

CARTERTON DISTRICT COUNCIL

Saved as:

FILE NAME

PIM 080368 .pdf

☐	APPLICATION FOR BUILDING PERMIT
☐	LAND INFORMATION MEMORANDUM (LIM)
☒	PROJECT INFORMATION MEMO (PIM)
☐	EARTHQUAKE PRONE BUILDING
☐	PLUMBING & DRAINAGE APPLICATION
☐	BUILDING CONSENT APPLICATION
☐	RESOURCE CONSENT
☐	
VALUATION NUMBER OR TP NUMBER	
18220 45517	



CODE COMPLIANCE CERTIFICATE

Form 7 Section 95, Building Act 2004



The owner Name of owner: Warner David John & Ewan Helen Elizabeth Mailing address: 10 Daffodil Grove, Carterton 5713 Phone number(s): , Facsimile number and e-mail: ,	No: 080368 Issue date: 26/02/09
The building Street address of building: 10 Daffodil Grove Legal description of land where building is located: LOT 5 DP 311131 Valuation number: 1822045517 Building name: New Garage	
Building work The following building work is authorised by this building consent: Construct New Garage Storage	

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent.

Bruce Livingston
Building Control officer

On behalf of: **Carterton District Council**



Foundation Checklist

Applicants

Name: Warner Trust **Consent no.** 080368

Job Address: 10 Daffodil Grove

Inspecting Officer: Jim Toffri **Date of inspection:** 13-01-09

Are The Approved Building Consent Documents On Site?

YES

NO (Issue site notice)

Is the Owner/Agent/Builder on site?

YES

NO

Building Code compliance achieved:

YES (✓),

NO (x) or (n/a)

As a result of inspection, job is approved to proceed to next stage

YES

NO

Check Boundary Dimensions:

Front Yard

☐

Left Hand Side Yard

☐

Rear Yard

☐

Right Hand Side Yard

☐

Elevations

☐

Pile/Pole Foundations

Pile/Pole Hole Size

☐

Anchor Pile Size / Spaces

☐

Pile/Pole Hole Spacing

☐

Ground Bearing

☐

Concrete or Block Foundation Wall

Ground Bearing

☐

Reinforcing

☐

Footing Depth

☐

Reinforcing Chairs & Cover

☐

Footing Width

☐

Subfloor Vents

☐

Concrete Slab

Vegetation removed

☐

Hardfill

☐

Ground Bearing

☐

Slab Reinforcing

☐

Footing Depth

☐

Reinforcing Chairs & Cover

☐

Footing Width

☐

Min. Height Above FGL

☐

Footing Reinforcing

☐

DPC

☐

Slab Thickening

☐

Joints Taped

☐

Thickening

☐

Penetrations Taped

☐

Reinforcing

Underslab Plumbing

Pipe sizes

☐

Underslab Drainage

Pipe sizes

☐

Pipe protection

☐

Pipe protection

☐

Falls

☐

COMMENTS:



Final Inspection – Ancillary Buildings

Applicants

Name: Wanner

Consent no. 020368

Job Address: Duffield Cr

Inspecting

Officer: Bz

Date of inspection: _____

Are The Approved Building Consent Documents On Site?

Is the Owner/Agent/Builder on site?

Building Code compliance achieved:

OK to issue CCC

☒ YES

NO (Issue site notice)

☒ YES

NO

☒ YES (✓)

NO (x)

or (n/a)

☒ YES

NO

Building Exterior

Frame Fixings

☒

Cladding

☒

Flashings - Windows

☒

Spouting – Downpipes

☒

Landscaping and Ground levels

☒

Flashings – Roof

☒

Terminals Vents

☒

Electrical Certificate

☒

Wastes to Gullies

☐

Septic Tank

☒

Drainage Backfilling

☐

Gully Dishes

☒

Drainage Plan

☒

Building Interior

Hot Water System

☐

Smoke Alarm

☐

Safety Glass

☐

Insulation

☐

Lining

☐

Lighting

☐

COMMENTS: _____



Carterton District Council

P O Box 9
CARTERTON

Telephone: 06 379 6626
Fax: 06 379 7832

Email:
suzannez@cdc.govt.nz
Web Site: www.cdc.govt.nz

Building Consent

Construct New Garage

Building Consent No: **080368**

Issue date: **1/12/08**

Section 51, Building Act 2004

The Building

Street address of building: **10 Daffodil Grove**

Legal description of land where building is located: **LOT 5 DP 311131**

*Building name: **New Garage**

*Location of building within site/block number:

*Level/unit number:

The Owner

Name of owner: **Ewan Warner Trust**

*Contact person: **David Warner**

Mailing address: **10 Daffodil Grove, Carterton**

Street address/registered office:

Phone number: Landline:

Mobile:

Daytime:

After hours:

Facsimile number:

Email address:

Website:

†First point of contact for communications with the council/building consent authority:

Full Name: **Versatile Buildings**

Mailing Address: **205 Ngaumutawa Road, Masterton**

Phones:: **0274 749 661: 06 378 8002**

Owner Contact

David Warner

Building Work

The following building work is authorised by this building consent:

Construct New Garage

Storage

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

*This building consent is subject to the following conditions:

§(a) All work is to comply with the New Zealand Building Code. Any alterations from the approved documents will require the written approval of Council.

*§(b) Additional Conditions if any:

This building consent is issued subject to the following conditions:

Not approved as a habitable building.

Roof stormwater to be adequately disposed of to soak pit within property boundaries.

Compliance Schedule if Applicable

*The Compliance Schedule must contain the specified systems applicable to the building and comply with the performance standards for those systems required by the New Zealand Building Code:

***Attachments**

Copies of the following documents are attached to this building consent as applicable:

*Project Information Memorandum

080368

*Development Contribution Notice

*Certificate Attached to Project Information Memorandum



Bruce Livingston

Building Control Officer

On behalf of:

Carterton District Council

Date: 1 December 2008

*Delete if the applicant is an individual.

†Contact details must be in New Zealand.

*Delete items not applicable.

§Delete if the building is intended to have a life of 50 years or more.



Carterton District Council

Carterton District Council

P O Box 9
CARTERTON

Telephone: 06 379 6626
Fax: 06 379 7832

Email: suzannez@cdc.govt.nz
Web Site: www.cdc.govt.nz

Project Information Memorandum

Section 31, Building Act 2004

Application

Versatile Buildings
205 Ngaumutawa Road
Masterton

No.	080368
Issue date	1/12/08
Application date	24/11/08
Overseer	Bruce Livingston

Project

Description	Domestic only - garages Being Stage 1 of an intended 1 Stages Construct New Garage
Intended Life	Indefinite, but not less than 50 years
Intended Use	Storage
Estimated Value	\$15,000
Location	10 Daffodil Grove
Legal Description	LOT 5 DP 311131
Valuation No.	1822045517

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the building consent.

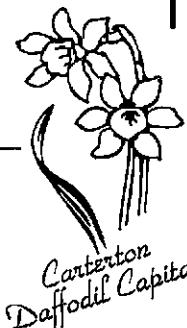
The run off from the proposed garage roof has been directed to a soak pit on-site as required.

Residential, the property is a result of subdivision 00/00040. The proposed garage meets the standards for permitted activity.

Bruce Livingston

Building Control Officer

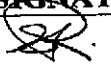
On behalf of: Carterton District Council



BC/PIM No. 080368

OWNER
APPLICANTEwan Warner Trust
Versatile BuildingsVAL. No.
ADDRESS1822045517
10 Daffodil Grove

APPLICATION FOR BUILDING CONSENT APPROVAL SHEET

DEPARTMENT	COMMENTS AND REQUISITIONS	APPROVED	
		SIGNATURE	DATE
PLANNING OFFICER	Residential - properly result of Subdivision # 0100 040. meets standards for permitted activity		25/11/08
BUILDING INSPECTOR			28/11/8
DRAINAGE & PLUMBING INSPECTOR			
PLANNING & REGULATORY MANAGER			28-11-08
MISC.			

- 1 DEC 2008

PROJECT Construct New Garage

BUILDING CONSENT DATE

CARTERTON DISTRICT COUNCIL

BUILDING SITE INSPECTION SHEET

Please give at least 24 hours notice for the next required inspection. Ph 379 4040

Work cannot proceed past each step until that step has been inspected and approved, and
this form signed by the relevant inspector

<u>INSPECTION REQUIRED</u> <i>(24 hrs. Notice)</i>	<u>SITE COMMENTS</u>	OK TO PROCEED Y/N	EXTRA INSP. Y/N	DATE SIG. BY INSPECT.
<u>SITE:</u> Dimensions				
<u>SLAB ON GROUND:</u> Hardfill & sand Polythene, mesh & rebar				
<u>FINAL CCC</u>				



Processing Checklist Proprietary Garage – Shed – Pole Shed

Ref: 301

Ver: 1

Issued: 11/02/08

Page 1 of 3

Owner	Wanes	BC N ^o	080368
Description of work: <u>Garage</u> Shed Pole shed (Non habitable and no plumbing or drainage)			
Date	Technical Check Completed By:		
Approval to Issue Building Consent: Senior Building Officer to sign off: 			
Notes on Processing: (provide comments on decisions / reasons for decisions below – reference checklist question number where applicable)			

PROCESSING CHECKLIST		Draw a line through complete sections that are not applicable to the building consent being processed	
No = Non-compliance with approved plans & documentation Yes = Compliance with approved plans & documentation N/A = Not Applicable to this application			
Building Act		Checked Yes-No-N/A	Rechecked
1 Sec 31 – Has a PIM been issued for the project?		Y	
Producer Statements			
Acceptance Guidelines		Comments:	
1. PS will be accepted from approved persons recognised as having appropriate technical competence / qualifications / experience / history within their specific discipline in accordance with the BCA Quality Manual.			
2. The author's competence will directly relate to the scope of work covered by their statement. If author's acceptability cannot be determined then the statement & all necessary documentation required to determine competence shall be forwarded to an appropriate & recognised specialist for peer review.			
Statement Type: <u>PS 1 – Design</u>		Comments:	
Category: <u>Structural</u>		Comments:	
Supporting information provided:		Comment:	
• <u>Calculations / Specifications</u>			
Do engineering calculations reference the plans and specifications?	<u>Yes</u> / No	Comment:	
Does the Statement provide the name of Statement Author & / or Company Issuing the Statement?	<u>Yes</u> / No	Comment:	
Does the Statement provide the name of party/s that the Statement is issued to?	<u>Yes</u> / No	Comment:	
Does the Statement specifically nominate that the Statement is to be supplied to the BCA?	<u>Yes</u> / No	Comment:	
Does the Statement provide the address & Legal Description of the site where the building work is to be undertaken?	<u>Yes</u> <u>No</u>	Comment:	

Does the Statement provide the description of the work or part/s of work that is to be covered by the Statement? <i>i.e. foundations only, or building structure excluding roof structure, or all work</i>	☒ Yes ☐ No	Comment:
Does the Statement nominate the method of compliance with the Building Code <i>i.e. AS / VM?</i>	☒ Yes ☐ No	Comment:
Does the Statement have the Author's Signature, Address, & Qualifications / Professional Affiliation / Registration Number / Date completed?	☒ Yes ☐ No	Comment:
What clauses of the Building Code are specifically referenced?		B1 & B2
Is the producer statement subject to conditions?	☒ Yes ☐ No	Comment:
Site assumptions confirmed prior to construction commencement?	☒ Yes ☐ No	Comment:
Has compliance been demonstrated?	☒ Yes ☐ No	Comment:
Has durability provisions been met?	☒ Yes ☐ No	Comment:
Is there any special maintenance requirements?	☒ Yes ☐ No	Comment:

PROCESSING CHECKLIST

No = Non-compliance with approved plans & documentation
 Yes = Compliance with approved plans & documentation.
 N/A = Not Applicable to this application.

Preliminary

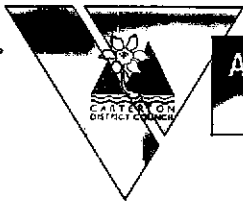
Ground Works / Siting / Site Preparation

15	Does the site plan demonstrate distances to boundaries & other buildings on the site?	Y	2m
16	Are the boundary or building separation distances in relation to spread of fire correct? 1000mm min separation foundation to boundary 600mm eaves require foundation 1250mm clear 750mm eaves require foundation 1400mm clear Consider spread of fire provisions.	Y	>1
17	Have special features of land or ground conditions been considered? Check T/A records for indications of fill, vegetation, overland flow, slips, ponding, gradients, excavation, erosion etc. If present then obtain engineering & or geotechnical input.	Y	Fla 1
18	Is wind zone correctly specified for the site?	Y	H1g L
19	Will proposed excavations affect or impact on other buildings / properties? Consider easements, gradients, & provisions required to retain surcharge.	N/A	
20	Is the nominated durability / corrosion zone correct for the site? Sea spray 500M Zones 1, 2, 3, 4	Y	2
22	Do minimum floor levels apply? If so then specify location of datum & determine if floor levels specified are appropriate.	Y	100mm
23	Are there any specific engineering design requirements? If there are then apply condition or request further information.	N/A	

Concrete floor

65	Is concrete strength correctly specified?	Y	20
66	Is floor height above finished ground level correct?	Y	100
67	Is hard fill detailed & correct? (< 600 mm in depth) If > 600mm in depth obtain a geotech assessment report on the underlying ground conditions.	Y	

68	Is DPM detailed with sand barrier protection?	Y		Pg
69	Are slab thickenings required & if so are they detailed? <i>No pipe work permitted through thickenings</i>	N/A		
70	Does reinforcing comply - are edge, top, bottom bar details provided?	Y		
71	Does slab thickness comply?	Y		
72a	Are control joints detailed for max floor spans	N/A		
73	If SED, is Engineer detail provided? <i>PS 1 from CPEng required</i>	N/A		
Wall Framing				
74	Is design within scope within the provisions of the producer statement? <i>If 'No' check all framing details</i>	Y		
Bracing				
84	Are wall bracing elements & fixings detailed within the scope of the producer statement?	Y		
86	Is wall bracing schedule calculations & distribution of elements correct / wind and earthquake zones correctly specified? <i>Refer manufacturer specs.</i>	Y		
Surface water drains				
488	Is the point of outfall identified? <i>Onsite disposal system</i>	Y		
491	Have rain fall handling calculations be provided for catchments served. <i>Roof catchments, Soak pit capacity</i>	Y		



APPLICATION FOR PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT

BUILDINGS

Section 33 or Section 45, Building Act 2004

Send or deliver your application to: Carterton District Council, PO Box 9, Holloway Street, Carterton. For enquiries, phone (06) 379 6626.

