLAN

Drawn	MF	Scale	1:50	(ON A1)
Approved	MF	Planning	11032	
11032	S03			2



- GSI-N
- BLI-H
- BLG-H
- BRACE CAVITY
- EPI
- SEE BELOW

SPECIAL NOTE:

BRACES A1, A2, A3, A4, R1, R2, R3, R4 ARE TWO LAYERS OF 13MM FYRELINE. FIRST LAYER FIXED WITH 32MM X 6G GIB GRABBER SCREWS @ 100MM CENTRES TO PERIMETER AND CORNERS AS PER EZYBRACE PATTERN



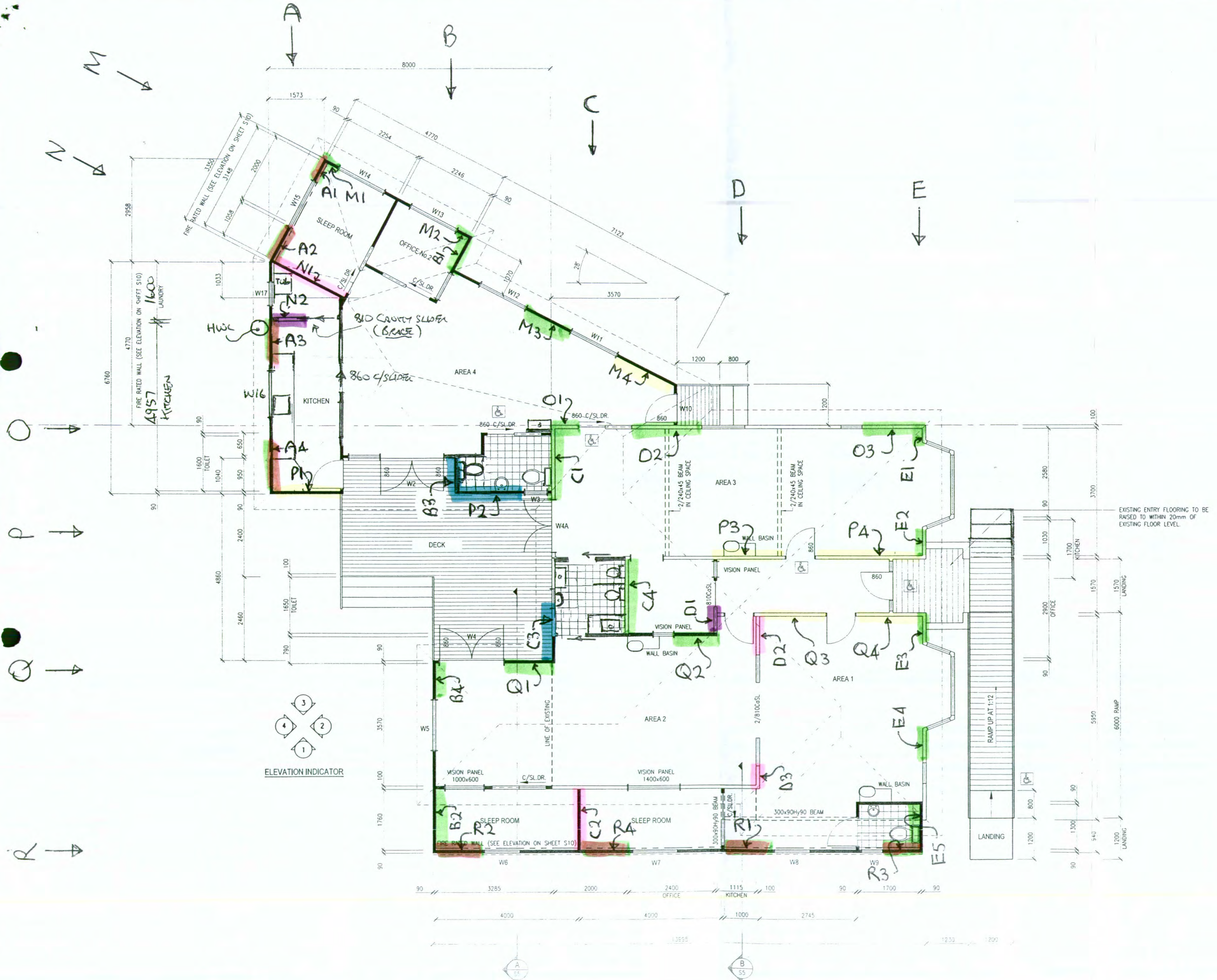
RFR Building Design & Project Management
PO Box 3410 Napier
Phone 06 842 1014 Fax 06 842 1015

Project Details
**PROPOSED ALTERATIONS
PARENT AND CHILD
14 MIDDLE ROAD**

Sheet Title
**BRACING PLAN
08/09/11**

Scale: WF 1:50 (ON A1)
MF 1:100

11032 508





AMENDMENT APPLICATION FORM

NOTE 1: This form must be completed and attached to every amendment you submit to Council.

NOTE 2: All additional fees will be charged and invoiced (payable) prior to receiving your Code Compliance Certificate.

NOTE 3: Council has the right to refuse incomplete applications. Please allow 20 working days for processing (Council will endeavour to prioritise all amendments), however if all required information is not supplied you may experience additional delays in obtaining your amended consent.

NOTE 4: Documentation submitted on CD or via email must be submitted in multi-page PDF format.

SECTION 1: OWNER/AGENT: this form must be completed by the owner or agent

Name of <input type="checkbox"/> Owner <input type="checkbox"/> Agent: Ellis Builders Ltd		Date: 22 September 2011
Building Consent Number ABA:20110794		
Project Address: 14 Middle Road, Havelock North		
How would you like to receive the approved amendments? <input type="checkbox"/> Collect in person <input type="checkbox"/> Email (limit 4 Mb) <input type="checkbox"/> Post (if posted provide mailing address below)		
Postal Address: P.O. Box 3181, Onekawa, Napier 4142		
Owner's/Agent's contact details: Murray Benson		
Landline: 835 8699	Mobile: 021 772 117	Email: ellis.builders@xtra.co.nz

SECTION 2 - AMENDMENT DESCRIPTION: comprehensive written description of changes this amendment is applicable to

Project Description - Reference sheet numbers amendments relate to (e.g. Sheets 3 & 8, Floor Plan and Bracing Plan - window W9 and Bracing element B3 positions swapped. Sheet 4, Western Elevation - window W9 repositioned)

