

The RayWhite logo is positioned in the top right corner of the page. It consists of the brand name 'RayWhite' in a bold, black, sans-serif font, set against a bright yellow rectangular background.

# Additional Information

This information has been supplied by the vendor or the vendor's agent. Accordingly Otautahi Real Estate Limited Licensed (REAA 2008) is merely passing over the information as supplied to us by the vendor or the vendor's agents. We cannot guarantee its accuracy and reliability.

All intending purchasers are advised to conduct their own due diligence investigation into the same. It is highly recommended that intended purchasers seek independent legal advice as part of due diligence. To the maximum extent permitted by law Otautahi Real Estate Limited Licensed (REAA 2008) do not accept any responsibility to any person for the accuracy of the information herein. If you are not the intended recipient, you must not read, disseminate, distribute or copy this email or any attachments..

\*Source: Owner, Local Council, CERA, Environment Canterbury, Natural Hazards Commission, RPNZ, REINZ

# Christchurch Eq. RAPID Assessment Form - LEVEL 1

Inspector Initials AW  
 Territorial Authority Christchurch City

Date of Inspection 3/3/11  
 Time \_\_\_\_\_

Exterior Only   
 Exterior and Interior

**Building Name**

Short Name \_\_\_\_\_

Address 47 Trensham Cres

**Type of Construction**

- Timber frame
- Steel frame
- Tilt-up concrete
- Concrete frame
- RC frame with masonry infill
- Concrete shear wall
- Unreinforced masonry
- Reinforced masonry
- Confined masonry
- Other:

GPS Co-ordinates S° \_\_\_\_\_ E° \_\_\_\_\_

Contact Name \_\_\_\_\_

Contact Phone \_\_\_\_\_

**Primary Occupancy**

- Dwelling
- Other residential
- Public assembly
- School
- Religious
- Commercial/ Offices
- Industrial
- Government
- Heritage Listed
- Other

Storeys at and above ground level Two Below ground level \_\_\_\_\_

Total gross floor area (m<sup>2</sup>) \_\_\_\_\_ Year built \_\_\_\_\_

No of residential Units 1

Photo Taken Yes  No

Investigate the building for the conditions listed below:

**Overall Hazards / Damage**

	Minor/None	Moderate	Severe	Comments
Collapse, partial collapse, off foundation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building or storey leaning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wall or other structural damage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhead falling hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ground movement, settlement, slips	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Neighbouring building hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Choose a posting based on the evaluation and team judgement. Severe conditions affecting the whole building are grounds for an UNSAFE posting. Localised Severe and overall Moderate conditions may require a RESTRICTED USE. Place INSPECTED placard at main entrance. Post all other placards at every significant entrance.

INSPECTED GREEN

RESTRICTED USE YELLOW

UNSAFE RED

Record any restriction on use or entry:

**Further Action Recommended:**

Tick the boxes below only if further actions are recommended

- Barricades are needed (state location):
- Level 2 or detailed engineering evaluation recommended
  - Structural
  - Geotechnical
- Other recommendations:  Other:

**Estimated Overall Building Damage (Exclude Contents)**

- None
- 0-1 %
- 2-10 %
- 11-30 %
- 31-60 %
- 61-99 %
- 100 %

Sign here on completion  
Awen Williams  
 Date & Time 3/3/11  
 ID \_\_\_\_\_

Inspection ID \_\_\_\_\_ (Office Use Only)

75063726

15 March 2018

R D Derham  
47 Frensham Crescent  
Woolston  
Christchurch 8062

**Re: Private Wastewater Lateral Repair Required of 47 Frensham Crescent**

Dear Rodney,

As part of the wastewater rebuild programme, Stronger Christchurch Infrastructure Rebuild Team (SCIRT) conducted public and private lateral inspections in your neighbourhood. Using a camera, SCIRT identified defects in the lateral on the property listed above that may in turn be damaging or placing additional strain on the City's wastewater network. The defects may include broken pipes and debris and/or infiltration of groundwater, sand, or silt through cracked or damaged pipes.

You may not be aware that your local wastewater network and pump station often become overloaded during rain events due to excess inflow and infiltration. This results in a large amount of resources being used to prevent and respond to overflows. With the operation of SCIRT coming to an end, Christchurch City Council is completing the public repairs (from the wastewater main in the street to property boundaries) to help reduce this problem.

You have received this letter because homeowners are responsible for private lateral repairs and maintenance (from property boundaries to homes), and repairs are **required** on the private lateral at the property listed above. This request has been noted on your property file. If you are not the owner of the property, please get in touch so we can correct our records.

**If the repairs to your lateral have already been completed:** please send supporting documents including the as-built plan, Producer Statement from the qualified drainlayer who did the work, and a copy of the receipt for confirmation so we can update your property file. This documentation can be emailed to [CCTV@ccc.govt.nz](mailto:CCTV@ccc.govt.nz).

**If these repairs have not been undertaken:** please complete them within six months and obtain the supporting documentation listed above. Reimbursement may be available for earthquake-related damage (see attached FAQs from the EQC website <https://www.eqc.govt.nz/canterbury/drainage-claims/drainage-faqs>). A copy of the private lateral survey report and camera screenshots are enclosed for your reference when contacting your drainlayer for repairs.

Please also address any drainage defects at this time in order to prevent rainwater from entering the wastewater network (see attached guidelines). If you have additional questions about these repairs, contact 03 941 8999 for more information.

Yours sincerely,

**Julia Valigore**  
Technical Services  
Three Waters and Waste

Enc: EQC Drainage Claims – Frequently Asked Questions  
Private Lateral Survey Report and Camera Screenshots  
Rainwater Inflow Reduction Guidelines

## Rainwater Inflow Reduction Guidelines

Excess rainwater inflow to the wastewater network may cause overflows, health risks, and rate increases. Please check to ensure that no rainwater is entering the wastewater network on your property through piping defects. For example, gutter downpipes must not be piped to gully traps.

In addition, the building code states that gully traps must be a minimum height of 100mm above unpaved areas and 25mm above paved areas. If your property fails to meet this code, we request that a bund be installed around the gully trap(s) and sealed to the surrounding foundation/interior to obtain the applicable height to reduce inflow.



Gutter downpipe defect to low lying gully trap that allows rainwater inflow.



Before and after photos of a low lying gully trap defect that is upgraded to prevent rainwater inflow to the wastewater network.