Faber Developments Ltd
Building as:
Versatile Buildings Wairarapa
5 Ngaumutawa Road
Box 25
Masterton 5810, New Zealand
Phone (06) 378 8002
Fax (06) 378 8201
wairarapa@versatile.co.nz

FORM APPLIES FROM JULY 2008

APPLICATION: I request that you issue a ☐ Project Information Memorandum ☒ Building Consent for the building work described in this application.

APPLICATION NUMBER 080368

VETTING OFFICER: s zabell

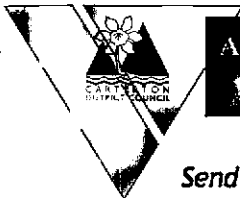
DATE: 24 NOV 2008

OUTCOME: ☒ ACCEPTED ☐ DECLINED AND RETURNED TO APPLICANT

THE BUILDING SITE	THE PROJECT/ BUILDING WORK
Street & no: 10 Daffodil Grove Carterton	Description: Garage
Legal Description: Lot 5 DP 311131	Intended use:
Valuation Number: 1822045517	Intended life if less than 50 years:
Building name:	Floor area: 35m ²
	Total estimated value: \$ 15,000.00
	Of that plumbing & drainage value: \$
THE OWNER	THE APPLICANT (AGENT)
Name: Ewan Warner Trust	Name:
Mailing address: Refer Agent	Contact person: Nigel Frazer
Phone(s):	Mailing address:
Fax & e-mail:	VERSATILE BUILDINGS
Please attach copy of certificate of title not older than 3 months as evidence of ownership. (LINZ application form attached.)	Street address of registered office: WAIRARAPA
	205 NGAUMUTAWA RD
	MASTERTON
	PH. 06 3788002
	0274-749-661
Signature:	Signature:

Infrastructure Fee	\$5625.00	GL722508
Certificate of Title (if not supplied)	\$ 20.00	GL730585
Building Consent Fee	\$ 439.00	GL730516
Building Research Levy	\$.....	GL750515
Dept of Building & Housing Levy	\$.....	GL750516
Car Parking Contribution	\$.....	GL722503
Bond	\$.....	GL9018353
TOTAL	\$ 439.00	





APPLICATION FOR A PROJECT INFORMATION MEMORANDUM A FORM FOR BUILDING CONSENT

BUILDING Section 33 or Section 45, Building Act 2004

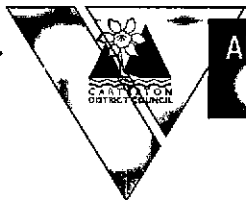
Send or deliver your application to: Carterton District Council, PO Box 9, Holloway Street,
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Faber Developments Ltd
Trading as:
Versatile Buildings Wairarapa
105 Ngaumutawa Road
PO Box 25
Masterton 5810, New Zealand
Phone (06) 378 8002
Fax (06) 378 8201
wairarapa@versatile.co.nz

The following plans and specifications are attached to this application: [tick boxes applicable]		
☒ specifications	☐ calculations	☒ plans
☒ producer statement	☐ Other (please specify)	
[All plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority]		

The building work will comply with the building code as follows:

Clause [which of the following clauses will be involved in the proposed work?]	Means of compliance [refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications]	Inspection Monitoring
☒ B1 Structure NZS 3604, NZS 4203	NZS 3605	Council
☒ B2 Durability NZS 3604, NZS 1992	1992	Council
☐ C1-4 Fire		
☐ D1 Access routes		
☐ D2 Mechanical installations for access		
☒ E1 Surface water	Sink hole	Council
☒ E2 External moisture Producer/Durability Statement		Council
☐ E3 Internal moisture		
☐ F1 Hazardous agents on site		
☐ F2 Hazardous building materials		
☐ F3 Hazardous substances etc.		
☐ F4 Safety from falling		
☐ F5 Construction and demolition hazards		
☐ F6 Lighting for emergency		
☐ F7 Warning systems		
☐ F8 Signs		
☐ G1 Personal hygiene		
☐ G2 Laundering		
☐ G3 Food preparation and prevention of contamination		
☐ G4 Ventilation		



APPLICATION FOR A PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT

BUILDINGS Section 33 or Section 45, Building Act 2004

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wairarapa@versatile.co.nz

☐ G5 Interior environment		
☐ G6 Airborne and impact sound		
☐ G7 Natural light		
☐ G8 Artificial light		
☐ G9 Electricity		
☐ G10 Piped services		
☐ G11 Gas as an energy source		
☐ G12 Water supplies		
☐ G13 Foul water		
☐ G14 Industrial liquid waste		
☐ G15 Solid waste		
☐ H1 Energy efficiency		

CONTACTS

Designer/Architect

Structural Engineer

Name **VERSATILE BUILDINGS
WAIRARAPA**
Address **205 NGAUMUTAWA RD
MASTERTON**
Phone(s) **PH. 06 3788002
0274-749-661**

Name
Address
Phone(s)

Fax & e-mail

Fax & e-mail

Registration

Registration

Builder

**VERSATILE BUILDINGS
WAIRARAPA**

Other

**VERSATILE BUILDINGS
WAIRARAPA**

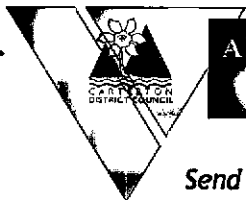
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MASTERTON**

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MASTERTON**

Address **PH. 06 3788002
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APPLICATION FOR A PROJECT INFORMATION MEMORANDUM A FORM FOR BUILDING CONSENT

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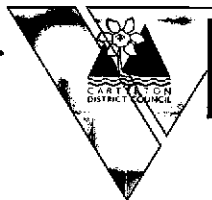
BUILDING Section 33 or Section 45, Building Act 2004

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Phone(s)		Phone(s)	
Fax & e-mail		Fax & e-mail	
Registration		Registration	
Plumber		Drainlayer	
Name		Name	
Address		Address	
Phone(s)		Phone(s)	
Fax & e-mail		Fax & e-mail	
Registration		Registration	

The information you have provided on this form is required so that your building consent application can be processed under the Building Act 2004. The Council collates statistics relating to issued building consents and has a Statutory obligation to regularly forward these to Statistics NZ. The Council stores the information on a public register which must be supplied (as previously determined by the Ombudsman) to whosoever requests the information. Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you. Note: the issue of a building consent does not relieve the owner of any duty or responsibility under any other act. Please check with your local territorial authority regarding the requirement for other approvals required and fees payable. May include: Consents under the Resource Management Act, Vehicle Access, Road openings, Health licensing, Liquor licensing, Trade Waste licensing





APPLICATION FOR A PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT

BUILDING Section 33 or Section 45, Building Act 2004
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Masterton 5810, New Zealand
Phone (06) 378 8002
Fax (06) 378 8201
wairarapa@versatile.co.nz

1. GENERAL

Complete for all applications

Customer use		Office use
☒	a Application form (1 copy) Completed and signed by the owner or by an agent on behalf of the owner.	☒
☒	b Proof of ownership (1 copy) One recent copy of current certificate/s of title (i.e. not older than 3 months) or one copy of purchase agreement (if recently purchased) or one copy of relevant portions of current lease	☒
☒	c Location plan (1:100) showing: Physical location of the site in relation to streets or landmarks, north point and lot and DP number. Location of the building within the site and location of work within the building.	☒
☒	d Inspections and monitoring Details of proposed inspection regime including monitoring by council officers and other professionals e.g. architects, engineers, surveyors and certification to be supplied on completion.	☒
☒	e Application fee Applications will not be accepted without payment of the appropriate fees. Fees payable are set out in the published fee schedule of the council that has jurisdiction over the project site.	☒

Minor Works (Freestanding/Inbuilt fires, and minor plumbing and drainage works)

This check sheet shows you the information that has to be supplied with your building consent application. Please attach 2 copies of the following information (unless otherwise specified) with your completed Building Consent Application form.

Please do not use colour in your plans as colour will not show up on scanned records.

Please tick each relevant box in the Customer Use column as you attach the information.

Complete only the sections that are applicable to your project. A guidance document is available to help complete the section in the application form on 'means of compliance' for each building code clause.

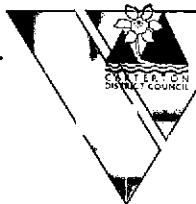
Once you have attached all the required information, please check for completeness as an incomplete application or lack of any supporting information will mean that your application cannot be accepted for processing.

1. FREESTANDING / INBUILT FIRES

Complete where the proposal is only for the installation of a fire appliance into an existing building
CHECK SHEETS (Effective from 31 March 2005)

☐	a Floor plan (not less than 1:100) showing: - location of the solid fuel appliance in the dwelling, including proximity to any windows. If flue extends through or past a second storey, plans of the upper stories are also required. - location and type of smoke detectors (required where none are currently installed or where existing need to be replaced or moved)	☐
☐	b Manufacturer's specifications - for correct installation and use of the solid fuel appliance - the specifications must relate to the specific make and model of fire being installed. Alternatively state the generic standard being applied.	☐
☐	c Flue details Where these are not included in the manufacturer's specifications	☐
☐	d Weatherproofing details Flashing details for the flue penetrations	☐
☐	e Secondhand appliances must have an acceptable Producer Statement Producer statements must be from an expert source, be on firms letterhead, state the residual durability of both the appliance and/or the flue, and be signed and dated.	☐





APPLICATION FOR A PROJECT INFORMATION MEMORANDUM

OF BUILDING CONSENT

Section 33 or Section 45, Building Act 2004

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er Developments Ltd
ding as:
satlle Buildings Wairarapa
Ngamutawa Road
Box 25
Masterton 5810, New Zealand
Phone (06) 378 8002
Fax (06) 378 8201
wairarapa@versatile.co.nz

2. MINOR PLUMBING AND/OR DRAINAGE

Complete only for projects for plumbing/drainage projects that do not have associated building work (where the proposal includes plumbing and building work use the Single Residential Dwelling and Accessory Building Check sheet)

☐	a Existing floor plan (1:100) showing - location of fixtures, fittings and/or drainage - location and type of smoke detectors	☐
☐	b Proposed floor plan (1:100) showing - fixtures, fittings and hot water systems - If the building is more than one storey high with sanitary fixtures on the upper floors, provide an isometric layout showing wastes, pipes and falls - ventilation of sanitary rooms - location and type of smoke detectors	☐
☐	c Drainage plan (1:500) showing: (Note: if you have supplied drainage details for surface water disposal on the site plan, no drainage is required) - drainage layout with inspection bends and junctions indicated for both sewer and storm water - any other drainage on site, including retaining wall field drains	☐

Single Residential Dwelling and Accessory Building

1. GENERAL as under 1. under Minor Works

2. DEMOLITION / REMOVAL

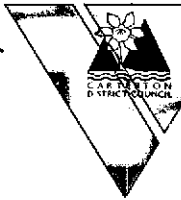
Complete for all projects involving demolition of significant parts of buildings or the demolition or removal of whole buildings.

Note: Where the project is only for the complete removal or demolition of a building you are not required to complete any further sections

☐	a Means of barricading the site Provide details of temporary barriers, gates which swing inwards or other means of restricting public access to the area	☐
☐	b Proposed tipping location for demolition materials (address/landfill)	☐
☐	c Hazardous building materials Provide safety plan detailing the safe handling and disposal of hazardous materials	☐
☐	d Site management plan covering management to control silt run off, noise and dust	☐
☐	e Proposed destination for relocated building:	☐
☐	f Access to and from the site including (use of kerb and crossings)	☐
☐	g Specify termination of existing services - Water - Sewer - Storm water	☐
☐	h Details about the building such as: Number of storey's, type of materials the building is constructed of (note: Photographs of the building would be useful)	☐

Note: You will need to contact the relevant service authorities specified below to advise them of the extent of your work: Electricity, gas, drainage, water, transport, telecommunications, cable television or any other services that may be affected.

Note: Transportation of relocated building - You will be required to contact and provide details to Council's Transportation and Traffic Department.



APPLICATION FOR A PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT

BUILDING Section 33 or Section 45, Building Act 2004
Send or deliver your application to: Carterton District Council, PO Box 9, Holloway Street, Carterton. For enquiries, phone (06) 379 6626.

Faber Developments Ltd
Trading as:
Versatile Buildings Wairarapa
25 Ngaumutawa Road
PO Box 25
Masterton 5810, New Zealand
Phone (06) 378 8002
Fax (06) 378 8201
wairarapa@versatile.co.nz

3. FOUNDATIONS / FLOOR

Complete for all new buildings, for existing buildings where the footprint of the building will change or where an additional storey is being added

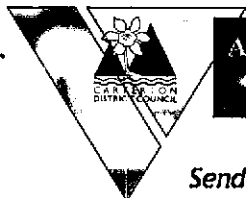
☒	a Site Plan (1:100) showing 1:250 Dimensions of all boundaries, north point, finished floor levels, ground contours (extended to boundaries) and/or levels, site area, street name and number, lot and DP number, outline of building and distances to boundaries. Include on the site plan the designated wind zone of the site (e.g. specific design, very high, high, medium or low)	☒
☒	b Foundation plan (1:100/1:50) showing: • dimensions of all new foundations • sub-floor, including bracing • footing details (including reinforcing and connections) • If a concrete slab, show basic details including reinforcing and contractions joints • piles and footings (including reinforcing and connections) • If the addition is an upper storey show details on upgrading existing foundations, joints, piles, etc • Indicate ventilation to sub floor spaces	☒
☒	c Sub floor bracing Provide sub floor bracing plan and calculations for all piled structures. Where the structure is specifically engineered, this should be included with the structural calculations Sub floor bracing plan and calculations are required where an additional storey is to be added.	☐
☒	d Foundation details Details including reinforcing and connections	☒

4. CONSTRUCTION

Complete for all new structures or alterations to existing structures

☒	a Existing floor plan (1:100/1:50) showing (for additions and alterations only) • all levels • all designated spaces • all removals • sanitary fixtures • smoke detectors	☐
☒	b Proposed floor plans (1:100/1:50) showing: • room dimensions • location of partitions • all designated spaces • all floors (new or altered) • location of sanitary fixtures • stairs, barriers, handrails, floor joists and beams • floor joist layout for each level with timber floors • smoke detectors	☒
☒	c Wall bracing plan (1:100/1:50) showing: Bracing details and calculations for wall bracing (also required for existing lower storeys where an additional storey is being added) Sub-floor bracing for decks projecting more than 2m from the house Location, type and number of bracing elements to indicate compliance with NZS 3604:1900 (include calculations) If the bracing was specifically designed by a structural engineer, provide calculations (required for specific design wind zones and lateral distribution of upper floor loads where lower storey bracing is provided in walls beyond the upper storey footprint)	☒
☒	c Sections and details (1:50/1:20/1:10) showing: • stairs, handrails, decks and decking • insulation systems and materials to floors, walls and roof • barriers providing safety from falling. Specific engineering design required where detail does not comply with NZBC B1/AS2 • framing sizes, beams, lintels, trusses including fixing and other structural items. Lintels carrying point loads, such as from girder trusses, require specific engineering design • roof cladding, eaves, fascias, gutters, flashings to openings • fire rated systems on all walls - closer than 1 metre to boundary	☒





APPLICATION FOR A PROJECT INFORMATION MEMORANDUM A N / O F BUILDING CONSENT

Bar Developments Ltd
Trading as:
Versatile Buildings Wairarapa
25 Ngaumutawa Road
PO Box 25
Masterton 5810, New Zealand
Phone (06) 378 8002
Fax (06) 378 8201
wairarapa@versatile.co.nz

Section 33 or Section 45, Building Act 2004

Send or deliver your application to: Carterton District Council, PO Box 9, Holloway Street, Carterton. For enquiries, phone (06) 379 6626.