- 1] Add Caroma Valette Basin and Echo mixer to kitchen area as shown on Plan SO3 R3**
- 2] Reconfigure sleep rooms on south side to alter M2 of each room - refer Plan SO3 R3 and Lintel sizing info**
- 3] Add bi-folding doors in Area 3 to screen off area out from bay window. Lintel same size as ones in roof space but carrying only weight of itself and hollow core doors - refer Plan SO3 R3**
- 4] Add wash tub to deck area where shown with cold tap and hot (tempered) tap - refer Plan SO3 R3**
- 5] Create opening between Office 2 and sleep room (no door) - refer Sheet SO3 R3**
- 6] Reduce width of lean-to area on south side from 1760mm to 1625mm to retain 1500mm side boundary measurement. Boundary confirmed by survey (John Craven) - Refer Sheet SO3 R3**

SECTION 3: PLANS: include references to all sheet numbers with changes and highlight around the changes on the drawings/plans

1 copy of all plans. The plans must be:

Drawn clearly to scale (ruled, not sketched)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	Clear and concise copies (*not reduced in size)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A
On plain white, preferably A3* paper	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	Include the designers name	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A
Drawn in ink (not pencil)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	Engineering details are drawn	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
Changed Sheet Numbers referenced	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	Changes highlighted on all drawings/plans (ballooned/clouded)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A

SECTION 4: SPECIFICATIONS: new specifications relevant to changes provided

Specific design calculations & details	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	Identify compliance with the NZ Building Code	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
Structural calculations & producer statements	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A	List all Alternative Solutions	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
Fire safety systems	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A	Alternative solutions calculations / producer statements	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
Details of all materials, fittings and installation requirements for these amendments	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A		<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A

Office use

Handling Officer:	Property ID:
Amendment application form: Completed by the <input type="checkbox"/> owner <input type="checkbox"/> agent on behalf of and with written authority from the owner	
Yes	No

ABA20110794
APPROVED AMENDMENT # 2
Refer to previous plans for
past endorsements
30/09/2011

If calling ask for Matthew Holmes
TRIM Ref: 71557#0043



HASTINGS
DISTRICT
COUNCIL

30 September 2011

Ellis Builders Ltd
PO Box 3181
Hawkes Bay Mail Centre
NAPIER 4142

Dear Ellis Builders Ltd

Building Consent No: ABA20110794
Proposal: Change of Use to Extend House for Child Care Centre & Remove Garage
Building Project at: 14 Middle Road HAVELOCK NORTH 4130

Following your request for an amendment to the above consent, please find the approved plans appended and the revised conditions and/or inspections listed below if applicable:

Amendment Granted – No Additional Conditions or Inspections

All existing conditions and inspections specified in the approved Building Consent still apply. The amendment is approved with no additional conditions or inspections.

The processing costs incurred, and any extra inspections required as a result of the amendment, will be charged to you prior to the issue of a Code Compliance Certificate.

Should you have any questions in relation to this matter then please do not hesitate to call me at (06) 871 5137.

Yours sincerely

Matthew Holmes
Building Officer
bcinfo@hdc.govt.nz

ABA20110794
 APPROVED - Site Copy
 Hastings District Council
 14/09/2011

/Household Kitchen, Bathroom & Laundry

Mild Steel Brackets (Pair)

TUBBR

\$31.73
 excl. GST

'Tub' (point 4 on details)

Mop Sink



CS2

\$361.20
 excl. GST

558x450x235 deep, 450 upstand complete with brackets
 0.9mm thick stainless steel 50mm waste with 50-40 waste
 reducer supplied Optional upstand each end + \$242.00

Mild Steel Brackets (Pair)

Mop Sink



Mop

\$509.60
 excl. GST

Extra thick for extra durability. Able to withstand harder
 knocks without denting. 560x460x240 deep, 450 upstand
 complete with brackets 1.2mm thick stainless steel 40mm
 waste Optional upstand each end + \$242.00

Mythos Chrome Single Lever

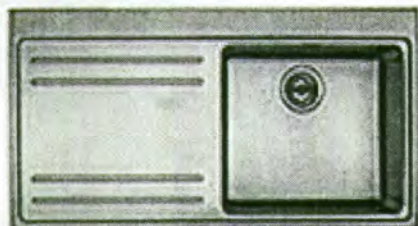


TA621

\$999.00
 excl. GST

Franke Mythos Chrome Single Lever Mixer Pull Out Tap.
 72.5psi - 7.25psi. 500kpa - 50kpa. Cut-out 35 degree.
 WELS 6 star/4.5 lpm. Chrome/ceramic cartridge with
 extractable hand spray. Not recommended to install this

Mythos Insert

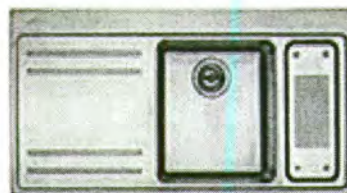


MTX611

\$2,433.70
 excl. GST

This stunning range of Franke Mythos stainless steel inset
 sinks is exceptional by design, expressing form and
 function that will enhance your modern kitchen design with
 exquisite attention to detail.

Mythos Insert

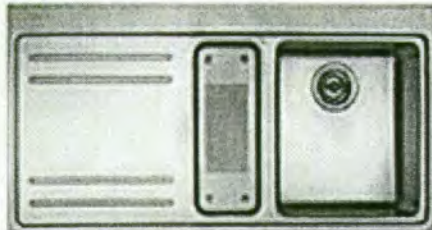


MTX661

\$2,826.37
 excl. GST

Surrender to the fascinating appeal of stylish design,
 quality and innovative elegance that you have come to
 expect from Franke of Switzerland, the global leader in
 sink design and manufacture.

Mythos Insert

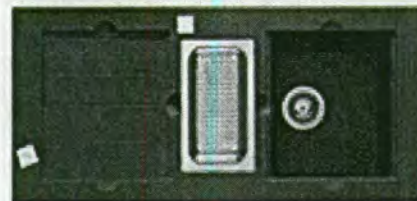


MTX651

\$2,813.00
 excl. GST

The beautiful glass sliding chopping board integrates form
 and functionality to finesse the design of the Mythos range.
 The matching stainless steel accessories fit neatly into
 place to complete this food preparation centre.

Mythos Insert



MTG 651

\$2,338.31
 excl. GST

MTG651 Designed by Porche - complete with
 colander,hygenica cutting board, stainless steel drainer
 tray, stainless steel rinsing basket, designer waste kit and
 overflow main bowl - 325 x 391 x 190 1/3 bowl - 176.5 x

BURNS & FERRALL

Freephone 0800 428 733
 email:sales@burnsferrall.co.nz

All dimensions to be confirmed on site before proceeding with any construction
 ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE BEFORE PROCEEDING WITH ANY CONSTRUCTION

IMPORTANT

TIMBER GRADING AND TREATMENT
 ALL TIMBER WALL FRAMING AND DOOR AND WINDOW REVEALS TO BE SGA GRADE H1.2 EXCEPT WHERE NOTED OTHERWISE.