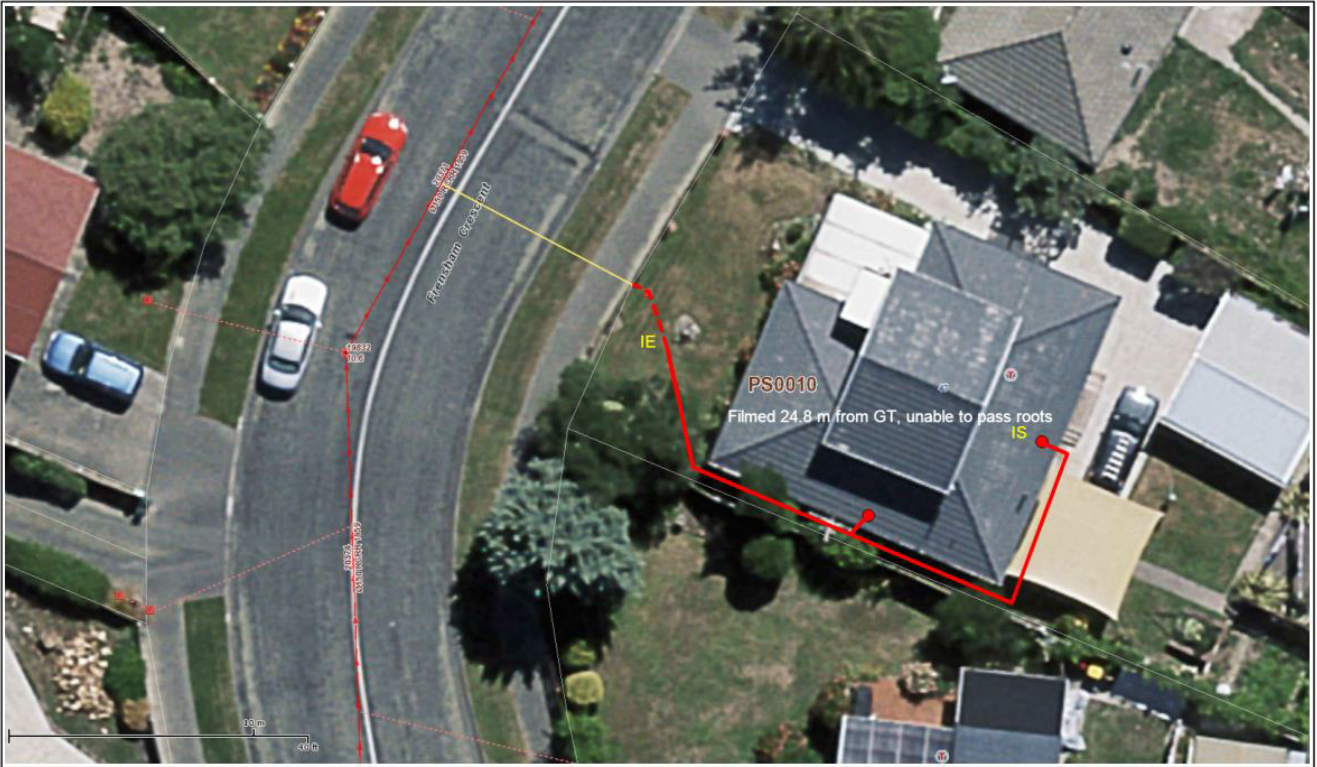
Private Lateral Survey Report

CP503035	Private	WWLA-76754	27/02/2017				
Address			Weather		Flow Depth		
47 Frensham Crescent			Dry		1%		
Contractor		Operator		Video Reference No.			
City Care Limited				754_Frensham Crescent_47			
Upstream Node		Recommendation		Private/Public		Assessment	
GT		Renewal-Relay		Private		Action	
Set-Up	Lateral	Surveyed	Diameter	Joint	Material	Inspection Completed	
U		24.8	100	0.8	EW	Yes	
Comments						Total Score	Mean
Inside boundary						110	4.435
Distance From Node (m)	Condition Code	Severity	Description	Score	Remarks		
0.0	IS		Inspection Starts	0			
3.9	CF		Construction Feature	0	Line goes right		
7.5	CF		Construction Feature	0	Lateral intersecting @ 3		
13.1	JF	L	Joint Seal Faulty	20	Roots		
13.1	RI	S	Root Intrusion	5	Coming from joint fault		
16.7	CF		Construction Feature	0	Line goes right		
16.8	CF		Construction Feature	0	Inspection eye		
18.4	JF	L	Joint Seal Faulty	20	Roots		
18.4	RI	M	Root Intrusion	5	Coming from joint fault		
24.1	CF		Construction Feature	0	Line goes left		
24.4	RI	L	Root Intrusion	20			
24.4	IP	L	Infiltration Present	40			
24.8	IA		Inspection Abandoned	0	UTPF, can't pass roots		

Cond Code	Description	Cond Code	Description
IS	Inspection Starts	ED	Encrustation Deposits
IE	Inspection Ends	GC	General Comment
B	Broken Pipe	GT	Gully Trap
CC	Circumferential Cracking	JF	Joint Seal Faulty
CF	Construction Feature	LO	Lateral Open
DG	Debris Grease/Fat	RI	Root Intrusion
DP	Dipped Pipe	Sev	Severity = Small (S), Medium (M), Large (L)



Lateral defects: joint fault, root intrusion, infiltration, blockage



New Zealand Government



### 47 Frensham Crescent

WWLA-76754

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Printed: 14/02/2018 15:42

738  
47

5000013194263

 <p><b>CHRISTCHURCH</b> THE GARDEN CITY <i>The city that shines</i></p>	<p align="center"><b>CHRISTCHURCH CITY COUNCIL</b> <b>BUILDING ACT 1991 [S.43(3)]</b>  CODE COMPLIANCE CERTIFICATE</p>	<p><b>FORM: BA10</b></p>
		<p>PROJECT NO.  94009613</p>

<p align="center"><b>PROJECT</b></p> <p>New or relocated building <input type="checkbox"/></p> <p>Alteration <input type="checkbox"/></p> <p>Intended use(s): CONSERVATORY</p> <p>Intended life:</p> <p>Indefinite but not less than 50 years <input checked="" type="checkbox"/></p> <p>Specified as _____ years</p> <p>Demolition <input type="checkbox"/></p>	<p align="center"><b>PROJECT LOCATION</b></p> <p>Street address: 47 FRENHAM CRESCENT FERRYMEAD</p> <p>Legal Description: Valuation Roll: 2245236600 LOT 42 DP 28054</p> <p align="center"><b>COUNCIL CHARGES</b></p> <p>The Council's outstanding charges payable on the uplifting of the code compliance certificate, in accordance with the attached details are:</p> <p align="right">\$0.00</p> <p>Receipt No: .....</p>
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- This is*
- A final code compliance certificate issued in respect of all the building work under the above building consent.
  - An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
  - This certificate is issued subject to the conditions specified in the attached .... page(s) headed "Conditions of Code Compliance Certificate No. 94009613" (being this certificate).