	- stud heights of rooms and total height from lowest ground floor level to top of ridge - truss layout supported by design certificate and design of fixing details and load path to ground - retaining wall details e.g. type, height of retained ground, relationship to boundary, waterproof membrane and proposed drainage. - truss design details	
RA	d Fire report: For domestic dwellings of 4 storeys or more, or buildings providing more than one household unit.	☐

5. STRUCTURAL

Complete for all projects incorporating specific structural

RA	a Structural calculations If any design work required the services of a structural engineer, attach 2 copies of the calculations with this application along with structural drawings The calculations must be prefaced with information explaining the design philosophy and justification of assumptions and methodologies used in analysis	☐
X	b Producer statements: If this application for consent relies on any producer statements certifying compliance with the New Zealand Building Code, a copy must be attached with this application. (Note all structural producer statements are required to have accompanying calculations)	☒

6. EXTERNAL

Complete for new buildings or existing buildings with alterations to the external shell

X	a Elevations (1:100/1:50) showing: Accurate lines from boundary to boundary on each elevation, relevant District Plan daylight control lines, the maximum height on each elevation, location of door and window openings, fixed and opening sashes, sill heights, floor levels in relation to ground levels, exterior cladding nominated to all elevations, down pipes and spouting, ventilators to sub-floor area (suspended floors only)	☒
RA	b Risk assessment (Risk matrix in E2/AS1 may be used) Consider exposure, design and detailing to support appropriate selection of cladding	☐
X	c Cladding details (1:50/1:20/1:10) Provide details around all penetrations, joinery and other junctions at a level appropriate to the level of risk e.g. roof/wall, balcony/ wall, junction of different types of cladding, back flashing details for cavity systems	☒
RA	d Product certification Supply copies of product certificates relied on as compliance documents	☐
RA	e Alternative solutions If the proposal uses products or systems that are not covered in the Acceptable Solutions of clause E2 of the building code provide supporting current information including independent test results (full signed reports), case studies, expert opinion (including evidence of experience/qualification, basis for forming opinion, and statement of independence) etc to demonstrate compliance	☐

7. SERVICES

Complete for all projects with new installation or alteration of plumbing or drainage services

☐	a Plumbing and Drainage plan (1:100) showing: Note: If you have supplied drainage details for surface water disposal on the site plan, no drainage plan is required	☐
	- fixtures and fittings, hot water system(s) - if the building is more than one storey with sanitary fittings on upper floors, provide an isometric layout showing wastes, pipes and falls - drainage layout with inspection bends and junctions indicated for both sewer and storm water - any other drainage on site including council mains and retaining wall field drains - ventilation of sanitary rooms - calculations for sizing of down pipes	





APPLICATION FOR A PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT

BUILDINGS

Section 33 or Section 45, Building Act 2004

Send or deliver your application to: Carterton District Council, PO Box 9, Holloway Street, Carterton. For enquiries, phone (06) 379 6626.

Faber Developments Ltd
Trading as:
Versatile Buildings Wairarapa
105 Ngaumutawa Road
PO Box 25
Masterton 5810, New Zealand
Phone (06) 378 8002
Fax (06) 378 8201
wairarapa@versatile.co.nz

8. CHANGE OF USE

Complete for all existing buildings where the proposal involves forming a household unit where one did not exist before (Example: the conversion of a garage or shed into a residential unit)

☐	a Assessment of the building for compliance with the building code Section 115(a) of the Building Act 2004 requires that the work comply fully with all clauses of the building code.	☐
☐	b Reasonably practicable The above assessment must relate to all building code clauses. If the proposal is for the project to meet anything less than full compliance with any clauses, your application must clearly state your reasoning, with supporting documentation, and show how you will meet the highest level of compliance that can be considered reasonably practicable.	☐

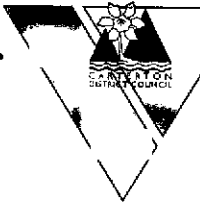
9. SPECIFICATIONS

Complete for all applications

Note: The specification must be specific to the project and cover all aspects of the proposed work.

☒	a Specification: General - elements of structure (size, spacing, timber treatment) - finish of fixings to meet durability requirements - plumbing and drainage materials and design that installation is to comply with - wet area surfaces - ventilation systems - flooring slip resistance for access routes - glazing - type of smoke detectors (including existing smoke detectors where they will remain)	☒
☒	b External claddings For each of the following claddings provide details of the product name, manufacturer, maintenance requirements and warranties offered - Building wraps - Wall claddings - Roof claddings - Membranes (roofs and decks) - Tanking - Joinery	☒





APPLICATION FOR A PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT

VERSATILE BUILDINGS

Section 33 or Section 45, Building Act 2004
Send or deliver your application to: Carterton District Council, PO Box 9, Holloway Street, Carterton. For enquiries, phone (06) 379 6626.

Member Developments Ltd
Trading as:
Versatile Buildings Wairarapa
25 Ngaumutawa Road
PO Box 25
Masterton 5810, New Zealand
Phone (06) 378 8002
Fax (06) 378 8201
wairarapa@versatile.co.nz

PIM - Project Information Memorandum

1. **GENERAL** as under 1. under **Minor Works** and the following:

☐	a Site plan (1:100) showing: Dimensions of all boundaries, north point, finished floor levels, ground contours (extend to boundaries) / levels, site area, site coverage, street name and number, lot and DP number, outline of building, area of building, distances to boundaries	☐
☐	b Drainage plan (1:100) showing: Proposed storm water and wastewater disposal including connections to Council mains (not required if included on site plan)	☐
☐	c Elevations (1:100/1:50) showing: Accurate lines from boundary to boundary on each elevation, relevant District Plan daylight control lines, the maximum height on each elevation, location of door and window openings, floor levels in relation to ground levels, exterior cladding nominated to all elevations	☐
☐	d Vehicle access plans showing: • Location and extent of driveway relative to existing legal boundaries of the site, public footpath/roadway and, where relevant, other features (e.g. house, wall, fence, tree) that potentially effect visibility and manoeuvring • long-section (1:100) showing proposed levels and gradients along the centreline; on wide or tight-turning accesses, three long-sections along left, centre and right • location and area of parking spaces	☐



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy

R. W. Muir
Registrar-General
of Land

Identifier 43820
Land Registration District Wellington
Date Issued 06 December 2002

Prior References
WN36A/503

Estate	Fee Simple
Area	2411 square metres more or less
Legal Description	Lot 5 Deposited Plan 311131
Proprietors	
Ewan Warner Trustee Limited	

Interests

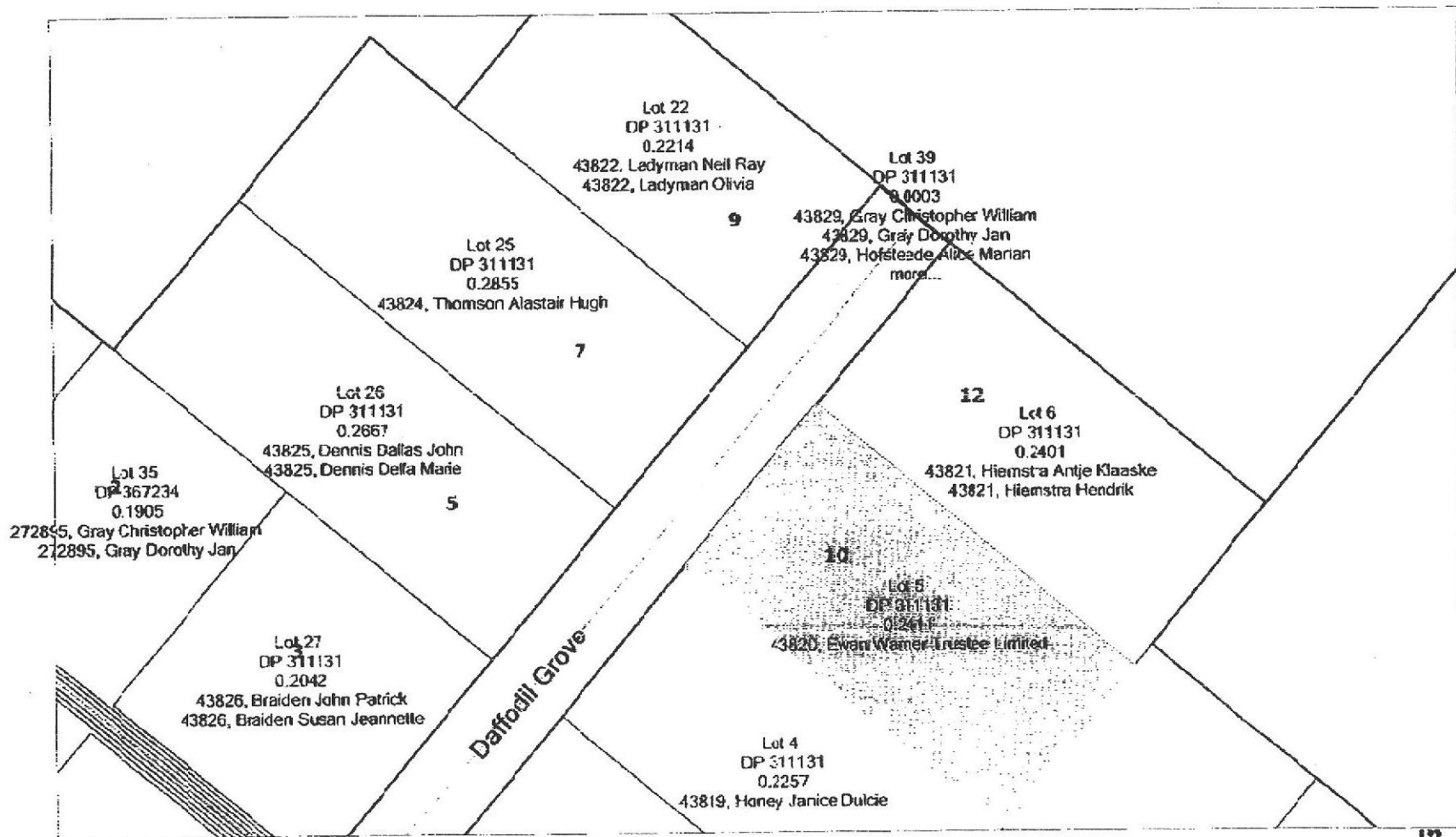
Appurtenant hereto is a right of water supply created by Transfer 916265.1 - 21.4.1988 at 2.53 pm
Appurtenant hereto is a right of water supply specified in Easement Certificate 916265.2 - 21.4.1988 at 2.53 pm
Appurtenant hereto are rights to sewer, electricity, telecommunications and water supply specified in Easement Certificate B737262.4 - 3.8.1999 at 3.15 pm
The easements specified in Easement Certificate B737262.4 are subject to Section 243 (a) Resource Management Act 1991
Land Covenant in Transfer 5426450.5 - 6.12.2002 at 9:00 am
7694641.3 Mortgage to ANZ National Bank Limited - 8.2.2008 at 3:30 pm



LAND DISTRICT	WELLINGTON
Survey Blk. & Dist	X Tiffin
NZMS 251 Sheet	Red Map No.

LOTS 1-6, 22-23, 25-27, 34-35, 38-39
BEING A SUBDIVISION OF LOT 1
& PT LOT 2 DP 62892 & LOT 51 DP 126

TOMLINSON AND CARPENTERS SURVEYORS LIMITED 28 PERMIT ST WESTERTON

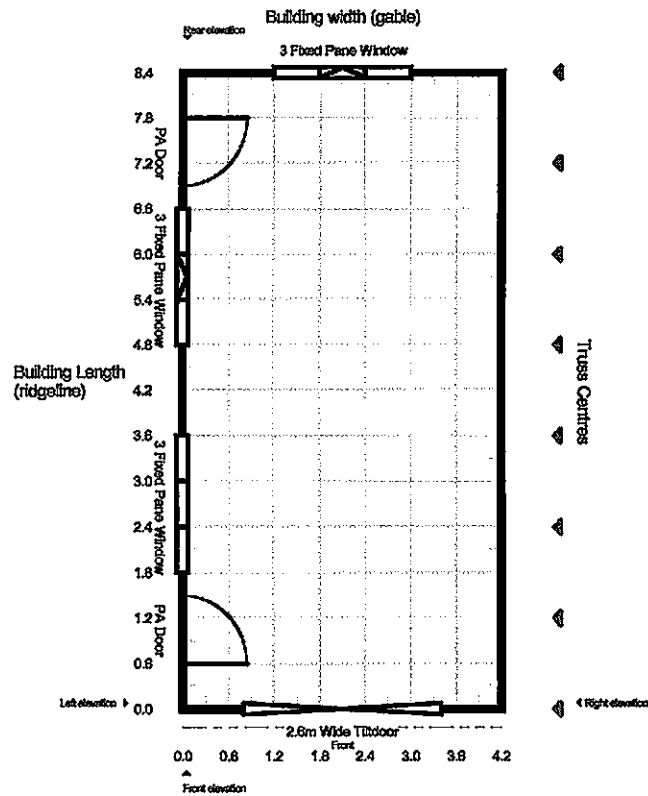


Scale: 1:1000

100 metres

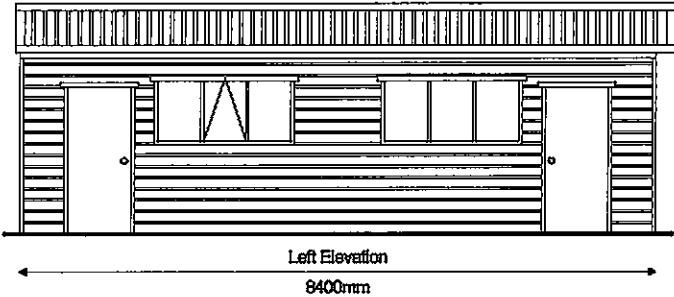
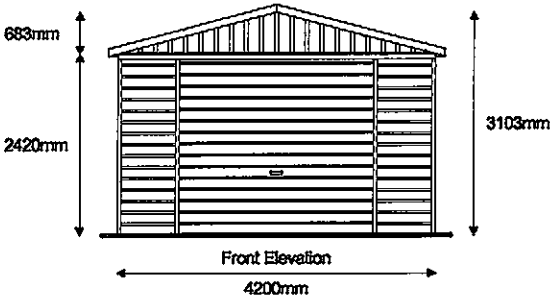