WALL AND ROOF INSULATION
 PINK BATT INSULATION REQUIRED TO WALLS AND CEILINGS.
 R2.8 TO CEILINGS AND R2.4 TO WALLS
 EXPOL INSULATION TO SUBFLOOR

ACCESSIBLE ROUTES AND SIGNAGE
 1. ACCESS TO THE BUILDING TO BE SHOWN WITH ACCESS SIGNAGE. MAXIMUM THRESHOLD STEP TO BE 20mm
 2. ACCESS SIGNAGE TO BE WHERE SHOWN ON THE FLOOR PLAN. ALL SIGNAGE TO BE IN ACCORDANCE WITH NZS 4121:2001 AND F8 OF THE BUILDING CODE.

FIRE SAFETY
 EXIT SIGNS REQUIRED AS SHOWN ON SHEET S10.
 ALARM SYSTEM AND SMOKE DETECTORS ARE REQUIRED AS PER THE FIRE REPORT

WET ROOM WALL AND FLOOR COVERINGS
 FLOOR COVERING TO WET ROOMS TO BE NON-SLIP INDUSTRIAL VINYL (COVERED 100mm TO WALLS). WALL LINING TO WET ROOMS TO BE HARDIGLAZE (TO MANUFACTURERS SPECIFICATIONS)

WINDOWS AND DOORS
 NEW WINDOWS AND DOORS ARE TO MATCH THE EXISTING JOINERY AS NEAR AS PRACTICAL. WHERE SIZES DIFFER FROM THOSE SPECIFIED THE LINTEL SIZES AND FIRE RATED AREAS ARE TO BE REVIEWED BY THE DESIGNER.



DOORS MUST HANG FLUSH ON BAY WINDOW SIDE OF LINTEL TO ACHIEVE REQUIRED ROOM SIZES

ALL HAND WRITTEN MEASURES ARE GIB TO GIB (UNLESS MARKED STOS)

REV	DATE	BY	REASON
0	22/7/11	WF	FOR BUILDING CONSENT

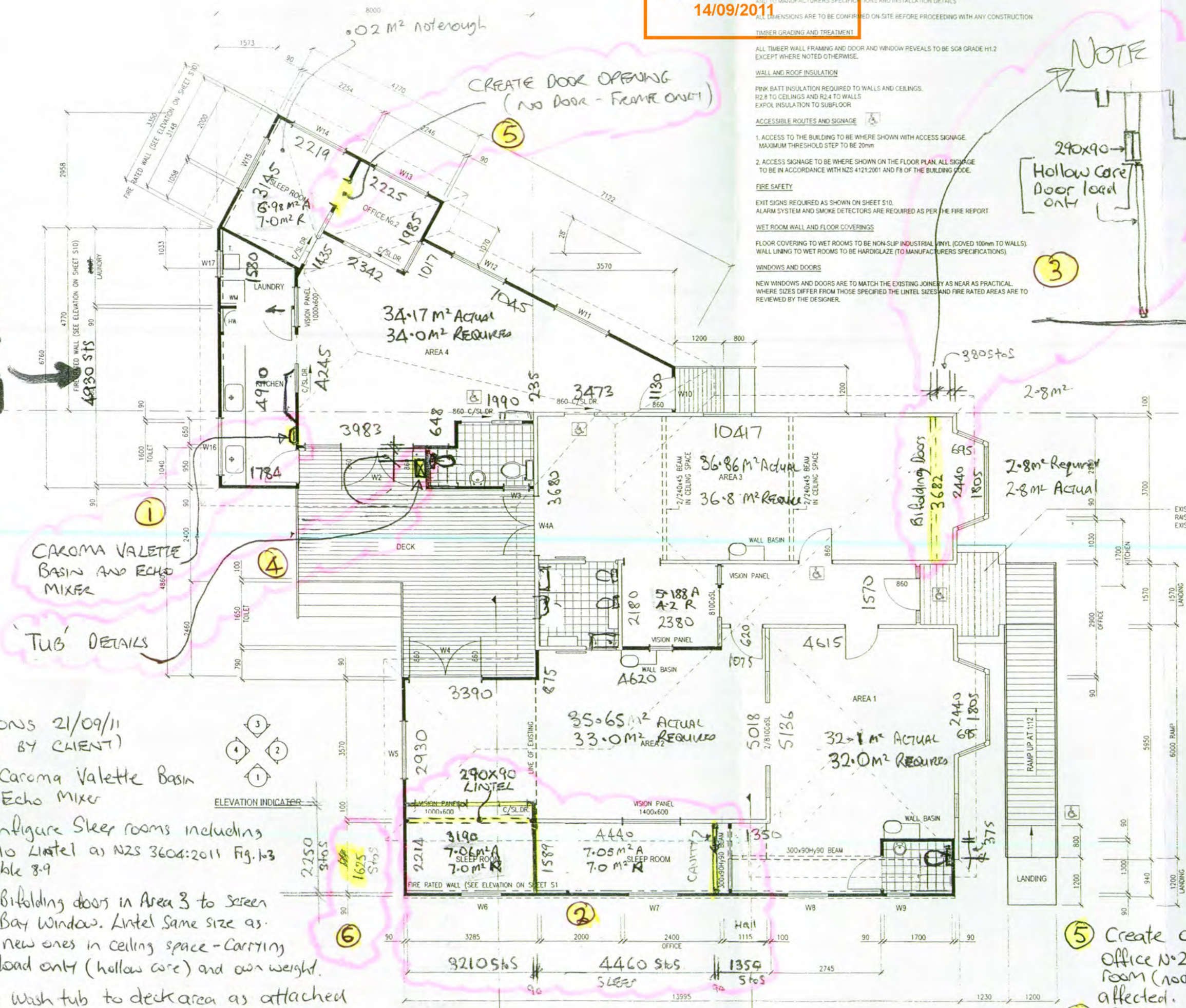


RFR Building Design & Project Management
 PO Box 3410 Napier
 Phone 06 842 1014 Fax 06 842 1015

Project Details
PROPOSED ALTERATIONS
PARENT AND CHILD
14 MIDDLE ROAD

Sheet Title
PROPOSED FLOOR PLAN

Drawn	WF	Scale	1:50	(ON A1)
Approved	WF	Project No	11032	
UC 01	Sheet No	Proj	11032	S03
				3