Signed for and on behalf of the Council:

Name: *[Signature]* .....

Position: ..... Date: 3 September 1998

# RECONCILIATION OF INSPECTIONS

PROJECT NO... 94009613 .....

SITE ADDRESS ... 47 Grensham Cres .....

NO. OF INSPECTIONS	ESTIMATE	<u>2</u>
“ “ “	ACTUAL	<u>2</u>
EXTRA INSPECTION TIME		
AMENDED PLAN FEES		
(CONSENT ROOM)		

**FILE ONLY**





# CHRISTCHURCH CITY COUNCIL SITE INSPECTION REPORT

**PROJECT NO.**

Site Address: 47 Trenholm Cres  
 Description of Consent: Conservatory.

94009613.

COMMENTS:

Final  
 Project Completed

PROJECT COMPLETE  
 SIGNED W. Beath  
 DATE 2 / 9 / 98

*Delete that which is not applicable.*

INSTRUCTION TO OWNER/OWNERS AGENT:	Inspection Type
All work inspected is in accordance with the Building Consent.	MB
Some work is not satisfactory as detailed above and rectification is required.	
A formal notice to rectify will be issued.	
SIGNED: <u>W. Beath</u>	DATE: <u>2 / 9 / 98</u>

353



# CHRISTCHURCH CITY COUNCIL SITE INSPECTION REPORT

**PROJECT NO.**

Site Address: 47 FRENHAM ORES

Description of Consent: OUT BUILDING

94009613

**COMMENTS:**

The Rods to existing Building POXED IN  
CORRECTLY  
Reinforcing to NZBC.

*Delete that which is not applicable.*


INSTRUCTION TO OWNER/OWNERS AGENT:	Inspection Type
All work inspected is in accordance with the Building Consent. ✓	M1
<del>Some work is not satisfactory as detailed above and rectification is required.</del>	
<del>A formal notice to rectify will be issued.</del>	
SIGNED: <u>R. Allison</u>	DATE: <u>25.11.19</u>

**ESTIMATE OF CONSTRUCTION INSPECTIONS : MINOR WORKS****PROJECT NO. 94009613****DATE: 10 NOV 1994****DESCRIPTION OF CONSENT: CONSERVATORY****SITE ADDRESS: 47 FRENHAM CRES****OWNER'S NAME: DERHAM RODNEY DOUGLAS****OWNER'S ADDRESS: 47 FRENHAM CRES CHRISTCHURCH 6**

<b>MANDATORY NOTICE INSPECTIONS</b>	<b>No.</b>	<b>Cost</b>	<b>Total</b>
M1 Excavation/Foundation/Reinforcing	1	\$45.00	\$45.00
M8 Final Inspection	1	\$45.00	\$45.00
		<b>Subtotal</b>	<u>\$90.00</u>
<b>THESE INSPECTIONS ARE TO BE PRE-PAID</b>		<b>TOTAL</b>	<u><b>\$90.00</b></u>

## Notes:

1. The above mandatory notice inspections will be carried out by the Council for which one day notice shall be given as required by Regulation 7(1)(b)(i-v).
2. The number of supplementary inspections is dependent on the nature of the building work and the manner of construction. The Council may require prior notification of work proceeding before covering up or closing in, subject to arrangement with the Building Inspector.
3. Inspections which are necessary due to non-complying or incomplete work or that arise as a result of a rectification notice are additional, and will be charged at the rate of \$60.00/hour and invoiced separately.

 <p><b>CHRISTCHURCH</b> THE GARDEN CITY <i>The city that shines</i></p>	<p><b>CHRISTCHURCH CITY COUNCIL</b> <b>BUILDING ACT 1991 [S.35]</b></p> <p>BUILDING CONSENT</p>	<p><b>FORM: BA4</b></p> <hr/> <p>PROJECT NO.: 94009613</p>
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[Cross each applicable box and attach relevant documents in duplicate.]

<p style="text-align: center;"><b>OWNER/APPLICANT</b></p> <p>Name: DERHAM RODNEY DOUGLAS  Mailing Address: 47 FRENHAM CRES  CHRISTCHURCH 6</p> <p>Contact: [Print name and position]:  VISION ALUMINIUM  BOX 7354 CHRISTCHURCH</p> <p>Phone: Fax:  Application Received: 28 OCT 1994</p>	<p style="text-align: center;"><b>PROJECT LOCATION</b></p> <p>Street address: 47 FRENHAM CRES  FERRYMEAD</p> <p>Legal Description:  Valuation Roll: 2245236600  Dp No 28054 Lot No 42</p> <hr/> <p style="text-align: center;"><b>PROJECT</b></p> <p><input type="checkbox"/> New or relocated building  <input type="checkbox"/> Alteration</p> <p>Intended use(s) (In detail): OUTBUILDING/CONSERV-  ATORY</p> <p>Intended life:  <input checked="" type="checkbox"/> Indefinite but not less than 50 years  <input type="checkbox"/> Specified as years  <input type="checkbox"/> Demolition</p> <p>Being stage 1 of an intended 1 stages.</p> <p>Estimated value (inclusive of GST):  \$9,996.75</p>						
<p style="text-align: center;"><b>COUNCIL CHARGES</b></p> <p>The Council's total charges payable on the uplifting of this building consent, in accordance with the letter of advice dated 0 are:</p> <table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:60%;">Total</td> <td style="text-align: right;">\$300.00</td> </tr> <tr> <td>Building Research Levy:</td> <td style="text-align: right;">\$0.00</td> </tr> <tr> <td><b>Grand Total</b></td> <td style="text-align: right;"><b>\$300.00</b></td> </tr> </table> <p>Receipt No.: .....</p>	Total	\$300.00	Building Research Levy:	\$0.00	<b>Grand Total</b>	<b>\$300.00</b>	
Total	\$300.00						
Building Research Levy:	\$0.00						
<b>Grand Total</b>	<b>\$300.00</b>						

This Building Consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty (ie: this consent does not relieve the owner of his/her responsibilities under any other Act) or responsibility under any other Act nor permit any breach of any other Act.

This Building Consent is issued subject to the conditions specified in the attached ..... pages headed "Conditions of Project No.: 94009613"

Signed for and on behalf of the Council:

Name: B. BIDDICK *B. Biddick*  
Consent Officer Senior

Position: ..... Date: 10 November 1994



# CHRISTCHURCH CITY COUNCIL

10 November 1994

VISION ALUMINIUM  
BOX 7354  
CHRISTCHURCH

Dear Sir/Madam

**APPLICATION FOR BUILDING CONSENT  
PROJECT NO. 94009613**

Your application for a Building Consent for the proposed CONSERVATORY at 47 FRENHAM CRES FERRYMEAD refers.