Versatile Buildings 600 Series Floor Plan
 Customer: Mr. David Warner
 Site Address: Carterton, ,
 Reference: Nigel-631
 Contact: Nigel Frazer, Wairarapa, 06 378 8002

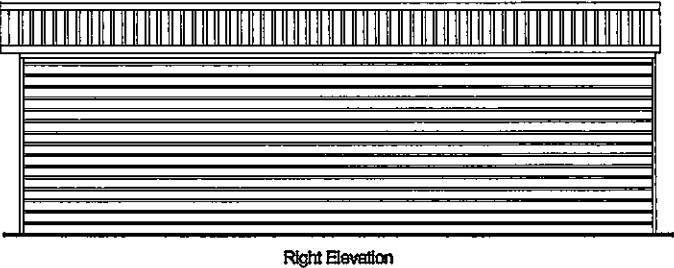
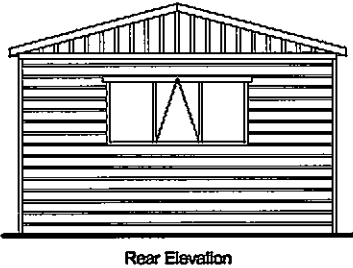


OFFICE COPY
 CARTERTON DISTRICT
 COUNCIL
 APPROVED
 B/C No. 080368
 DATE 28/11/18
 BUILDING INSPECTOR

Versatile Buildings 600 Series Elevations
Customer: Mr. David Warner
Site Address: Carterton, ,
Reference: Nigel-631
Contact: Nigel Frazer, Wairarapa, 06 378 8002



DATE _____
 BUILDING INSPECTOR _____
 CARTERTON DISTRICT COUNCIL
 APPROVED
 B/C No. 030368



Contact: Nigel Frazer, Wairarapa, 06 378 8002

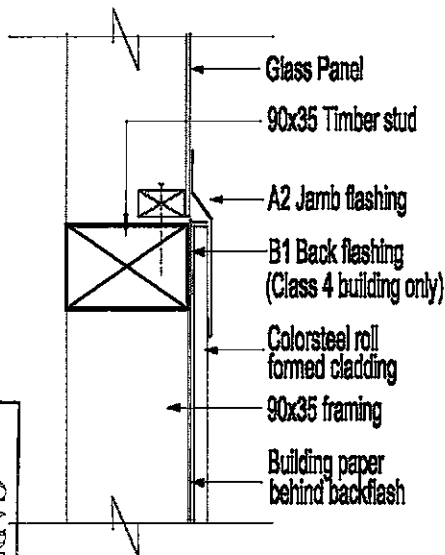
Aluminium Joinery Glazing:

65mm

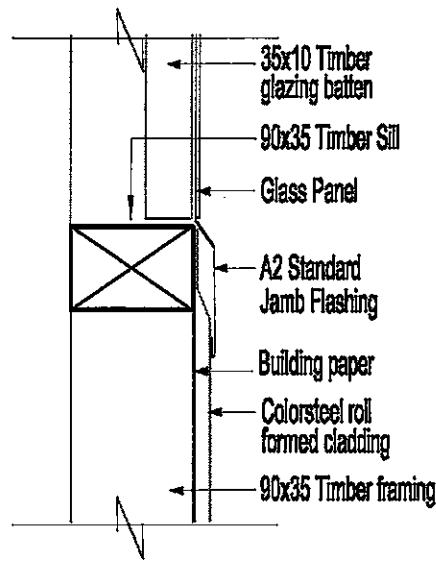
WALL BRACING: Fix bracing in accordance with VB 2000, WALL BRACING. Bracing panel locations and fixing refer to "Wall Bracing: 800 Series, Feb 04 Ver1.4."



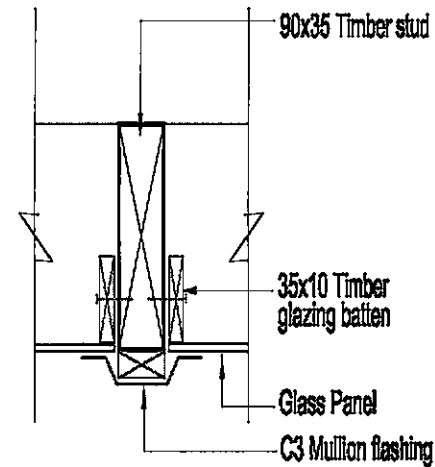
Versatile Buildings 600 Series Specifications
Customer: Mr. David Warner
Site Address: Carterton, ,
Reference: Nigel-631
Contact: Nigel Frazer, Wairarapa, 06 378 8002



Standard Window Jamb Detail



Standard Window Sill Detail

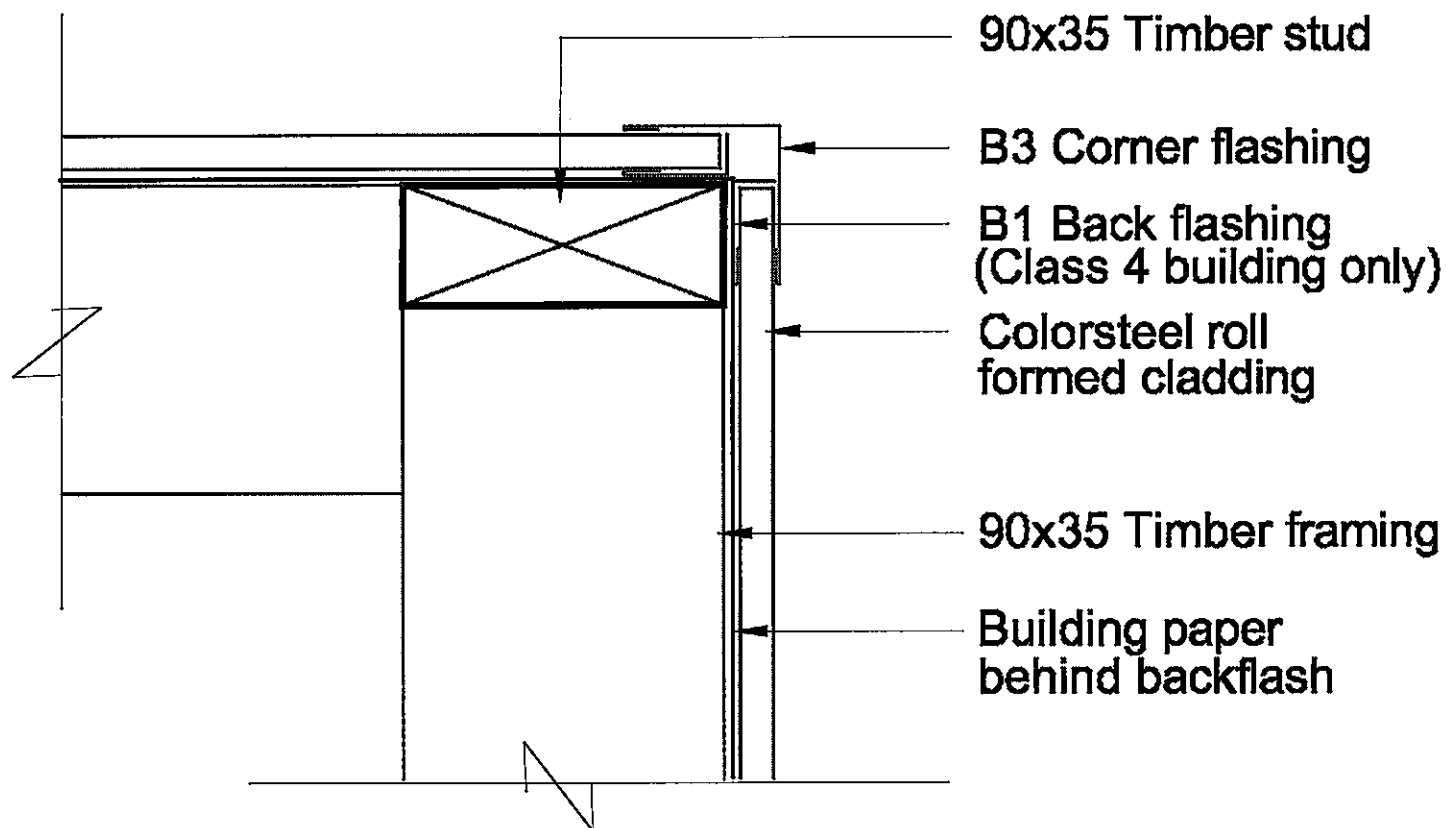


Standard Mullion Detail

DATE	CARTERTON DISTRICT COUNCIL APPROVED B/C No. 080363
BUILDING INSPECTOR	

TITLE: Standard Window Details

Versatile Buildings 600 Series Specifications
 Customer: Mr. David Warner
 Site Address: Carterton, ,
 Reference: Nigel-631
 Contact: Nigel Frazer, Wairarapa, 06 378 8002



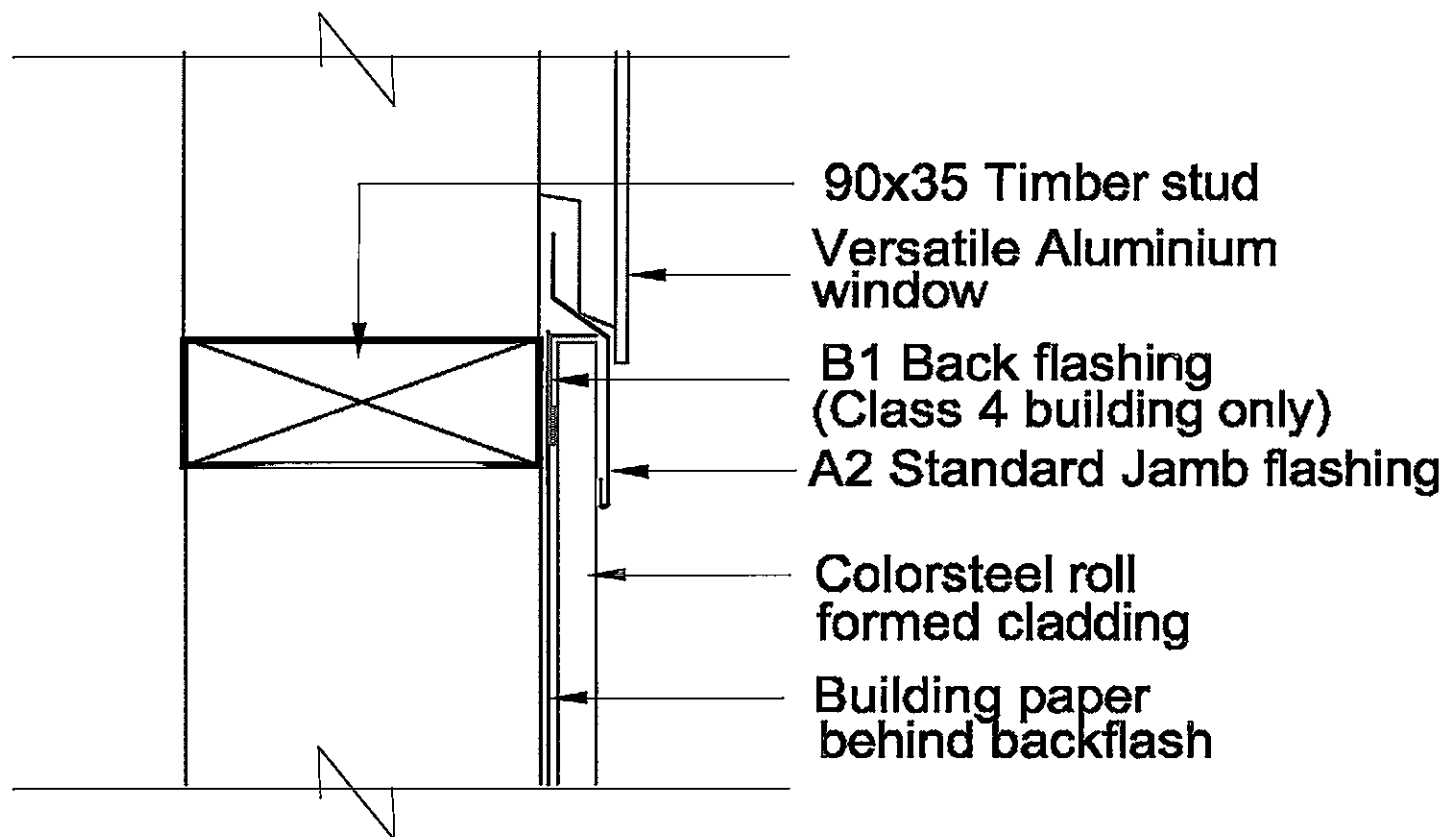
Corner Flashing Detail

TITLE: Corner Flashing Detail

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BUILDING INSPECTOR	

Versatile Buildings 600 Series Specifications
 Customer: Mr. David Warner
 Site Address: Carterton, ,
 Reference: Nigel-631
 Contact: Nigel Frazer, Wairarapa, 06 378 8002