VARIATIONS 21/09/11
 (REQUEST BY CLIENT)

- ① Add Caroma Valette Basin with Echo Mixer
- ② Reconfigure Sleep rooms including 290x90 Lintel as NZS 3604:2011 Fig. 1.3 and Table 8.9
- ③ Add Bifolding doors in Area 3 to screen off Bay Window. Lintel same size as other new ones in ceiling space - Carrying door load only (hollow core) and own weight.
- ④ Add wash tub to deck area as attached detail - Cold and Tempered water. Fit hold back/door stop so french door opens 90°

- ⑤ Create opening between Office No. 2 and Sleep room (no door). No bracing affected.
- ⑥ Reduce width of lean-to area from 1760 to 1625 to retain 1500 from side boundary

Hastings District Council
 207 Lyndon Rd East, Hastings, 4122
 Private Bag 9002, Hastings, 4156
 Ph 871 5000, Fax 871 5115
 amendments@hdc.govt.nz

ABA20110794
APPROVED AMENDMENT # 3
Refer to previous plans for
past endorsements
11/10/2011

CUSTOMER SERVICE
15 SEP 2011
 RECEIVED

SAVED TO TRIM



**HASTINGS
 DISTRICT
 COUNCIL**

AMENDMENT APPLICATION FORM

NOTE 1: This form must be completed and attached to every amendment you submit to Council.

NOTE 2: All additional fees will be charged and invoiced (payable) prior to receiving your Code Compliance Certificate.

NOTE 3: Council has the right to refuse incomplete applications. Please allow 20 working days for processing (Council will endeavour to prioritise all amendments), however if all required information is not supplied you may experience additional delays in obtaining your amended consent.

NOTE 4: Documentation submitted on CD or via email must be submitted in multi-page PDF format.

SECTION 1: OWNER/AGENT: this form must be completed by the owner or agent		
Name of <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent: Ellis Builders Ltd	Date: 13 September 2011	
Building Consent Number ABA:20110794		
Project Address: 14 Middle Road, Havelock North		
How would you like to receive the approved amendments? <input checked="" type="checkbox"/> Collect in person <input checked="" type="checkbox"/> Email (limit 4 Mb) <input type="checkbox"/> Post (if posted provide mailing address below)		
Postal Address: P.O. Box 3181, Onekawa, Napier 4142		
Owner's/Agent's contact details: Murray Benson		
Landline: 835 8699	Mobile: 021 772 117	Email: ellis.builders@xtra.co.nz

SECTION 2 - AMENDMENT DESCRIPTION: comprehensive written description of changes this amendment is applicable to
Project Description - Reference sheet numbers amendments relate to (e.g. Sheets 3 & 8, Floor Plan and Bracing Plan - window W9 and Bracing element B3 positions swapped. Sheet 4, Western Elevation - window W9 repositioned)
1] Add steps to right hand end of accessible ramp - refer Sheet SO3
2] Bathroom off area 1 now adult toilet pan in lieu of 'junior' - refer Sheet SO3
3] Ablution between Area 2 & 3 layout 'mirrored' plus addition of Caroma Valette basin at adult height - refer Sheet SO3 and Caroma detail attached
4] Accessible toilet remains set out as per NZS 4121:2003 but with addition of a Junior toilet pan in a new added recess - refer Sheet SO3
5] Add a wash trough in Area 4 (same as the one in ablution between Areas 2 & 3) - refer Sheet SO3
6] Kitchen/Laundry spaces "mirrored" with externally mounted Dux 160 litre hot water cylinder - Refer Sheet SO3 and Data Sheet attached
7] Due to the above there has been some minor changes to the bracing elements and these are shown on the attached reworked Gib Ezybrace spreadsheet, revised sheet SO8, and accompanying literature.

SECTION 3: PLANS: include references to all sheet numbers with changes and highlight around the changes on the drawings/plans											
1 copy of all plans. The plans <u>must</u> be:											
Drawn clearly to scale (ruled, not sketched)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	Clear and concise copies (*not reduced in size)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A				
On plain white, preferably A3* paper	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	Include the designers name	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A				
Drawn in ink (not pencil)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	Engineering details are drawn	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A				
Changed Sheet Numbers referenced	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	Changes highlighted on all drawings/plans (ballooned/clouded)	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A				

SECTION 4: SPECIFICATIONS: new specifications relevant to changes provided											
Specific design calculations & details	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A	Identify compliance with the NZ Building Code	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A				
Structural calculations & producer statements <i>BASED CALCS</i>	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	List all Alternative Solutions	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A				
Fire safety systems	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A	Alternative solutions calculations / producer statements	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A				
Details of all materials, fittings and installation requirements for these amendments					<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A				

Office use											
Handling Officer:						Property ID:					
Amendment application form: Completed by the <input type="checkbox"/> owner <input type="checkbox"/> agent on behalf of and with written authority from the owner										<input type="checkbox"/> Yes	<input type="checkbox"/> No

If calling ask for Colin Hornett
TRIM Ref: 71557#0049



HASTINGS
DISTRICT
COUNCIL

10 October 2011

Ellis Builders Ltd
PO Box 3181
Hawkes Bay Mail Centre
NAPIER 4142

ABA20110794
APPROVED AMENDMENT # 3
Refer to previous plans for
past endorsements
11/10/2011

Dear Ellis Builders Ltd

Building Consent No: ABA20110794
Proposal: Change of Use to Extend House for Child Care Centre & Remove
Garage
Building Project at: 14 Middle Road HAVELOCK NORTH 4130

Following your request for an amendment to the above consent, please find the approved plans appended and the revised conditions and/or inspections listed below if applicable:

Amendment Granted – No Additional Conditions or Inspections

All existing conditions and inspections specified in the approved Building Consent still apply.
The amendment is approved with no additional conditions or inspections.

The processing costs incurred, and any extra inspections required as a result of the amendment, will be charged to you prior to the issue of a Code Compliance Certificate.

Should you have any questions in relation to this matter then please do not hesitate to call me at (06) 871 5137.

Yours sincerely

Colin Hornett
Building Officer
bcinfo@hdc.govt.nz

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PLAN SHOWING SUMMARY OF CHANGES SHOWN ON "AMENDMENT APPLICATION FORM" DATED 13/09/11

NOTES GENERAL

ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING ACT AND NZS3604:1999 AND TO MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS
 ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE BEFORE PROCEEDING WITH ANY CONSTRUCTION

TIMBER GRADING AND TREATMENT

ALL TIMBER WALL FRAMING AND DOOR AND WINDOW REVEALS TO BE S68 GRADE H1.2 EXCEPT WHERE NOTED OTHERWISE.