Processing of this building consent application has been completed and the consent is now ready for issue. The fees associated with the consent are listed on the following page.

The Building Consent is to be uplifted from the LINWOOD SERVICE CENTRE upon payment of these fees.

Note that the **Building Consent is not valid until the fees have been paid** and you are in possession of the consent document together with the Inspection Schedule and any Conditions of Consent. Therefore, do not commence building work on the basis of this letter as it serves only as notice that the building consent is available for issue.

Please ensure that you give the Council at least one full days notice prior to placing concrete or covering in any of the work requiring inspections as identified on the Inspection Schedule. Failure to do this may result in the issue of a "Notice to Rectify" by the Council and may also jeopardise the issue of the Code Compliance Certificate which you will require upon completion of the works.

.../2

CONTACT : AREA DEVELOPMENT OFFICER

LINWOOD SERVICE CENTRE 180 SMITH STREET  
P O BOX 24-214 CHRISTCHURCH TELEPHONE (03) 389-1477 FAX (03) 389-1093

2.

The outstanding fees associated with the Building Consent are:

To PIM:		
Process and Grant		\$ <u>50.00</u>
To Building Consent:		
Accept and Issue		\$ <u>40.00</u>
Process and Grant		\$ <u>90.00</u>
To Code Compliance Certificate:		
Inspections		\$ <u>90.00</u>
Grant and Issue		\$ <u>30.00</u>
<b>TOTAL</b>		<b>\$ <u>300.00</u></b>

You are requested to uplift the consent and pay the fees set out above **within 30 days of the date of this letter**. Please use the attached Fee Summary as a means of identification.

If you do not wish to proceed with the building project, please contact the Service Centre as all fees associated with acceptance, processing and granting of the consent are still due to be paid.

Please quote the above Project Number in all communication with the Council.

*Signed*



for  
**AREA DEVELOPMENT OFFICER LINWOOD SERVICE CENTRE**

**CHRISTCHURCH CITY COUNCIL**  
**FEE SUMMARY**

PIM/BUILDING CONSENT  
PROJECT NO. **94009613**  
OWNER/APPLICANT **VISION ALUMINIUM**  
DATE GRANTED **10 November 1994**

This document summarises the unpaid fees as identified on the attached letter. You are requested to pay these fees before the Consent can be uplifted. Please present this document for payment to the Cashier at the LINWOOD SERVICE CENTRE.

RC023	\$90.00	Process/Grant Consent	05157/840
RC025	\$120.00	Code Compliance Certificate	05158/842
RC027	\$50.00	Process/Grant Pim	05147/831
RC035	\$40.00	Accept/Issue Pim/Consent	05136/831

**Total** \$300.00 (Including GST)

FILE

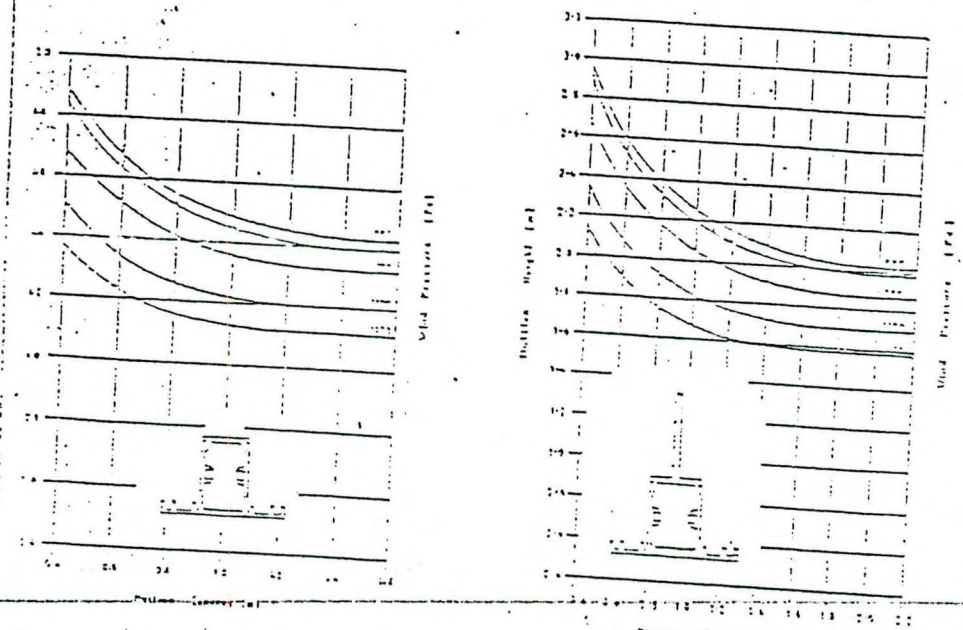
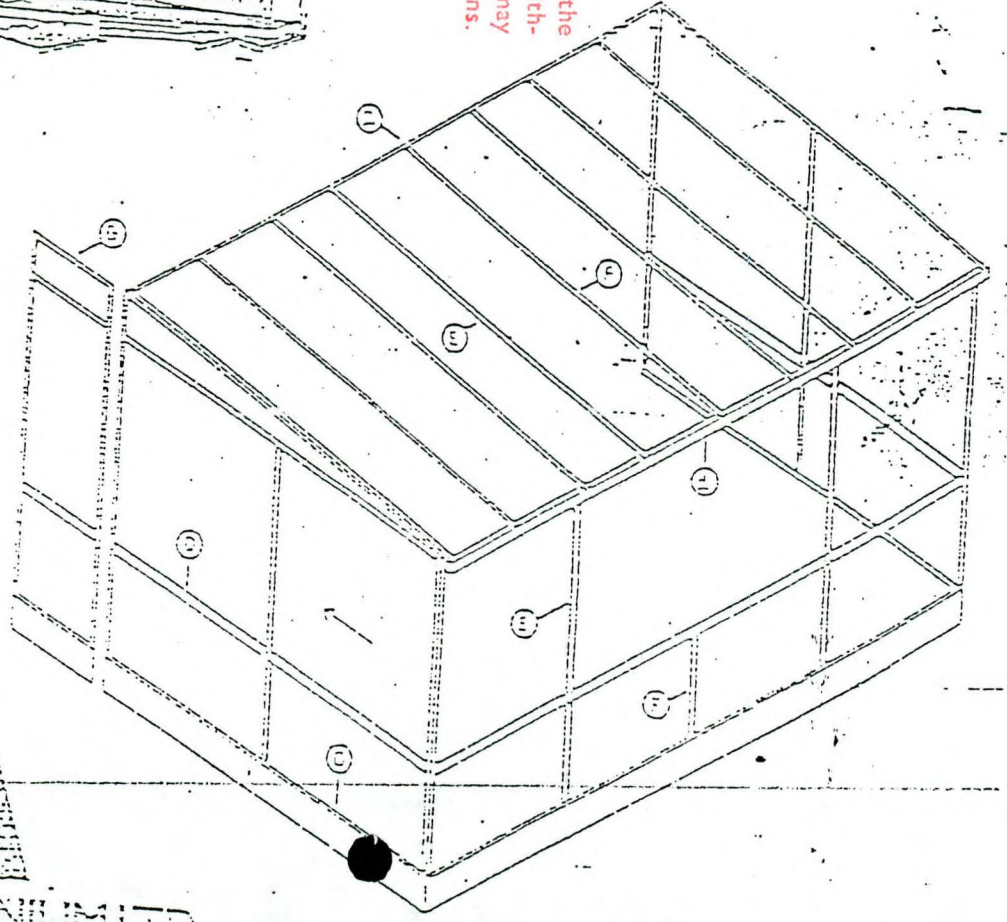
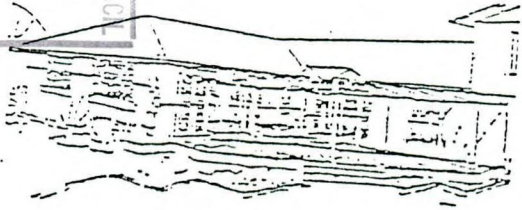
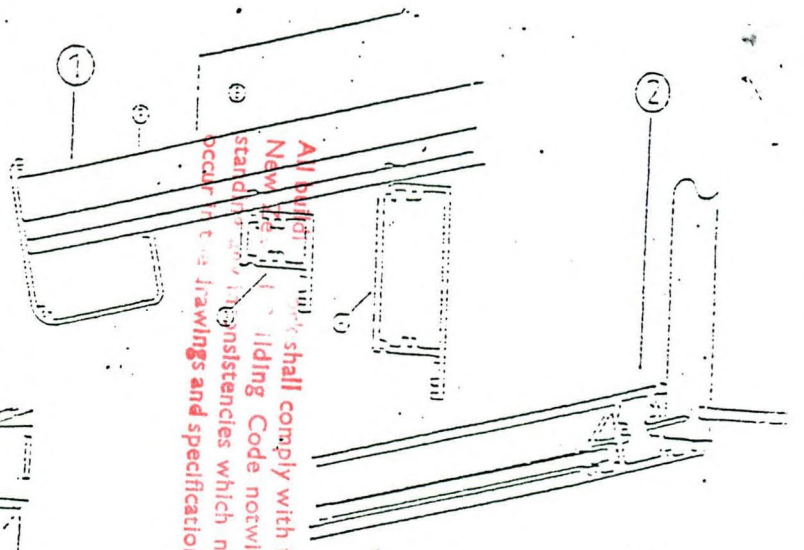
COPY