Versatile Alum. Window Jamb Detail

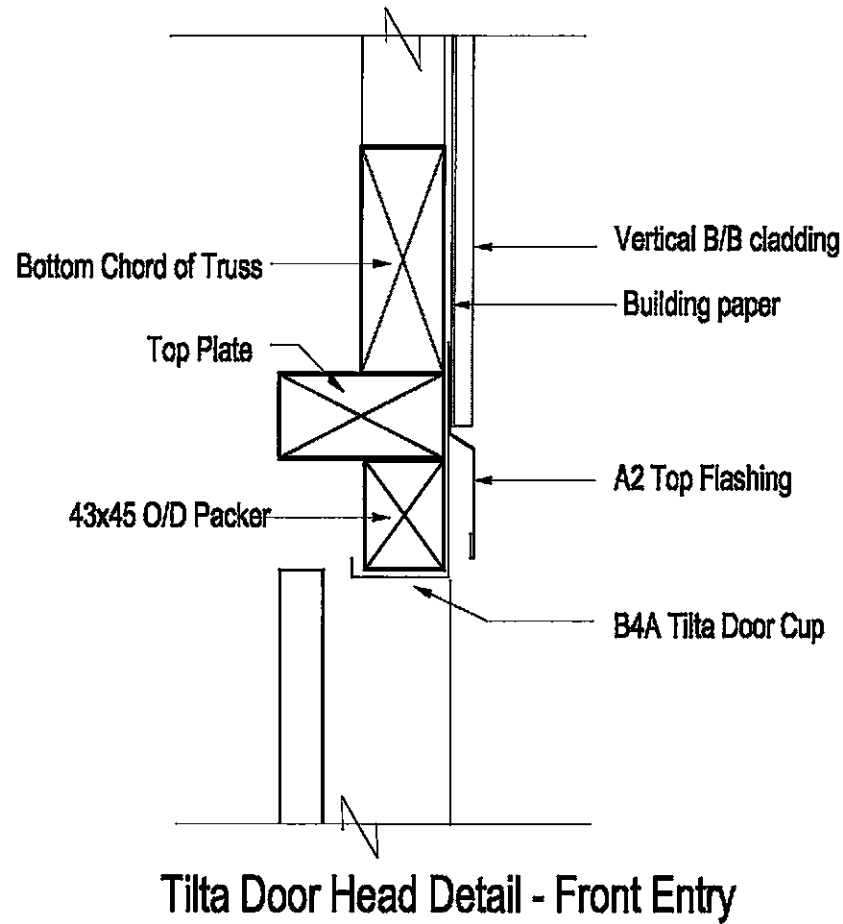
TITLE: Window Jamb Detail

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page 6 of 15

DATE	CARTERTON DISTRICT COUNCIL
B/C No. 080368	APPROVED
BUILDING INSPECTOR	

Versatile Buildings 600 Series Specifications
Customer: Mr. David Warner
Site Address: Carterton, ,
Reference: Nigel-631
Contact: Nigel Frazer, Wairarapa, 06 378 8002



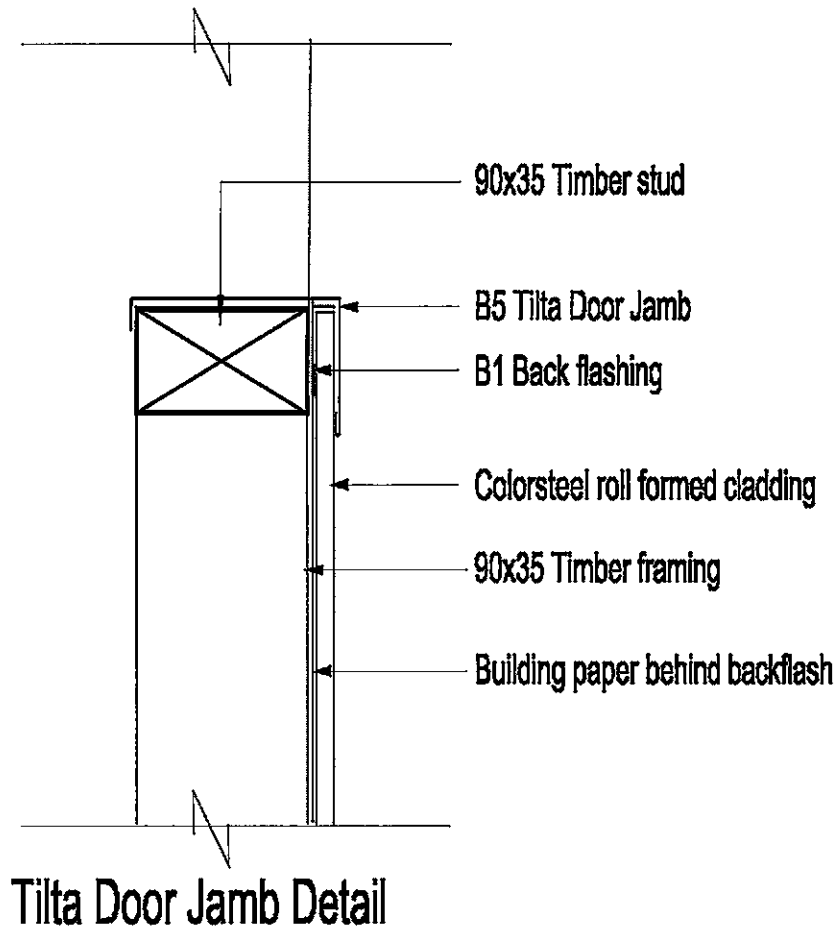
Tilta Door Head Detail - Front Entry

TITLE: Tilt Door Front Entry

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CARTERTON DISTRICT COUNCIL APPROVED B/C No. 080368	

Versatile Buildings 600 Series Specifications
Customer: Mr. David Warner
Site Address: Carterton, ,
Reference: Nigel-631
Contact: Nigel Frazer, Wairarapa, 06 378 8002

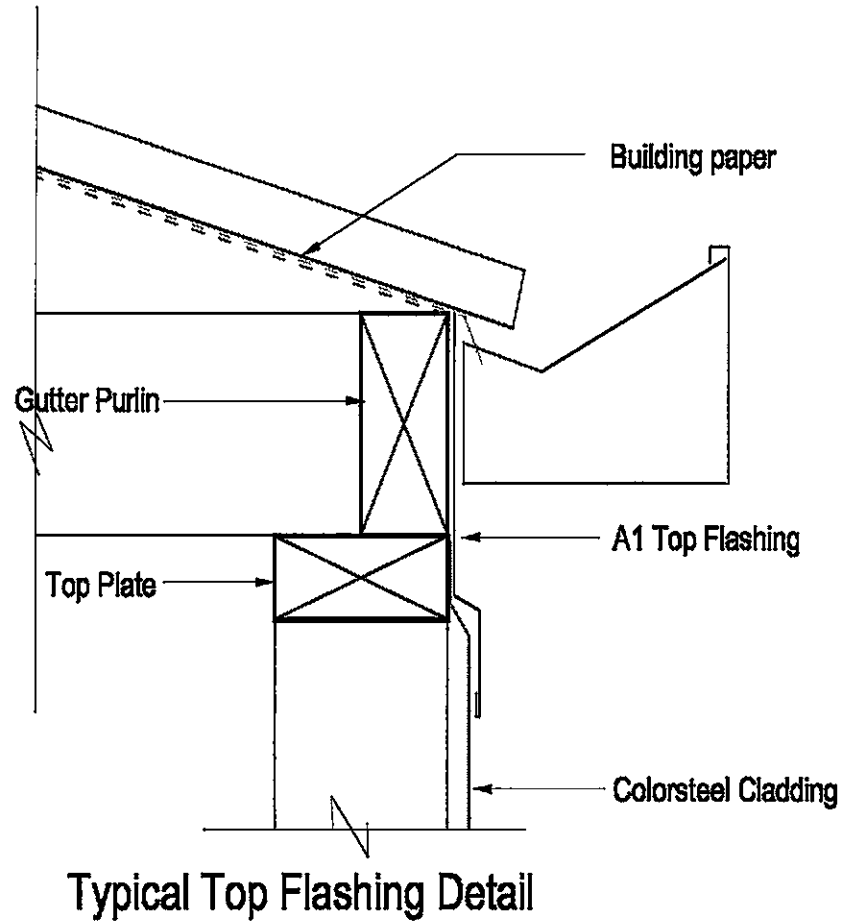


TITLE: Tilt Door Jamb Detail

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	APPROVED
B/C No.	00368
BUILDING INSPECTOR	

Versatile Buildings 600 Series Specifications
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 Site Address: Carterton, ,
 Reference: Nigel-631
 Contact: Nigel Frazer, Wairarapa, 06 378 8002

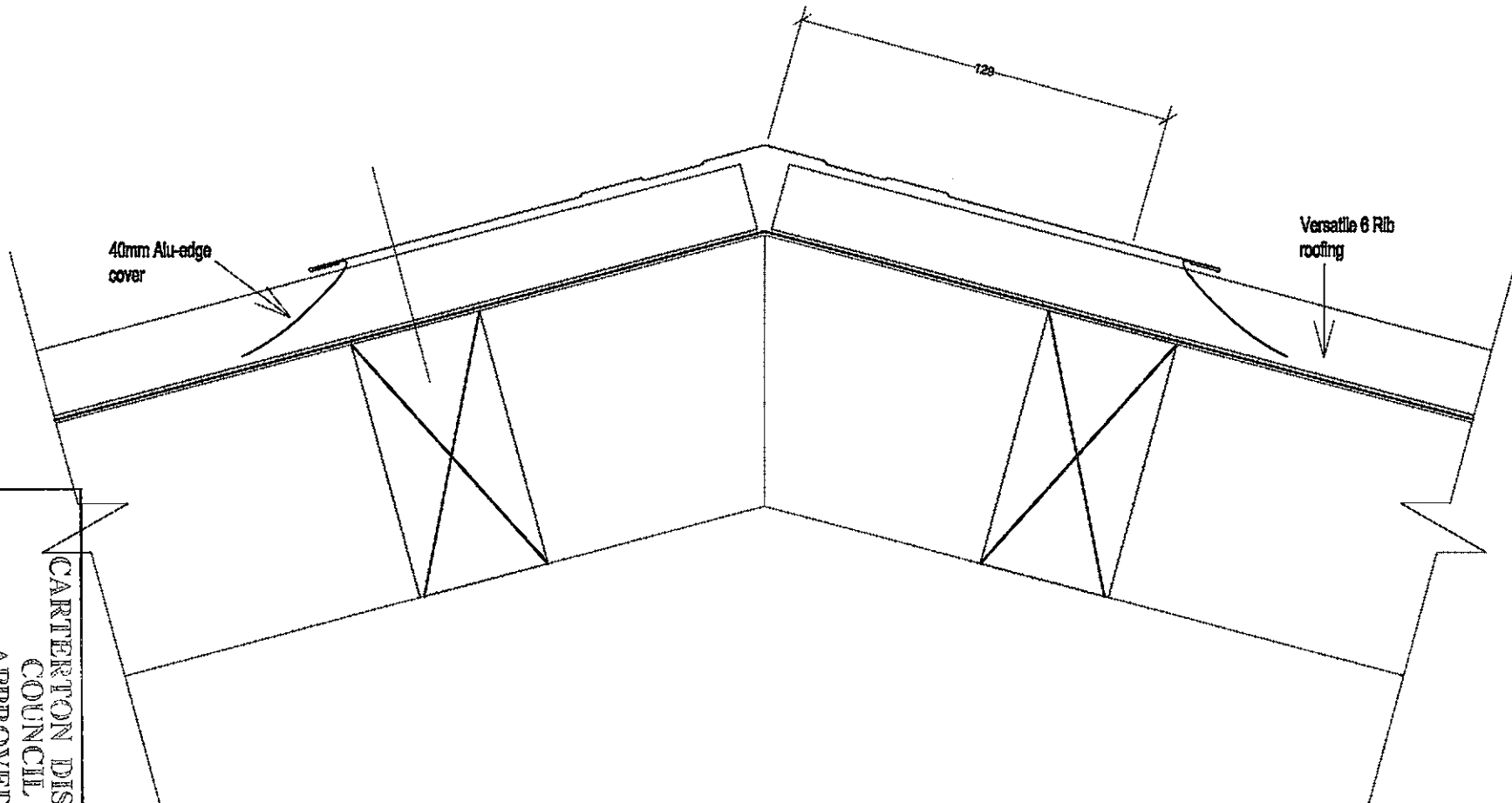


DATE	CARTERTON DISTRICT COUNCIL
BUILDING INSPECTOR	APPROVED
	B/C No. 080369

TITLE: Gutter Detail

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Versatile Buildings 600 Series Specifications
Customer: Mr. David Warner
Site Address: Carterton, ,
Reference: Nigel-631
Contact: Nigel Frazer, Wairarapa, 06 378 8002

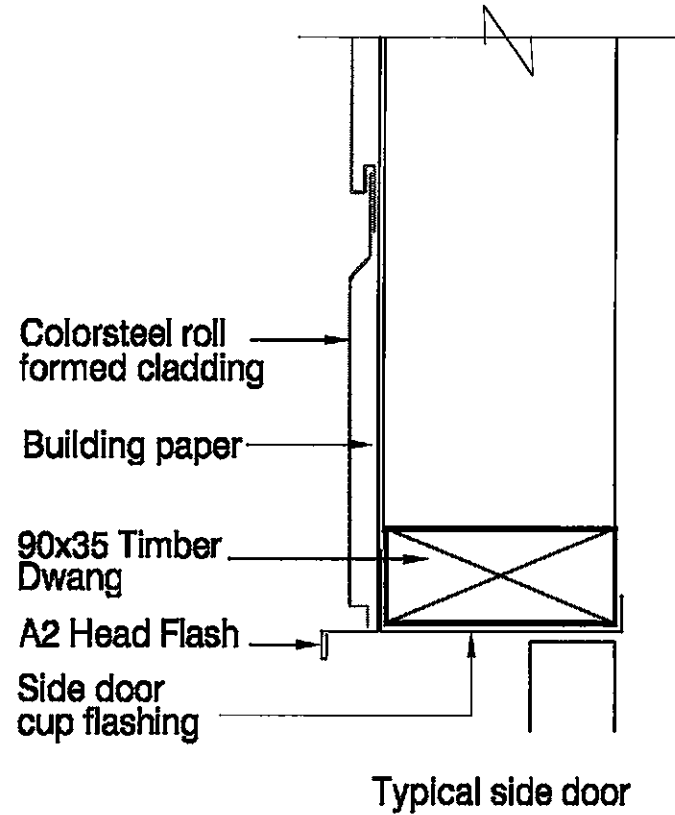


DATE	BUILDING INSPECTOR
CARTERTON DISTRICT COUNCIL, APPROVED	
B/C No. 280368	

TITLE: Ridging Profile

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Versatile Buildings 600 Series Specifications
 Customer: Mr. David Warner
 Site Address: Carterton, ,
 Reference: Nigel-631
 Contact: Nigel Frazer, Wairarapa, 06 378 8002