WALL AND ROOF INSULATION

PINK BATT INSULATION REQUIRED TO WALLS AND CEILINGS.
 R2.8 TO CEILINGS AND R2.4 TO WALLS
 EXPOL INSULATION TO SUBFLOOR

ACCESSIBLE ROUTES AND SIGNAGE

1. ACCESS TO THE BUILDING TO BE WHERE SHOWN WITH ACCESS SIGNAGE. MAXIMUM THRESHOLD STEP TO BE 20mm
2. ACCESS SIGNAGE TO BE WHERE SHOWN ON THE FLOOR PLAN. ALL SIGNAGE TO BE IN ACCORDANCE WITH NZS 4121:2001 AND F8 OF THE BUILDING CODE.

FIRE SAFETY

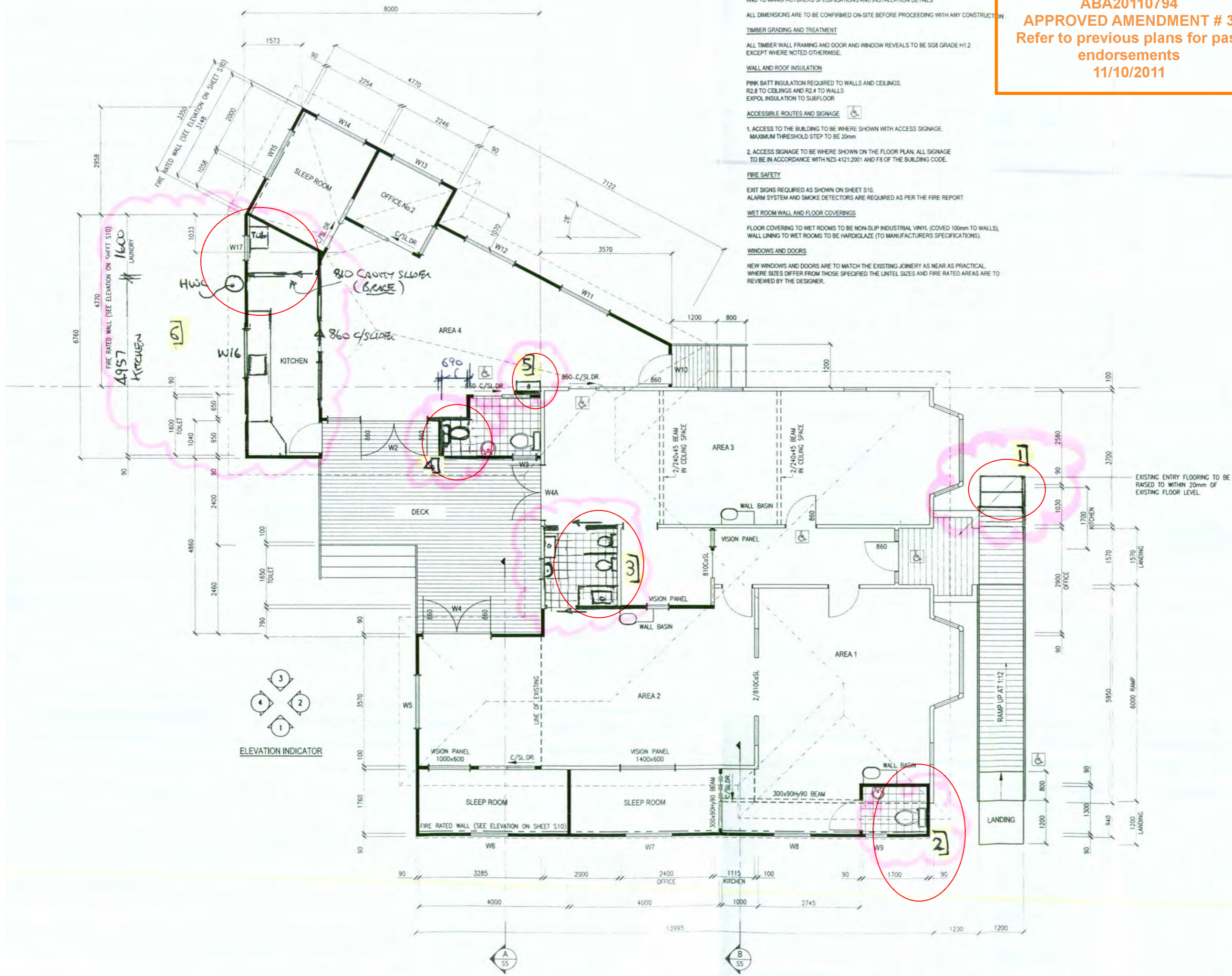
EXIT SIGNS REQUIRED AS SHOWN ON SHEET S10.
 ALARM SYSTEM AND SMOKE DETECTORS ARE REQUIRED AS PER THE FIRE REPORT

WET ROOM WALL AND FLOOR COVERINGS

FLOOR COVERING TO WET ROOMS TO BE NON-SLIP INDUSTRIAL VINYL (COVERED 100mm TO WALLS).
 WALL LINING TO WET ROOMS TO BE HARDGLAZE (TO MANUFACTURERS SPECIFICATIONS).

WINDOWS AND DOORS

NEW WINDOWS AND DOORS ARE TO MATCH THE EXISTING JOINERY AS NEAR AS PRACTICAL. WHERE SIZES DIFFER FROM THOSE SPECIFIED THE LINTEL SIZES AND FIRE RATED AREAS ARE TO BE REVIEWED BY THE DESIGNER.



ABA 20110794

REV	DATE	BY	REASON
1	10.8.11	MF	REVISED LAYOUT
2	22.7.11	MF	FOR BUILDING CONSENT



RFR Building Design & Project Management
 PO Box 3410 Napier
 Phone 06 842 1014 Fax 06 842 1015

Project Details
PROPOSED ALTERATIONS
PARENT AND CHILD
14 MIDDLE ROAD

Sheet Title
PROPOSED FLOOR PLAN

Drawn	Scale	Sheet No.	Total Sheets
MF	1:50 (ON A1)	S03	2
Approved	MF	11032	
11032	S03		

ABA20110794
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 11/10/2011

All dimensions to be verified on site before making
 any shop drawings or commencing any work.
 The copyright of this drawing remains with
 RFR Building Design and Project Management Ltd.