**VISION**  
*Construction*  
DESIGNER BUILT

9 NOV 1994  
CONSENT DOCUMENT  
*Blank*

CHRIST CHURCH C.I.

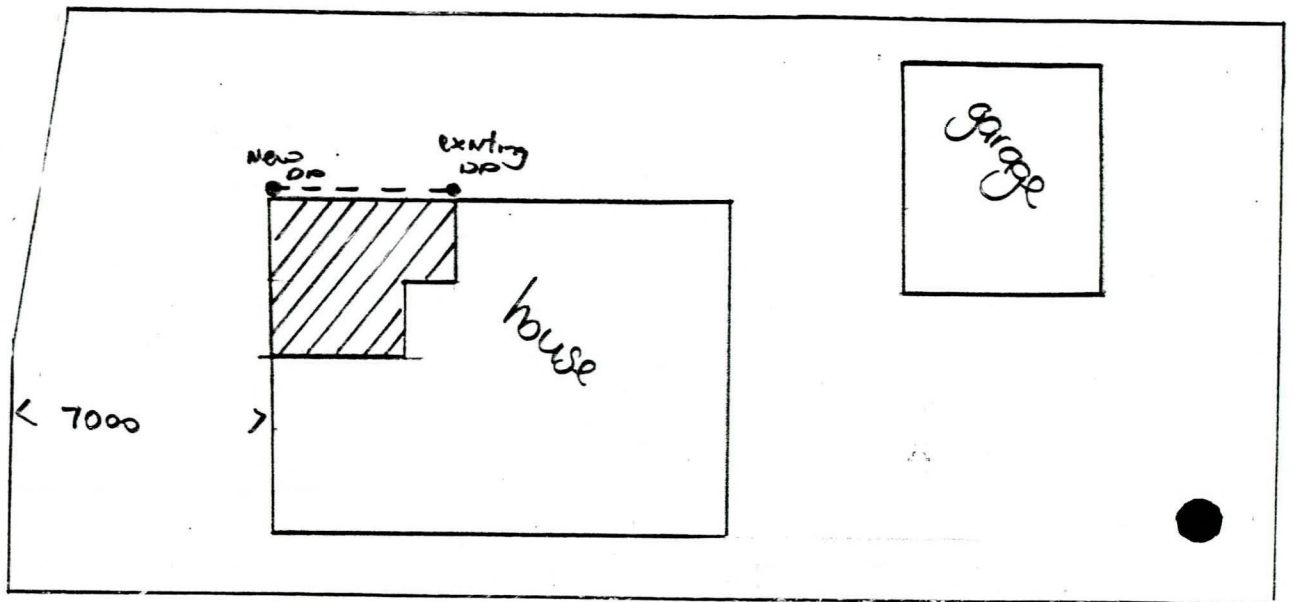
All work shall comply with the  
New Zealand Building Code notwith-  
standing any inconsistencies which may  
occur in the drawings and specifications.