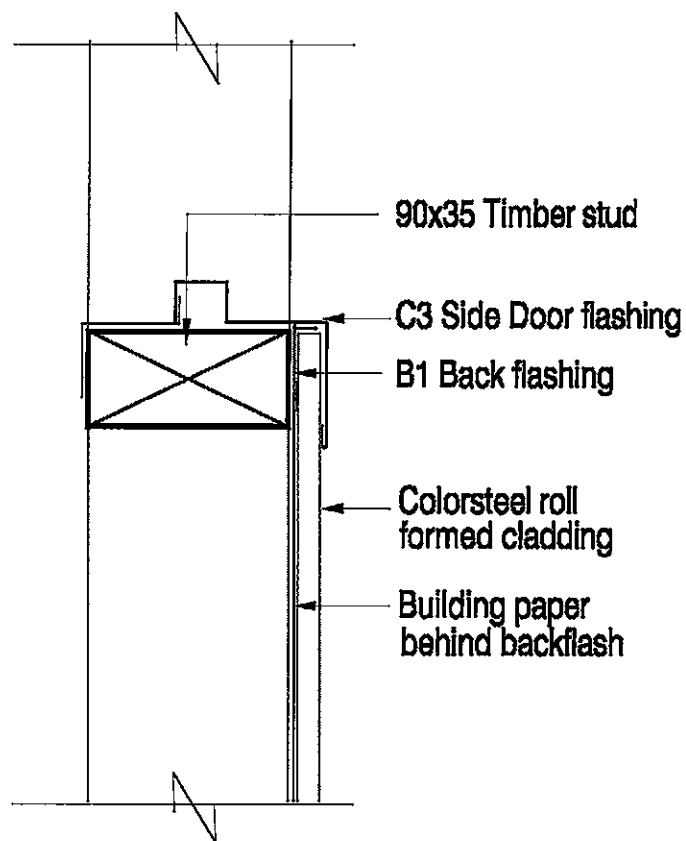
Side Door Head Detail

TITLE: Side Door Head Detail

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BUILDING INSPECTOR	APPROVED
	B/C No. 080368

Versatile Buildings 600 Series Specifications
Customer: Mr. David Warner
Site Address: Carterton, ,
Reference: Nigel-631
Contact: Nigel Frazer, Wairarapa, 06 378 8002



Side Door Jamb Detail

TITLE: Side Door Jamb Detail

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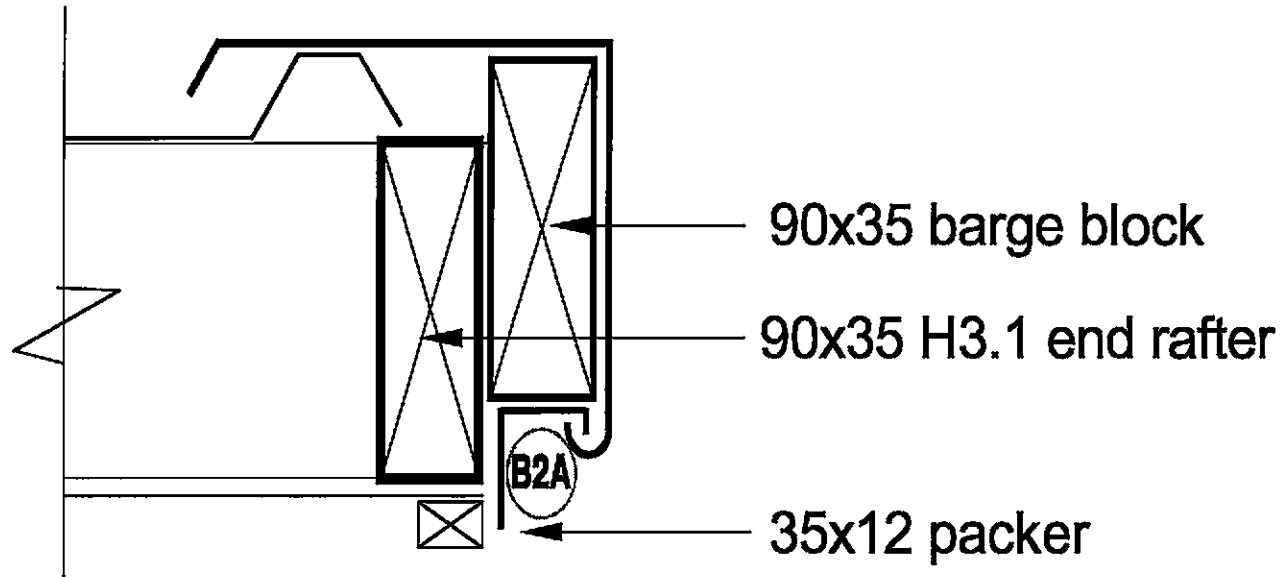
DATE	CARTERTON DISTRICT COUNCIL APPROVED
BUILDING INSPECTOR	B/C No. 080368

CARTERTON DISTRICT
COUNCIL
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B/C No. 080368
DATE BUILDING INSPECTOR



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Contact: Nigel Frazer, Wairarapa, 06 378 8002



BARGE DETAIL

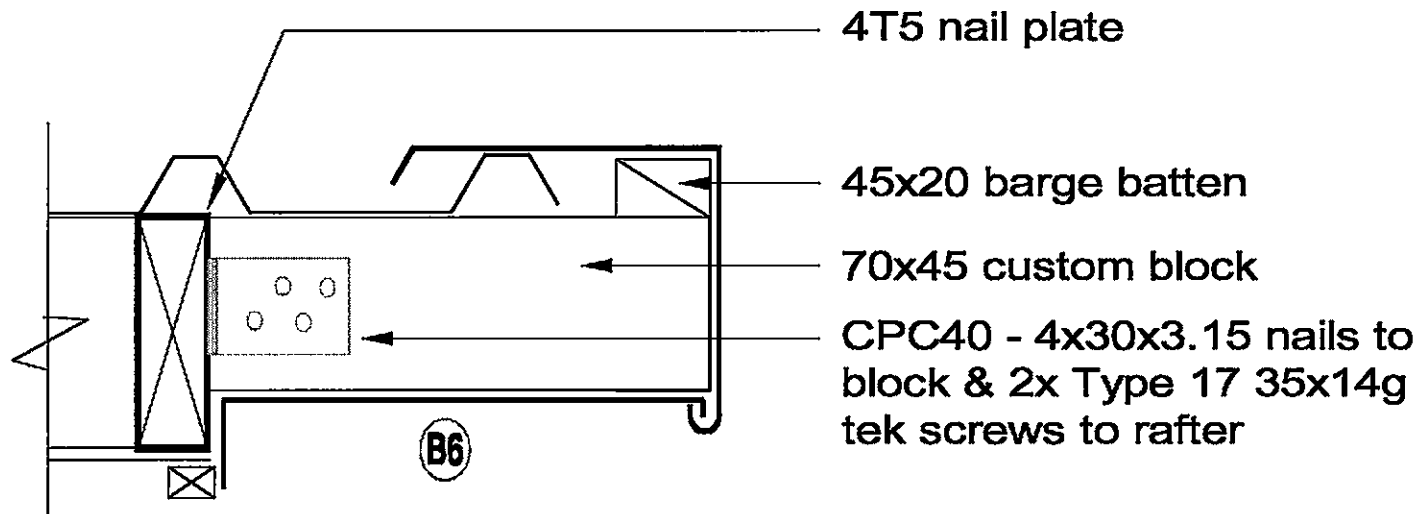
TITLE: Barge Detail

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page 14 of 15

CARTERTON DISTRICT COUNCIL	
APPROVED	
B/C No. 080368	
DATE	BUILDING INSPECTOR

Versatile Buildings 600 Series Specifications
Customer: Mr. David Warner
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Reference: Nigel-631
Contact: Nigel Frazer, Wairarapa, 06 378 8002



BARGE DETAIL

TITLE: Custom End Barge Detail

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page 15 of 15

DATE	CARTERTON DISTRICT COUNCIL
BUILDING INSPECTOR	APPROVED
	B/C No. 080368

VB2000

CONTENTS

SECTION 1	SPECIFICATION DETAILS
SECTION 2	FOUNDATION DETAILS
SECTION 3	WALL FRAMING DETAILS
SECTION 4	ROOF FRAMING DETAILS
SECTION 5	HARDWARE FIXING DETAILS
SECTION 6	WALL & ROOF BRACING DETAILS

CLIENT

Mr. David Warner
Carterton

AUTHORITY

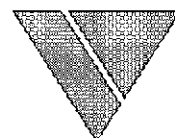
Carterton

CARTERTON DISTRICT COUNCIL APPROVED	
B/C No. ...080368...	
DATE	BUILDING INSPECTOR



MiTek New Zealand Ltd.

HOME OF GANG-NAIL® BUILDING SYSTEMS



VERSATILE®
BUILDINGS

CLIENT

Mr. David Warner
Carterton

AUTHORITY

Carterton

VB2000

PRODUCERS STATEMENT DESIGN

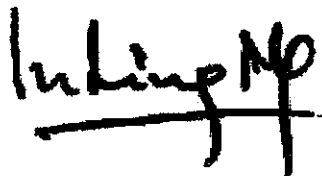
MiTek New Zealand Ltd has been engaged by Versatile Buildings to provide engineering design services in respect of the requirements of clause(s) B1 of the building regulations 1992 for that part of the building work as specified. The design has been prepared in accordance with NZS4203, NZS3603 & NZS3604, approved documents of the NZ Building Code and the work as described on the MiTek New Zealand drawings titled VB2000.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$500,000 I believe on reasonable grounds that subject to:

1. The verification of the design assumptions within the VB2000 documentation.
2. All proprietary products meeting the performance specification requirements.

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the building code.

For and on behalf of MiTek New Zealand Ltd



In Ling Ng
B.E. (Hons) MIPENZ (Structural)
CPEng, IntPE
Member ID 146585

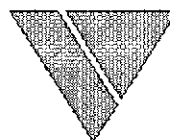
for MiTek New Zealand Ltd.
20 Kotzikas Place
Christchurch
New Zealand

1st November 2008



MiTek New Zealand Ltd.

HOME OF GANG-NAIL® BUILDING SYSTEMS



VERSATILE®
BUILDINGS

CLIENT

Mr. David Warner
Carterton

AUTHORITY

Carterton

VB2000

MANUFACTURERS STATEMENT DURABILITY

To satisfy the requirements of Clause B2: 'Durability' of the New Zealand Building Code, the metal cladding material needs to meet a 50-year durability life. To achieve that, the following provisions must apply:

Range of Product and Use.

Specification: AS1397:2001
Coating type: Zinc/Aluminium & painted
Steel thickness range: 0.35mm - 0.95mm BMT
Steel grade range: G300 - G550
Application: Standard Versatile Walls on Class IV Building category as per NZS4203:1992
Fasteners: Heavy Zinc or Zinc-tin coated clouts to comply with AS3566.2-2002 Classes 3 & 4. Aluminium rivets for all steel components. IF114:1986

Requirements, Limitations and Exclusions.

- Applicable to buildings in Sea-Spray zone and exposure zones 1,2,3 & 4 in accordance with Clause 4, Durability, NZS 3604:1999 which is an acceptable solution under clause B2 of the NZBC
- Fixing and installation of the cladding must be done exactly in accordance with Versatile Buildings Specifications.
- Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

Regular Maintenance.

Exposure zones 1,2,3 & 4. (All areas other than sea spray zones - see below)

- Rain washing only required on exposed sections, sheltered or protected areas such as under spouting, top cladding boards and tops of doors require washing every 3 months.

Sea spray zones (Within 500m from the sea or 100m from sheltered harbours or inlets) and areas of Geothermal activity.

- Rain washing only required on exposed areas. Sheltered and protected areas such as under spouting, top cladding boards and tops of doors require washing down every month and when corrosive salts are present.

Extended Maintenance, Painting or Repainting.**• Extended Durability**

Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufacturer's recommendations are to be followed for surface preparation and paint type to be used.

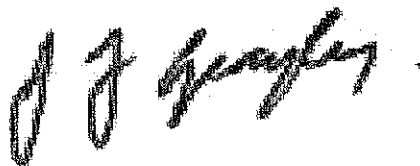
• Evident Corrosion

Areas that show signs of white or red rust/ corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required. Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.

If evident corrosion is not treated quickly rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

References.

1. NZS 3604:1999, clause 4, Durability.
2. Versatile Buildings Assembly Instructions.
3. New Zealand Building Code 1992



Jeffrey Geayley
for Versatile Buildings
112 Waterloo Road, Christchurch
New Zealand
Dated: 1st November 2008



MiTek New Zealand Ltd.

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CLIENT

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Carterton

AUTHORITY

Carterton

VB2000

EXPLANATION

The following designs cover the structural aspects (excluding floor details) of the construction of Versatile Buildings standard range of garages for both the 600 and 1000 Series. The sequence of design information is broken down into the following categories:

- Wall Framing.
- Truss Design.
- All Structural Fixings.
- Building Stability Design for both roof and walls.

All other aspects of the Structure are constructed in accordance with the standard Versatile Buildings details for garages.

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BRANZ Note: Copies of Bracing Test Report for wall cladding, Test number STR346, available for inspection from Versatile Buildings, 112 Waterloo Road, Christchurch.

Building Classification: Buildings designed for Class 5 Category as defined in NZS4203:1992 Table 2.3.1

Patent: 'FlexiBrace' subject to Patent No: 504428 MiTek N.Z. Ltd.

Steel 'Stud Saver' subject to registered Patent No's 330803 & 314494



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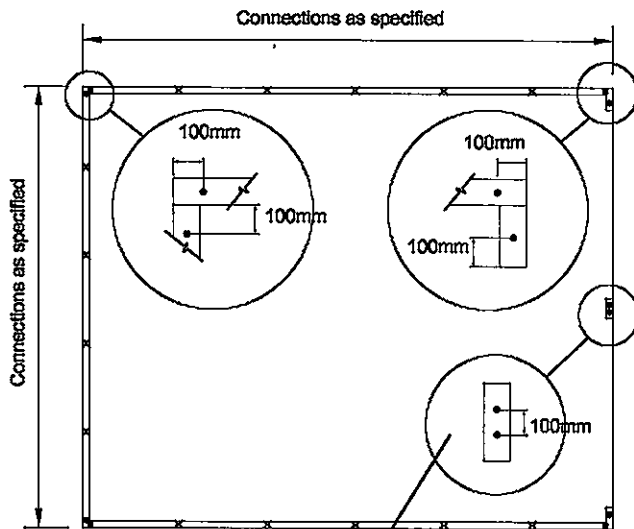
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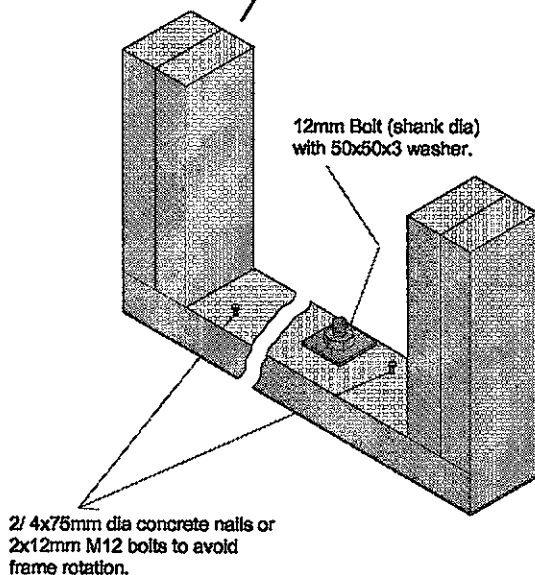
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FOUNDATION DETAILS

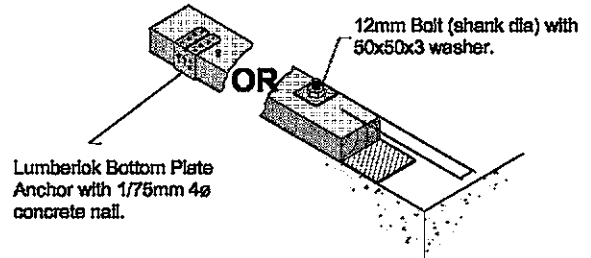
2.4m WALL HEIGHT BOTTOM PLATE FIXING LOCATIONS



NOTE: Connections must be applied to all corners and door openings shown and then spaced, as per layout above, between these points



BOTTOM PLATE CONNECTION TYPE



NOTE: For fastener spacing @ 900 ctrs, truss spans building width can be increased by 25%

Wind Load	Max Building	Fixing Spacing
High	9600 12000	1200 900

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DESIGN INFORMATION

Design Scope

The VB2000 design series covers the structural requirements for the Purlin fixing, Truss fixing, Truss design, Truss bracing, Wall & Roof Bracing, Lintels, Verandah / decks & Garaports. All other structural requirements are as per NZS3604: 1999

Building Erection

Proper bracing must be installed to hold the components true and plumb and in a safe condition until permanent bracing is fixed. All permanent bracing and fixings must be installed before applying any loads.