- GSI-N
- B1I-H
- B1G-H
- BRACE CAVITY
- EPI
- SEE BELOW

SPECIAL NOTE:

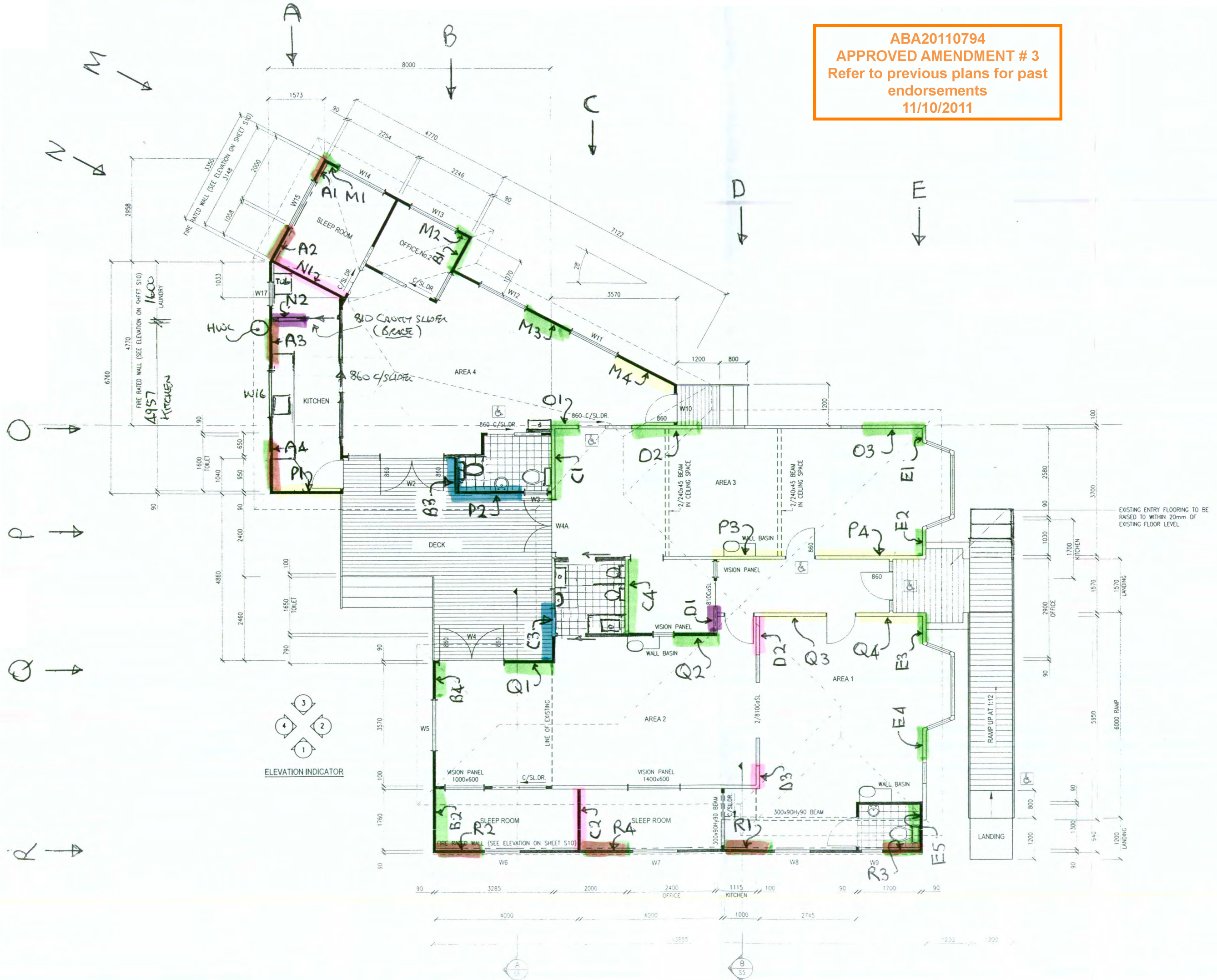
BRACES A1, A2, A3, A4, R1, R2, R3, R4 ARE TWO LAYERS OF 13MM FYRELINE. FIRST LAYER FIXED WITH 32MM X 6G GIB GRABBER SCREWS @ 100MM CENTRES TO PERIMETER AND CORNERS AS PER EZYBRACE PATTERN



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Project Details
PROPOSED ALTERATIONS
PARENT AND CHILD
14 MIDDLE ROAD

Sheet Title
BRACING PLAN
 08/09/11



All dimensions to be verified on site before making any shop drawings or commencing any work.

RFR Building Design and Project Management Ltd.

ABA20110794

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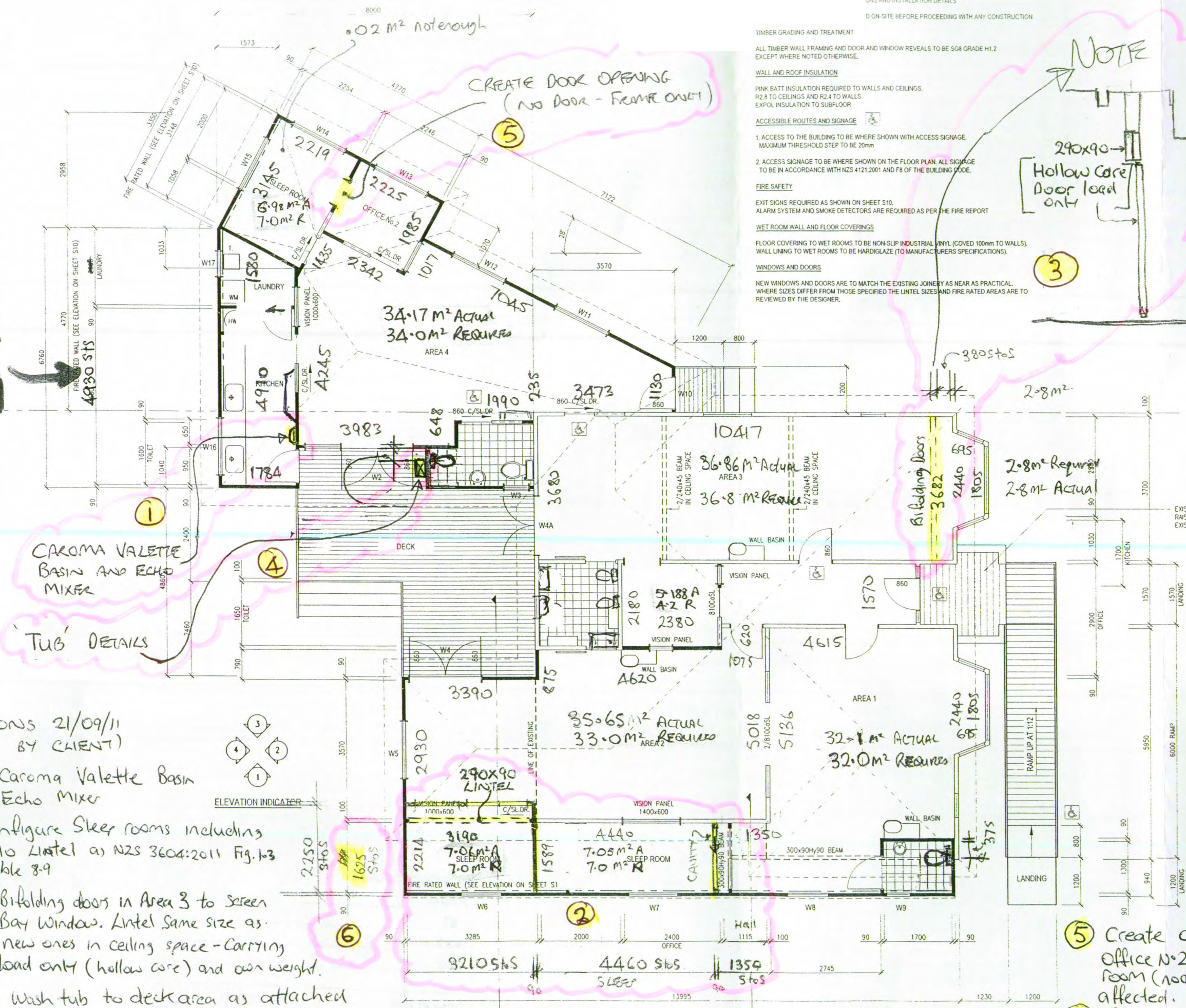
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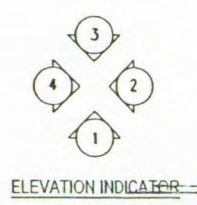
DOORS MUST HANG FLUSH ON BAY WINDOW SIDE OF LINTEL TO ACHIEVE REQUIRED ROOM SIZES