**VISION ALUMINIUM LTD**  
STANBROOK INDUSTRIAL PARK



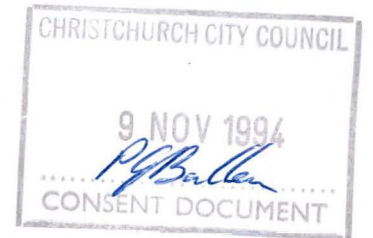
Frensham Cres



site area = 562 m<sup>2</sup>  
 house = 13.08 m<sup>2</sup>  
 garage = 30 m<sup>2</sup>  
 conservatory = 19.13 m<sup>2</sup>  


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 162.21 m<sup>2</sup>

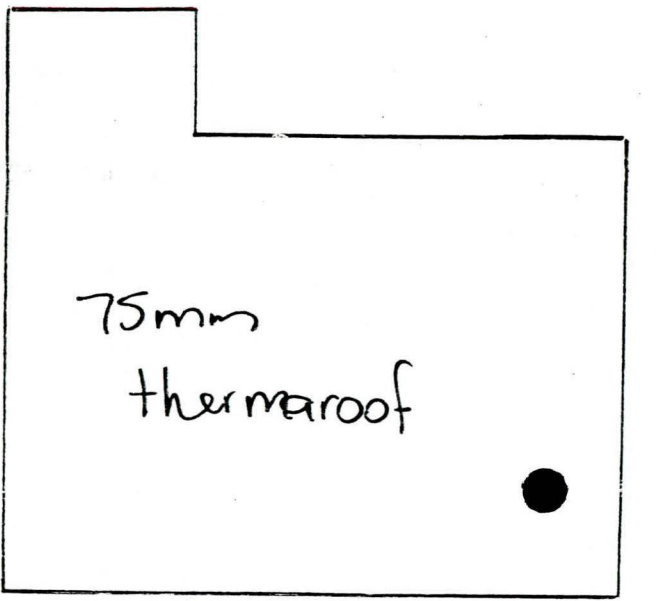


All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

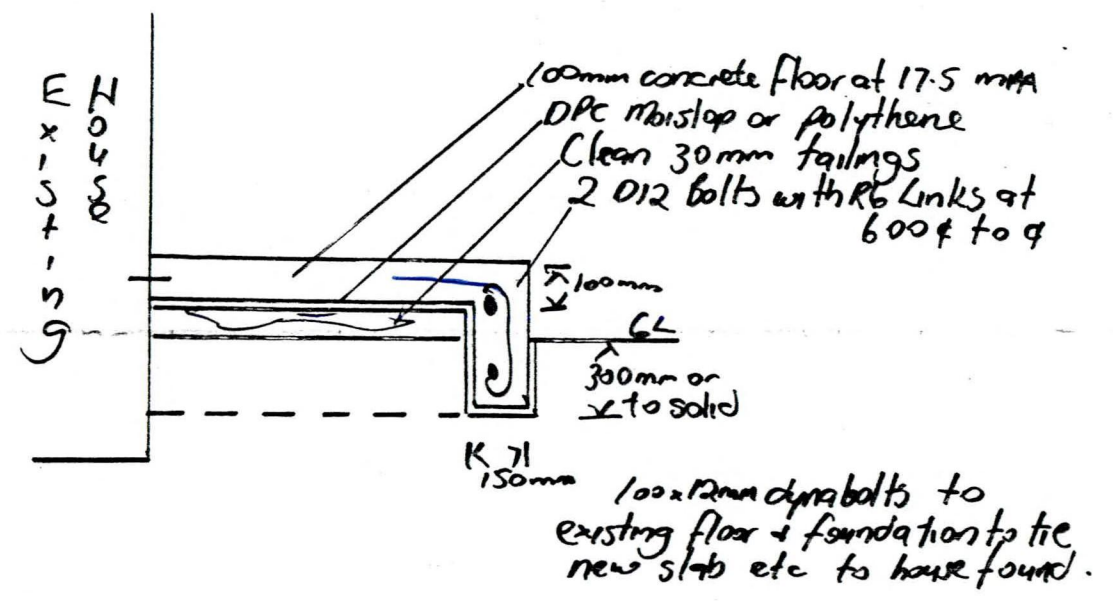
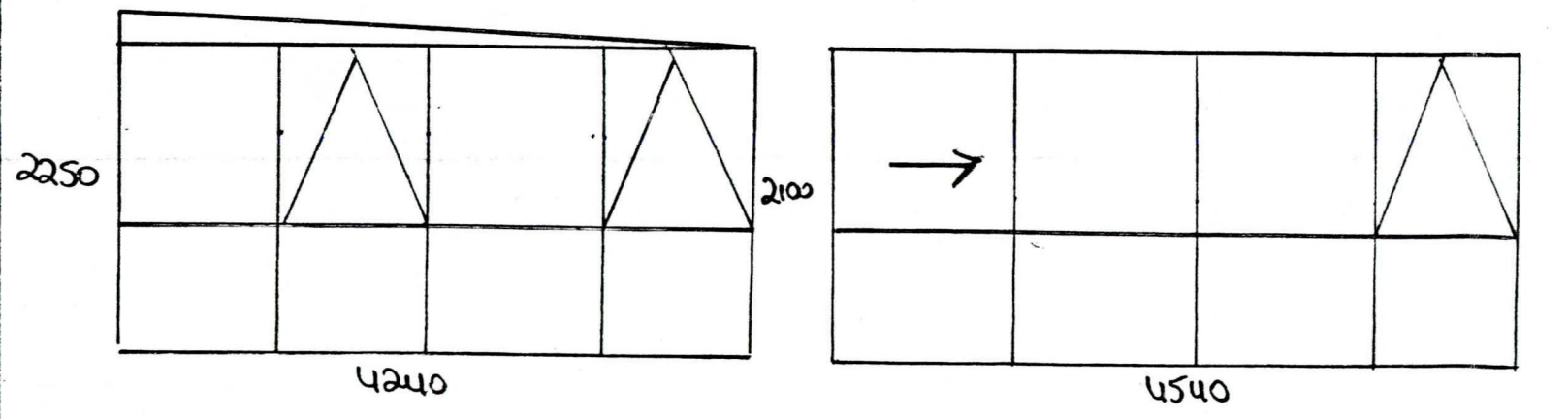
site coverage = .29

**FILE COPY**

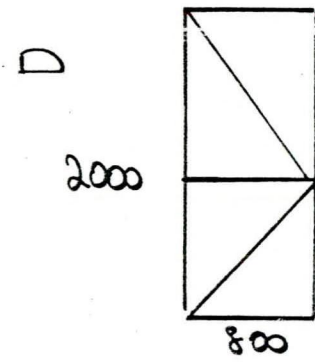
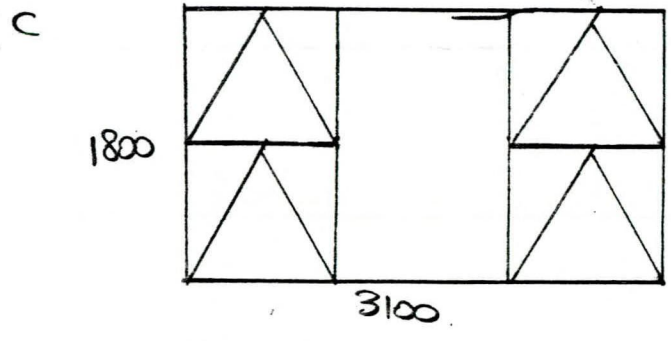
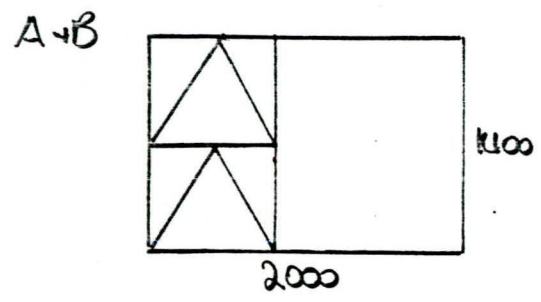
All Spouting and Down-Pipes  
 are to be connected  
 to an approved Stormwater  
 Out-Fall within 28 days  
 of the Roof being fitted.