Design References

NZS3603:1993
 NZS3604:1999
 NZS4203:1992
 NZS3602:2003
 AS1649:2001

Truss Joints

GANG-NAIL plates are to be pressed into both sides at each joint by a licensed GANG-NAIL fabricator

Load Details

These drawings have been prepared using the above design loads.

It is the responsibility of the user to ensure that the design data and loads are still correct at the time of construction.

Design Loads

Dead loads for Light Roof

Top Chord = 0.15kPa (includes weight of trusses, purlins, associated framing and zincalume roof).

Bottom Chord = 0.2kPa for trusses @ 1200 cns with ceiling.

Live loads

1.0kN concentrated load, 0.25kPa uniform load on roof section & 2.0kPa uniform load for decks.

Wind loads

Buildings designed for UP TO VERY HIGH wind conditions as per the attached selection charts and as defined by NZS3604:1999.

Seismic loads

Seismic Zones A, B or C.

Snow loads

Buildings designed for up to 1.2kPa Snow load as shown on the attached selection chart.

Refer to MiTek New Zealand Limited for any design modifications required for increase in snow loads or wind loads above those stated on the drawings.

Buildings designed for class V category as NZS4203:1992 Table 2.3.1

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WALL FRAME DETAIL

Stud Design Table

Wind Load	Wall Height (mm)	Stud Ctrs (mm)	Size & Grade
High	2400	600	90X35 MSG10

Timber Grade & Design

- Top plates, bottom plates & studs are to be constructed in 90 x 35 minimum grade to be MSG10 or better in all situations as described in the table shown above.
- All other wall framing members not specified can be non structural grade.
- All purlins and stiffening added to the lintels to be minimum 90x45 MSG8 grade.
- Note: 1000 Series buildings do not have dwangs.

Timber Treatment

- Treated Timber is to be used in the construction of the buildings as defined by the frame and truss requirements in NZS3602:2003. All treated timber is to meet the required standards.
- Minimum H1.2 timber treatment is to be used in all wall framing which are enclosed with GIB board lining, i.e. sleepouts etc.
All unlined wall framing shall be kiln dried, chemical free.
- Treatment of Verandah & Deck construction refer to Verandah and Deck details in this document (if included)
- Trusses including Gable Ends can be untreated.

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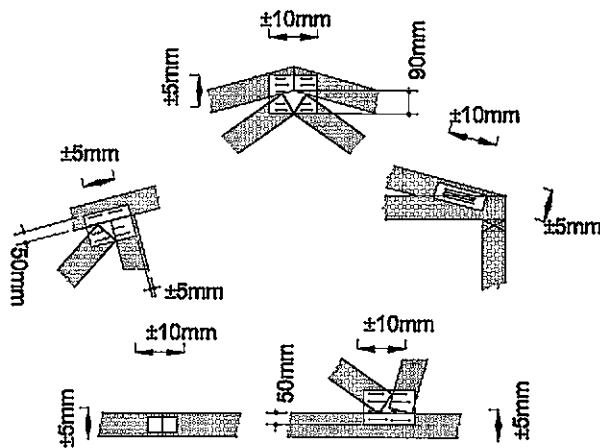
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VB2000**SPAN, LOAD AND TRUSS DETAILS****Load Chart**

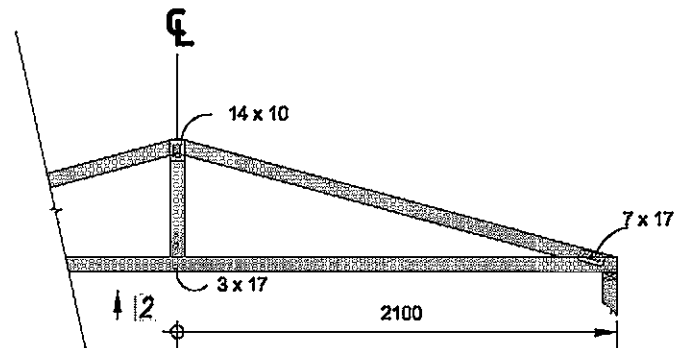
Live Load =	0.25 kPa (Distr) 1.0 kN (Conc)
Dead Load =	0.15 kPa (Top Chord) 0.20 kPa (Bottom Chord) on 900 & 1200 crs with ceiling
Wind Load Cpl =	0.50 max
Cpe =	0.80 max
Purlin Spacing =	1000 max

Span Chart

Truss Centers	Wind Load	Snow Load (kPa)
1200	High	0.5

Construction Tolerances**NOTE:**

Plates are to be fully pressed home on both sides of joints.
The plate axis must be located in the specified or indicated direction.
Typical positioning tolerances for plates

4,200 Span**NOTE:**

1. Truss Top Chord pitch range is 15°, 20°, 25°, 30°
2. ● Indicates location of Bottom chord brace (truss stiffener)
3. ↑ 6 Indicates the truss camber (typical)
4. All truss plates are Gang-Nail® GN10 type
5. All top & bottom chords are to be MSG10 90x35 Douglas Fir
6. All webs are to be a min. MSG8 - 70x35 Douglas Fir

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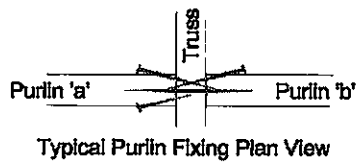
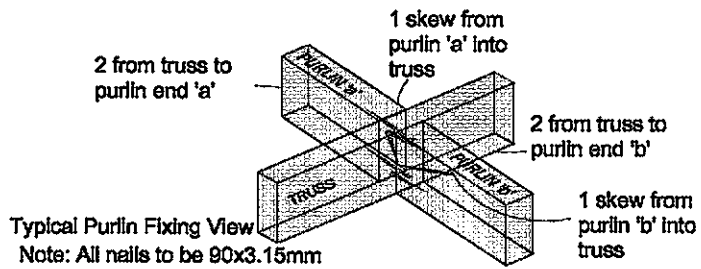
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TRUSS DETAILS

Purlin Fixing Detail

Note: All nails to be
90x3.15mm

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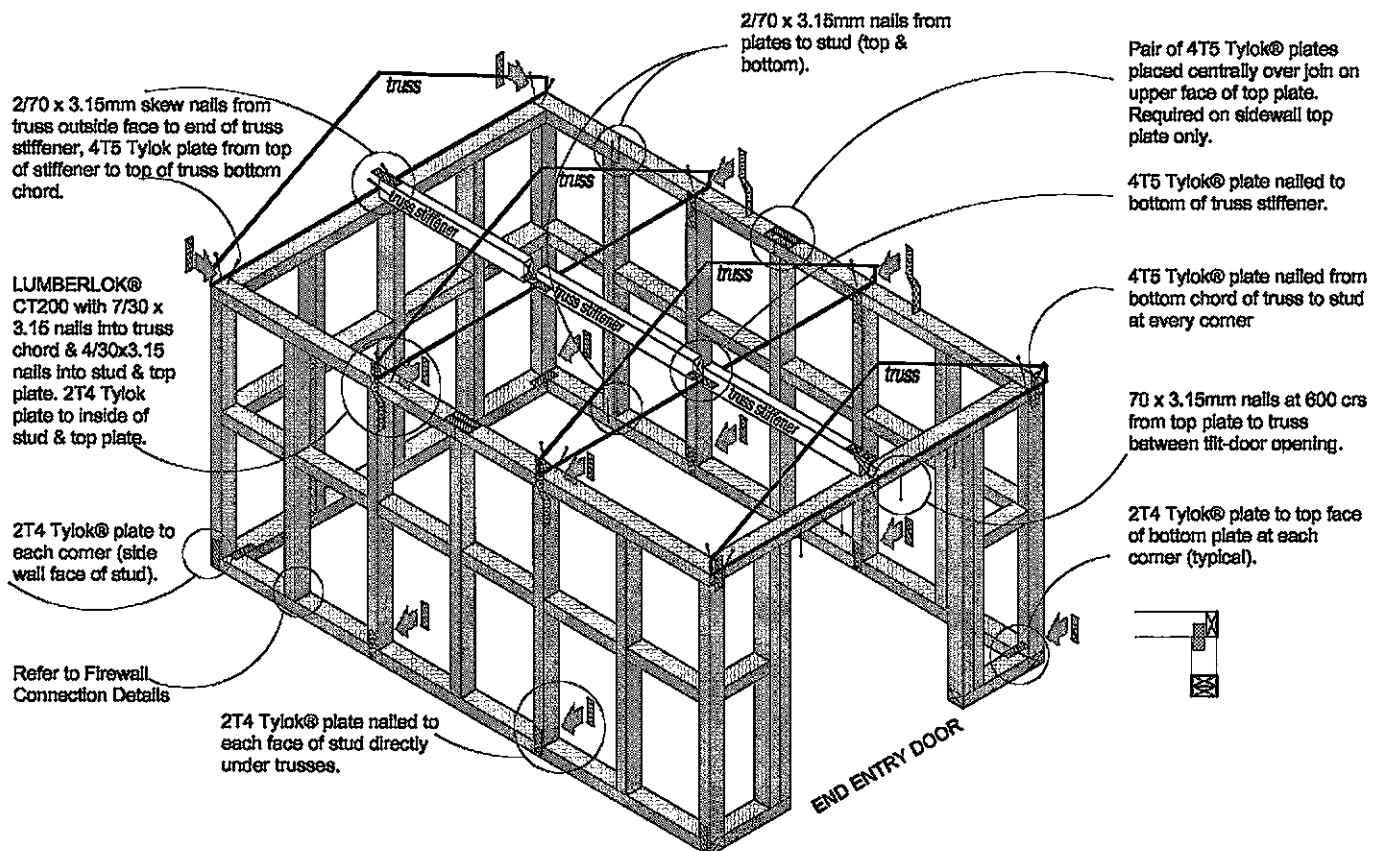
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HARDWARE FIXING
DETAILS

Hardware Fixing Locations

Gable Entry



NOTE: 1) Hardware fixings apply to all 600, 950 & 1000 series buildings. 2) 1000 series buildings do not have dwangs.

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EXPLANATION

The Building Stability Design of the standard range of garages is broken down into two separate areas, and are as follows: -

Roof Bracing

Using a diaphragm approach, the roof is braced using a series of Strip Brace and / or Multibrace patterns in the plane of the truss top chords to transfer the wall and roof wind demand to the top plates. The loads at the top plate level are then transferred to the foundation through the wall bracing system.

The layouts of Strip Brace and Multibrace patterns are determined by the size and shape of the building plus the relevant wind zones appropriate for that design. These layouts are determined on the VB2000 Series drawings on the following pages.

Wall Bracing

Using a Bracing Units approach the tables shown on the following pages give the loading demand of the respective buildings dimensions and wind loads. The use of wall cladding and / or Secondary Bracing systems provides the method of achieving the required bracing demand. These cladding and secondary bracing units are detailed on the following pages also.

Within allowable side wall and end wall length ratio there is an ability to brace buildings on all three sides only when large door openings make installation of braces impossible. The bracing demand in these situations is laid out in the tables on the following pages.

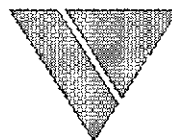
The VB2000 Series covers stand alone buildings up to but no greater than a width and or length of 12m. In cases where partition walls are available, buildings can be over the 12m overall dimension provided the rules on the following page are followed and installed as per the diagram shown on the following page.

All Angle Brace, Strip Brace, Multibrace & Flexi-Brace options can be located anywhere along the braced wall provided they fit the required dimensions.



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BRACING DEMAND RULES

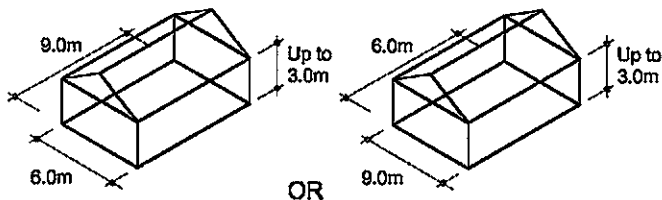
1. BUILDING DIMENSIONS

The maximum building dimensions must not exceed 12m in width and or length.

2. SIDE/END WALL RATIOS DEFINITION

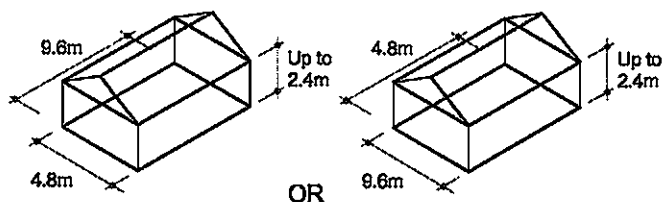
a. 1 to 1.5 Ratio applies only when 3 walls of bracing are available (See rule 4a) on L,M,H & V/High Wind Loads up to 3.0m high.

e.g.



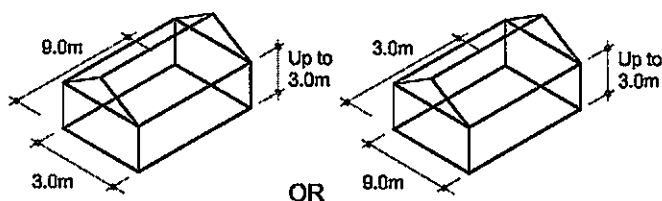
b. 1 to 2 Ratio applies only when 3 walls of bracing is available (See rule 3a) on L, M,H & V/High Wind Loads up to 2.4m high.

e.g.



c. 1 to 3 Ratio applies only when 4 walls of bracing is available (See rule 3b) on L, M,H & V/High Wind Loads up to 3.0m high.

e.g.