IMPORTANT



VARIATIONS 21/09/11
(REQUEST BY CLIENT)

- 1 Add Caroma Valette Basin with Echo Mixer
- 2 Reconfigure Sleep rooms including 290x90 Lintel as NZS 3604:2011 Fig. 1.3 and Table 3.9
- 3 Add Bifolding doors in Area 3 to screen off Bay Window. Lintel same size as other new ones in ceiling space - Carrying door load only (hollow core) and own weight.
- 4 Add wash tub to deck area as attached detail - Cold and Tempered water. Fit hold back/door stop so french door opens 90°



- 5 Create opening between Office No. 2 and Sleep room (no door). No bracing affected.
- 6 Reduce width of lean-to area from 1760 to 1625 to retain 1500 from side boundary

ALL HAND WRITTEN MEASURES ARE GIB TO GIB
(Unless marked Stos)

REV	DATE	BY	REASON
1	10.8.11	MF	REVISED LAYOUT
0	22.7.11	MF	FOR BUILDING CONSENT



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Phone 06 842 1014 Fax 06 842 1015

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**PROPOSED ALTERATIONS
PARENT AND CHILD
14 MIDDLE ROAD**

Sheet Title
PROPOSED FLOOR PLAN

Drawn	Scale	1:50	(ON A1)
MF	Planning	11032	
Approved	Scale	1:50	Rev
MF	11032	S03	3

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- GSI-N
- BLI-H
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- BRACE CAVITY
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- SEE BELOW

SPECIAL NOTE:

BRACES A1, A2, A3, A4, R1, R2, R3, R4 ARE TWO LAYERS OF 13MM FYRELIN. FIRST LAYER FIXED WITH 32MM X 6G GIB GRABBER SCREWS @ 100MM CENTRES TO PERIMETER AND CORNERS AS PER EZYBRACE PATTERN



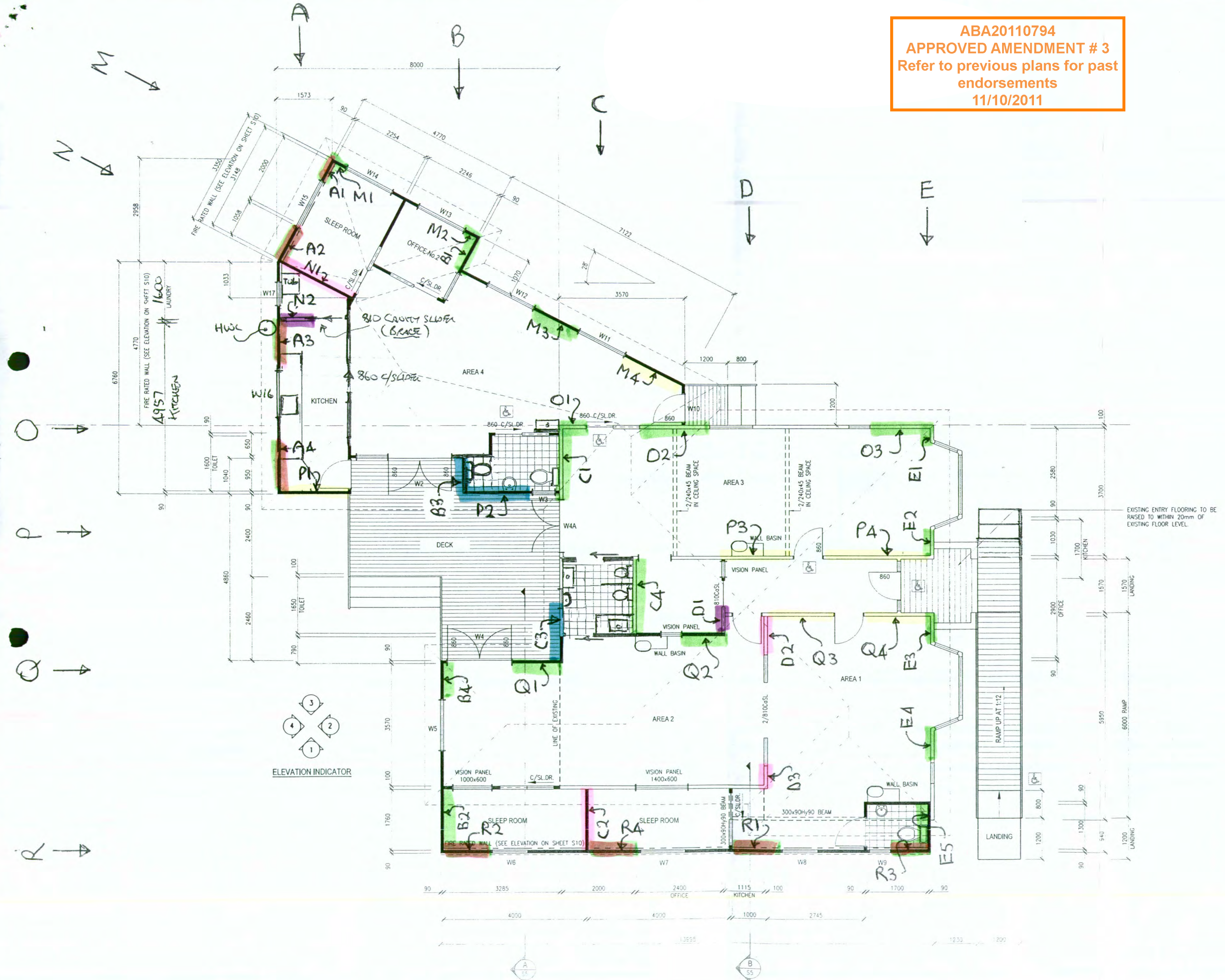
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PROPOSED ALTERATIONS
 PARENT AND CHILD
 14 MIDDLE ROAD