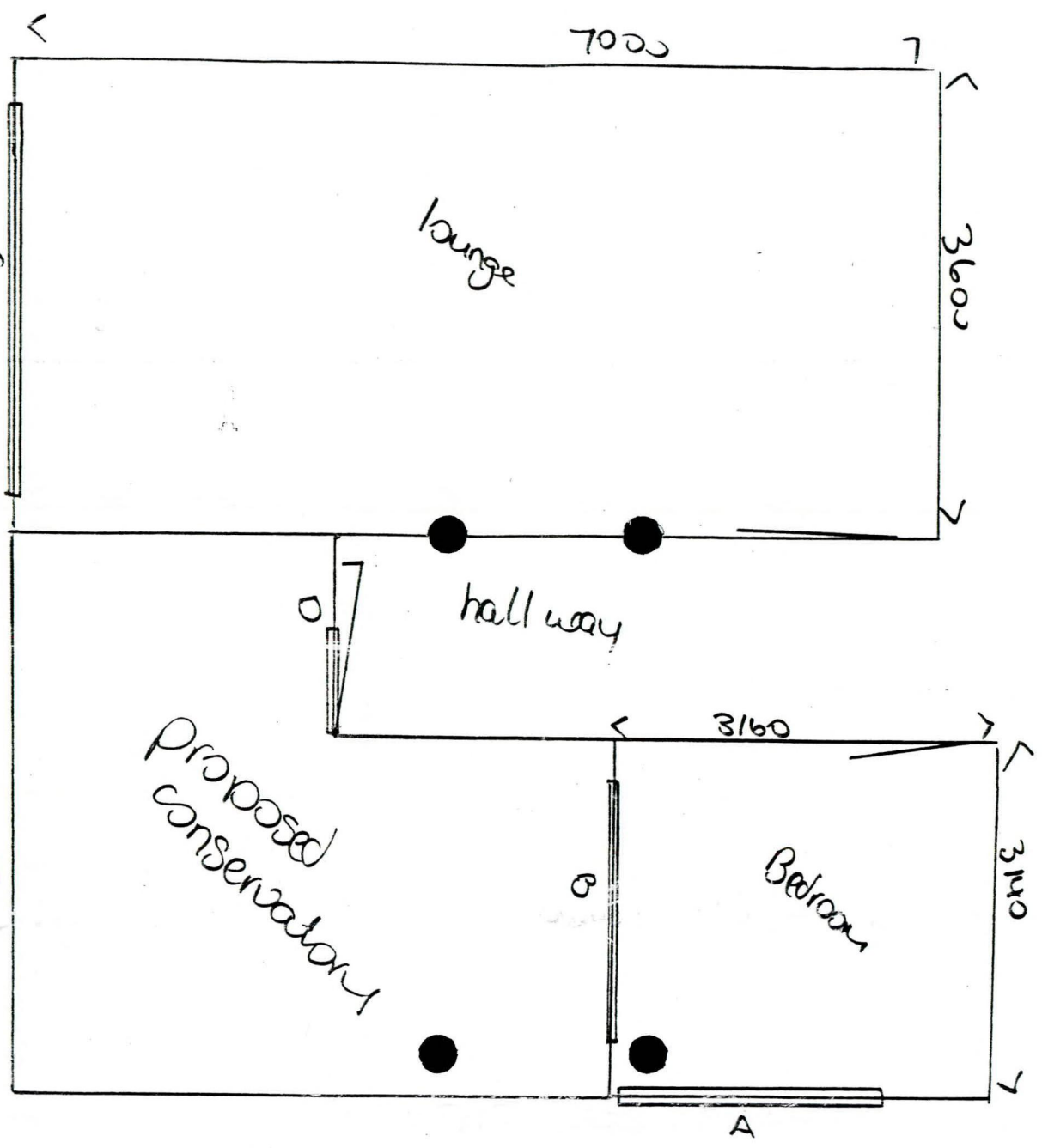
Foundation Not to scale



Vision Aluminium 49 Te Rama Place Phone: 3811-315	Proposed Conservatory for Derham 47 Frensham Cres lot u2 DP 28054	Contact: Janine Jamieson Phone: 3811-315	Sheet: 1
		Scales: 1:50 1:20	Series of: 2

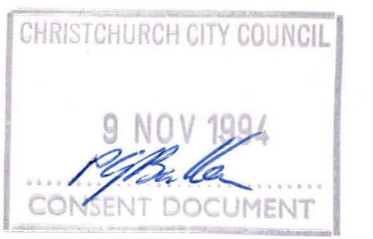


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lounge =  $25.20 \times 5\% = 1.26$   
~~bedroom~~ WC = 2.6  
 bedroom =  $9.92 \times 5\% = 0.5$   
 WA = 1.12  
 WB =  $\frac{0.00}{1.12}$

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.




Vision Aluminium  
 49 Te Rama Place  
 Phone: 3811-315

Proposed Conservatory for Derham  
 47 Frenshaw Cres lot 42 OP 28054

Contact: Janine Jamieson  
 Phone: 3811-315

Scales: 1:50

Sheet: 2  
 Series of: 2

 <p><b>CHRISTCHURCH</b> THE GARDEN CITY <i>The city that shines</i></p>	<p><b>CHRISTCHURCH CITY COUNCIL</b></p> <p><b>BUILDING ACT 1991</b></p> <p><b>PROJECT INFORMATION MEMORANDUM</b></p>	<p><b>FORM:BA2A</b></p>
--	--	-------------------------

PROJECT NO: 94009613

ADDRESS: 47 Frensham St.

NO INFORMATION RELATED TO THIS PROJECT, OTHER THAN THAT IDENTIFIED BELOW, HAS BEEN FOUND.