3. WALL BRACING DEMAND OPTIONS

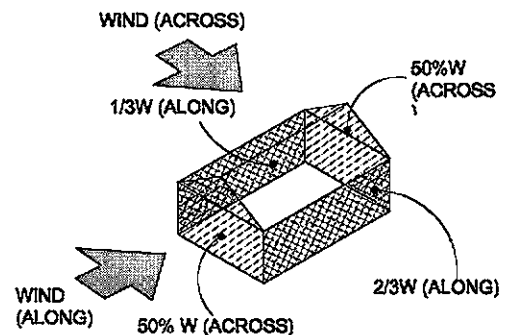
3a. Where 3 walls only are available, establish the demand for ALONG & ACROSS for the specific tables on the following pages. Apply the full bracing unit required to the respective walls and brace accordingly.

3b. Where four walls can be used for bracing, establish the demand on the following pages) by using the tables called "Both end walls available" and "Both side walls available".

NOTE

The shortest two walls must have bracing equally distributed between them.

If that is achieved the Total Bracing Units in the longer walls maybe distributed on a 2/3 to 1/3 split, e.g. A total of 150 Bu's can be distributed in one of the longer walls and the remaining BU's distributed to the other longer wall. (See below)



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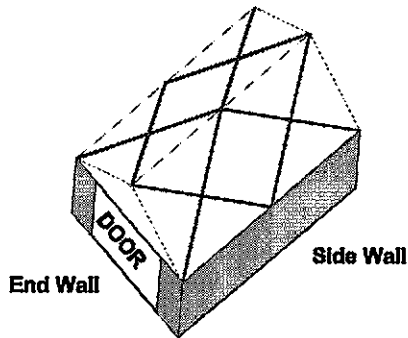
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ROOF BRACING

BRACING 4.200m Width, 8.400m Length, High Wind Zone



ROOF BRACING NOTES

Indicates a single row of Lumberlok Strip Brace tensioned up and laid over the top of the purlins, fix each end with 5/30 x 3.15 nails (typical) Fix at crossings with 2/30 x 3.15 nails.

LEGEND

refer to: *Producer Statement, VB2000,*
for bracing element & fixing details.

VS6		SUPPLY TO BRACING ELEMENT 1.5 or 1.8 mtr wide, 500 height Secondary bracing plate
VA6		ANGLE BRACE (PANEL) 1 pair of 30mm angle brace
VF6		1 GALVAN 50 x 100 x 7mm-0.5mm 20 mtr length, 1 pair, 1 mtr length, 1 pair

Client : Warner
Order No:
Size : 8400 x 4200mm
Windzone: High
Roof Pitch: 15 Deg

STEP 1: BRACING DEMAND FOR WIND DIRECTION.
ALONG = (RIDGE LINE)

WALL WIDTH	LOW	MED	HIGH	V.HIGH
3000	35	46	66	85
3600	42	55	79	102
4200	49	64	93	119
4800	56	73	106	136
5400	63	83	119	153
6000	70	92	132	170
6600	77	101	146	187
7200	84	110	159	204
7800	91	119	172	221
8400	98	129	185	238
9000	105	138	198	255

WRITE IN BOX A: 93
WRITE FIGURE HERE: 93
WALL B.U.'S REQ'D: 93
WRITE IN BOX B: 93
CIRCLE SELECTED

STEP 4: BRACING DEMAND FOR WIND DIRECTION.
ACROSS = (GABLE END)

WALL WIDTH	LOW	MED	HIGH	V.HIGH
3000	49	65	95	119
3600	58	78	113	143
4200	68	91	132	168
4800	78	104	151	190
5400	87	117	170	214
6000	97	130	189	238
6600	107	143	208	261
7200	117	156	227	285
7800	126	168	246	309
8400	136	181	265	333
9000	146	194	284	356
9600	156	207	302	380
10200	165	220	321	404
10800	175	233	340	428
11400	185	246	359	451
12000	194	259	378	475

WRITE FIGURE HERE: 265
WRITE IN BOX C: 265
WALL B.U.'S REQ'D: 265
WRITE IN BOX D: 0
CIRCLE SELECTED

600 SERIES BRACING V2.0

BRACE RATINGS

- **External Walls:** Flexi-Brace is the only secondary brace that can be used on its own without the combination of the cladding. In this case reduce the Flexi-Brace ratings to 80%, eg. vVF5 would be rated @ 64 BU's

- Internal Walls:

A. Where internal walls are lined one side with plasterboard and combined with Flexi-Brace use the following values:

VF6 + plasterboard (1200mm) = 129BU's

VF7 + plasterboard (600mm) = 50BU's

B. Where internal walls are lined with sheet material other than plasterboard, ie customwood or plywood use the secondary brace ratings as quoted only to achieve the total BU's required.

STEP 2a: CLADDING: PRIMARY BRACING

CODE	RATING	QUANTITY	TOTAL
VS6-12	45 x	1 =	45
VS6-18	68 x	0 =	0

CLADDING ACHIEVED: 45

STEP 2b: HARDWARE: SECONDARY BRACING

BRACING CODE	RATING	QUANTITY	TOTAL
VA6	70	2	140
VT6	100	0	0
VF7	30	0	0
VT6 Pr	200	0	0
VF5	80	0	0
VF8	60	0	0
VM6	150	0	0
VF6	105	0	0
VP1	135	0	0
VP2	179	0	0

HARDWARE ACHIEVED: 140

BOX A: TOTAL BU'S REQ'D
93
from step 2 a or 2b

HARDWARE REQ'D
48

TOTAL BU'S ACHIEVED
185

STEP 2a: CLADDING: PRIMARY BRACING

CODE	RATING	QUANTITY	TOTAL
VS6-12	45 x	1 =	45
VS6-18	68 x	4 =	272

CLADDING ACHIEVED: 317

STEP 2b: HARDWARE: SECONDARY BRACING

BRACING CODE	RATING	QUANTITY	TOTAL
VA6	70	0	0
VT6	100	0	0
VF7	30	0	0
VT6 Pr	200	0	0
VF5	80	0	0
VF8	60	0	0
VM6	150	0	0
VF6	105	0	0
VP1	135	0	0
VP2	179	0	0

HARDWARE ACHIEVED: 0

BOX B: TOTAL BU'S REQ'D
93
from step 2 a or 2b

HARDWARE REQ'D
0

TOTAL BU'S ACHIEVED
317

STEP 3a: CLADDING: PRIMARY BRACING

CODE	RATING	QUANTITY	TOTAL
VS6-12	45 x	2 =	90
VS6-18	68 x	0 =	0

CLADDING ACHIEVED: 90

STEP 3b: HARDWARE: SECONDARY BRACING

BRACING CODE	RATING	QUANTITY	TOTAL
VA6	70	1	70
VT6	100	0	0
VF7	30	0	0
VT6 Pr	200	0	0
VF5	80	0	0
VF8	60	0	0
VM6	150	0	0
VF6	105	1	105
VP1	135	0	0
VP2	179	0	0

HARDWARE ACHIEVED: 175

BOX C: TOTAL BU'S REQ'D
265
from step 3 a or 3b

HARDWARE REQ'D
175

TOTAL BU'S ACHIEVED
265

STEP 4a: CLADDING: PRIMARY BRACING

CODE	RATING	QUANTITY	TOTAL
VS6-12	45 x	0 =	0
VS6-18	68 x	0 =	0

CLADDING ACHIEVED: 0

STEP 4b: HARDWARE: SECONDARY BRACING

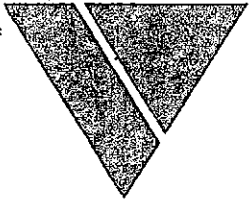
BRACING CODE	RATING	QUANTITY	TOTAL
VA6	70	0	0
VT6	100	0	0
VF7	30	0	0
VT6 Pr	200	0	0
VF5	80	0	0
VF8	60	0	0
VM6	150	0	0
VF6	105	0	0
VP1	135	0	0
VP2	179	0	0

HARDWARE ACHIEVED: 0

BOX D: TOTAL BU'S REQ'D
0
from step 4 a or 4b

HARDWARE REQ'D
0

TOTAL BU'S ACHIEVED
0



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Trading as:
Versatile Buildings Wairarapa
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PO Box 25
Masterton 5810, New Zealand
Phone (06) 378 8002
Fax (06) 378 8002
wairarapa@versatile.co.nz

SOAKPIT DETAIL

SIZE OF SOAKPIT: M3

Area of roof x 16.7 divided by 1000

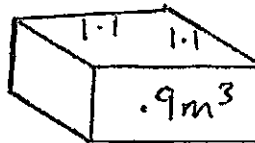
Eg: $9.0\text{m} \times 6.0\text{m} = 54\text{m}^2 \times 16.7 = 901.8$ divided by 1000 = 0.9m^3

Say hole depth decided to be 750mm

0.9m^3 divided $0.750 = 1.2$ - (sq root = 1.1)

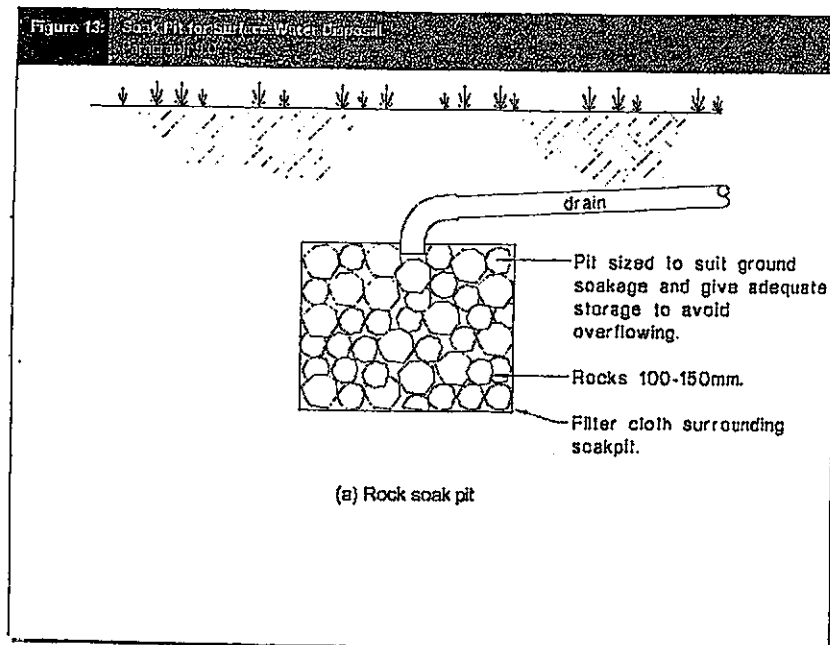
So hole is:

750



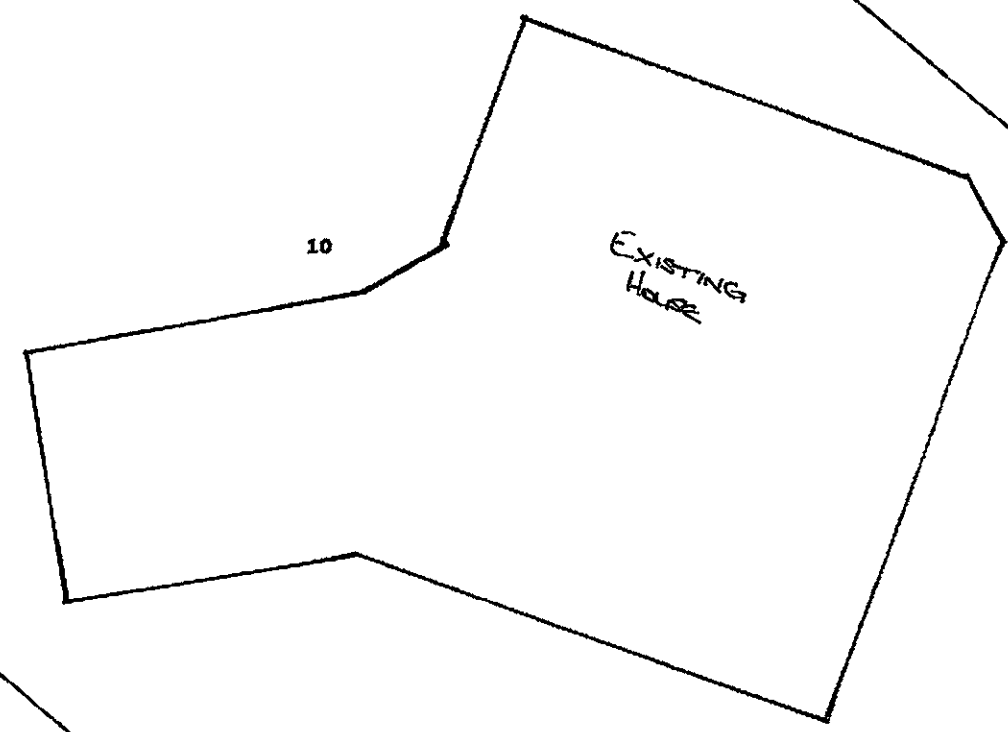
NB - IMPORTANT:

Depth of hole should ideally reach the water table

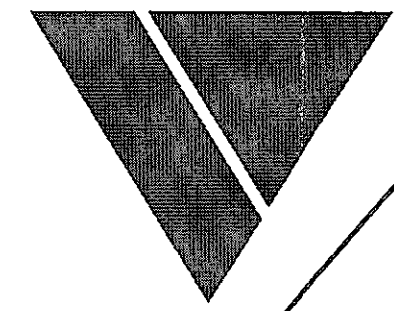


Ewan & Warner, 10 Daffodil Place, Carterton
Lot 5 DP 311131

Daffodil Grove



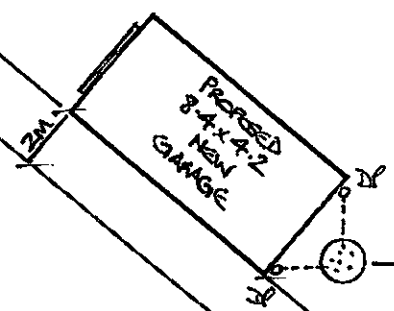
SCALE 1 : 250



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BUILDINGS

205 Ngaumutawa Road
PO Box 25
Masterton
Ph (06) 378 8002

Approx 45m To Front Ery



SOAK HOLE (35m³ x 16.7 = 1000) = 0.6m³ MINIMUM

OFFICE COPY
CARTERTON DISTRICT
COUNCIL
APPROVED
B/C No. 000368

Scale: 1:250
44.9 metres

DATE _____ BUILDING INSPECTOR _____