Sheet Title
BRACING PLAN
 08/09/11

Scale: 1:50 (ON A1)
 1:100

11032 508



Amended Compliance Schedule

Issue Date: 01/05/2018

(Sections 100-105, Building Act 2004)

BWF No:	BWF1041	Anniversary Date:	26/10/2011
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THE BUILDING

Building name: Havelock North Baby & Child	Property ID: 71557
Street address: 14 Middle Road HAVELOCK NORTH 4130	Legal description: Part LOT 2 DP 6350
Current lawfully established use: Communal non-residential	Location of building within site: Whole
Year first constructed: 2011	Level / Unit number: N/A
Risk Group: CA	Maximum occupant load: 49

THE OWNER

Name of owner: Evolve Group Ltd	
Mailing address: Evolve Education Group PO Box 105843 Auckland City AUCKLAND 1143	Street address / Registered office:
Owners contact details:	
Phone: 09 869 2497	Mobile: N/A
After hours: N/A	Fax number: N/A
Email address: N/A	Web address: N/A

Signed for and behalf of Council:



Signature: _____
 Name: Katrina Harkness
 Position: Building Officer
 Date: 1 May 2018

Amended Compliance Schedule

Issue Date: 01/05/2018

(Sections 100-105, Building Act 2004)

BWF No:

BWF1041

Anniversary Date:

26/10/2011

SS 2 – Emergency Warning Systems

Type

Security / Smoke Alarm

Directly Brigade Connected: No

Security Monitored: Yes

Location

Throughout the building

Performance Standards

NZS 4512:2010

Inspections

Inspected by an independent qualified person to:

NZS 4512:2010 Part 6

Frequency of Inspections

Monthly

Annual

Maintenance

In accordance with:

NZS 4512:2010 Part 6

Back-up rechargeable batteries shall be replaced every 2 years or when found to be in-operable.

Reporting

Inspections shall be logged. Log book to be maintained and kept on premises. Records are required to be kept for a period of 2 years.

SS 14/2 – Signs Relating to a System or Feature specified in any of Clauses 1 to 13

Location

Throughout the building

Performance Standards

Building Code Acceptable Solutions F6/AS1 and F8/AS1

Inspections

The procedures of SS 4 will be used to verify that illumination occurs for the required duration - please specify: 30 minutes

Signage will be inspected in accordance with the performance specification of the associated specified system.

Regular inspection by an independent qualified person to ensure signs are displayed to facilitate evacuation in an event of an emergency.

Frequency

Monthly inspections of illuminated signs to ensure they are: of the correct type / present and in the right locations / legible / illuminated.

Annual inspections of signs not required to be illuminated to ensure they are: of the correct type / present and in the right locations / legible.

Maintenance

Maintained in conjunction with the systems it relates to.

Responsive maintenance will be carried out in accordance with the nominated performance and inspection Standard, and to ensure signs remain correctly positioned and legible and where appropriate ensure the escape route is identified.

Reporting

Inspections shall be logged. Log book to be maintained and kept on premises. Records are required to be kept for a period of 2 years.

SS 15/2 – Final Exits

Location

As detailed on appended plan / drawing

Performance Standards

In accordance with Compliance Documents F8/AS1 and C/AS1-7

Inspections & Frequency

Daily inspections by owner while the building is in use and while building work may affect a final exit to ensure the doors are not locked, barred or blocked and the door locking devices:

- Are clearly visible
- Are easily operated without a key or other security device
- Do not prevent or override the direct operation of panic bolts fitted to any door.

Annual inspection and maintenance by independent qualified persons.

Maintenance

Final exits shall be maintained at all times in a safe condition to ensure they are:

- Clearly identified
- free of obstructions
- unlocked
- easily used
- ease of opening any door leading into the escape routes and at the final exit.

Responsive maintenance should be carried out to ensure occupants are not prevented from leaving the building in the event of an emergency.

Reporting

Inspections shall be logged. Log book to be maintained and kept on premises. Records are required to be kept for a period of 2 years.

SS 15/4 – Signs for Communicating Information intended to Facilitate Evacuation

Emergency lighting that also forms an exit sign needs to have its illumination aspect checked under SS4

Location

Throughout the building

Performance Standards

Building Code Acceptable Solutions F6/AS1 and F8/AS1

Inspections & Frequency

Where available, signage should be inspected in accordance with the published Standard or the performance specification of the associated specified system.

Signs require regular inspection to ensure they are displayed to facilitate evacuation in an event of an emergency.

The following minimum checks should be carried out when appropriate to the installation:

Monthly inspection by owner while the building is in use of illuminated signs to ensure they are:

- the correct type
- present
- in the right locations
- legible
- illuminated.

Annual inspections of signs not required to be illuminated to ensure they are:

- the correct type
- present
- in the right locations
- legible
- illuminated.

Annual inspection and maintenance by independent qualified persons.

Maintenance

Signs shall be: replaced if not of the correct type, replaced immediately should they be missing or refurbished before they become illegible.

Responsive maintenance should be carried out in accordance with the nominated performance and inspection Standard, and to ensure signs remain correctly positioned and legible and where appropriate ensure the escape route is identified

Reporting

Inspections shall be logged. Log book to be maintained and kept on premises. Records are required to be kept for a period of 2 years.

EXIT
SMOKE DETECTORS REQUIRED WHERE SHOWN ON THE PLAN