- Drainage Information Attached.
- Vehicle Crossing Application Form Attached.
- Water Information Sheet Attached.
- Cross-Lease Titles - the lease agreement may require you to obtain the consents of the other owners to this project.
- Resource Consent Attached.
- \_\_\_\_\_

PIM Fee: \$ 50 \_\_\_\_\_

SIGNED FOR AND ON BEHALF OF THE COUNCIL

W. Haase  
POSITION

W. HAASE  
Building Information Officer

Date: 3/11/04

*This Project Information Memorandum is confirmation that the proposed work may be undertaken subject to the requirements of the attached Building Consent.*



CHRISTCHURCH CITY COUNCIL  
DRAINAGE & WASTE MANAGEMENT UNIT  
PH. 379 0650  
FAX. 379 0039

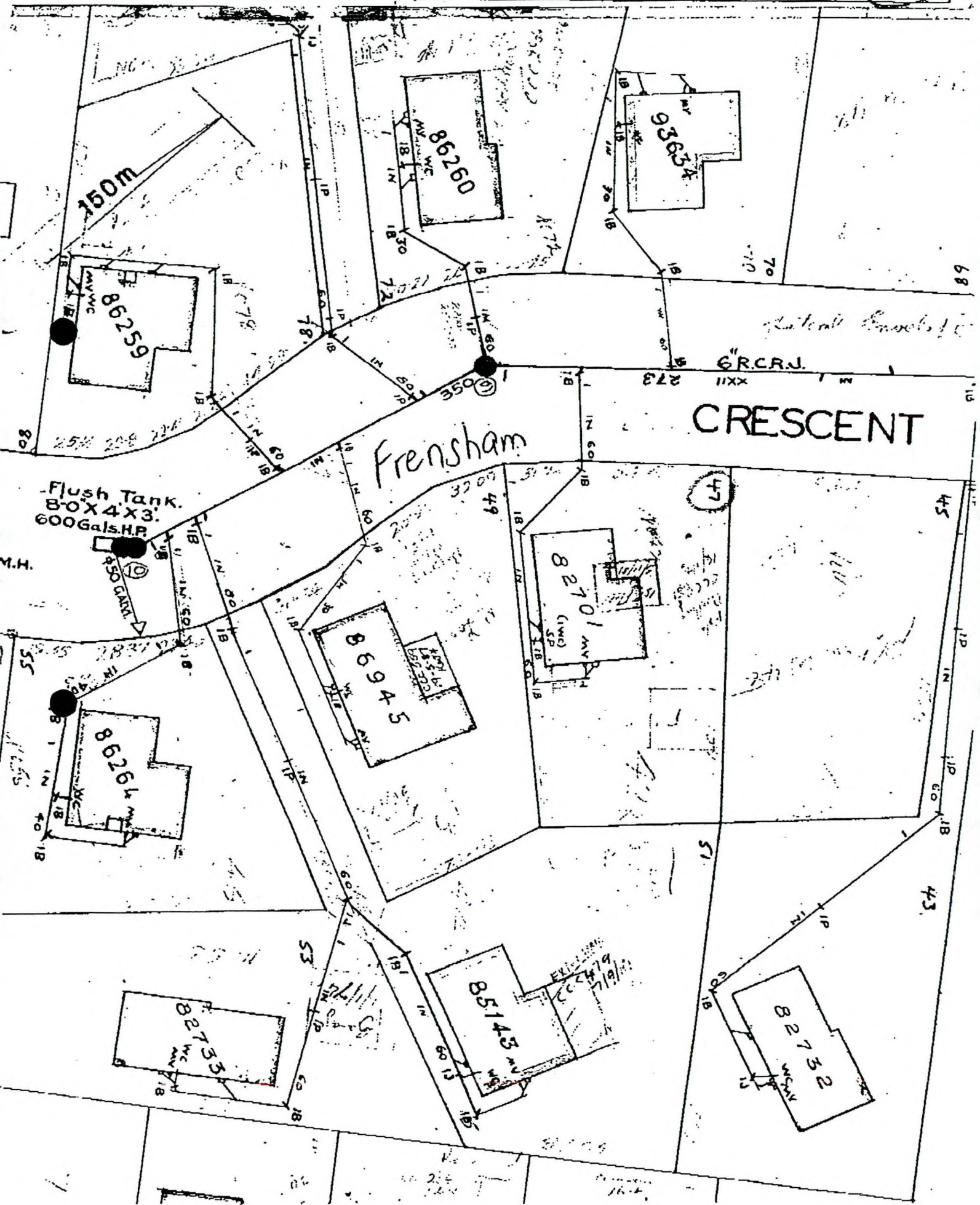
1 NOV 1994

DRAINAGE PLANS


CAUTION  
THE ACCURACY OF THIS PLAN & THE  
MEASUREMENTS ARE NOT GUARANTEED  
BUT SHOULD BE VERIFIED BY INSPECTION

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GHIT No. W53  
ATT.  
SCALE 1/1000 1/396



738-47

 <p><b>CHRISTCHURCH</b> THE GARDEN CITY <i>The city that shines</i></p>	<p><b>CHRISTCHURCH CITY COUNCIL</b> <b>BUILDING ACT 1991</b></p> <p>APPLICATION FOR BUILDING CONSENT</p>	<p>FORM: BA3</p> <p>PROJECT NO. <i>94009613</i></p>
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Has a Project Information Memorandum been issued by the Council for this Project? YES  NO

If YES, add the Project Information Memorandum number to the box above marked PROJECT NO.

<p><b>OWNER (OR PURCHASER OR LESSEE)</b></p> <p>Name: <i>Derham</i></p> <p>Mailing Address: <i>47 Frensham Cres</i> <i>Christchurch</i></p> <p>Phone: <i>381</i> Fax: .....</p>	<p><b>PROJECT LOCATION</b></p> <p>Street Address: <i>47 Frensham Cres</i></p> <p>Lot: <i>42</i> DP: <i>28054</i></p> <p>Other: .....</p>
---	--

<p><b>APPLICANT (If not owner, purchaser or lessee)</b></p> <p>Name: <i>Lisa Williams</i></p> <p>Company: <i>Vision Aluminium</i></p> <p>Mailing Address: <i>PO Box 7354</i> <i>Christchurch</i></p> <p>Phone: <i>3811-315</i> Fax: <i>3894-570</i></p>	<p><b>PROJECT</b></p> <p>Description of Work: <i>conservatory</i></p> <p>Intended Use: <i>conservatory</i></p>
---	--

<p><b>BUILDING CONSENT FEES</b></p> <p>The charges incurred by the Council in processing this application are payable whether or not the project proceeds.</p> <p>Note: Fees for some minor works (e.g. spaceheaters, drainage only works, detached accessory buildings with a value less than \$5,000) are required at the time of application.</p>	<p>Will the building undergo a change of use? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
--	--

<p>Estimated Value (inclusive of GST) \$ <i>9996.75</i></p>	<p>Intended Life if less than 50 years .....years.</p> <p>Being Stage ..... of an intended ..... Stages.</p>
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<p>Building Consent to be picked up from:</p> <p><input checked="" type="checkbox"/> <i>Linwood</i> Service Centre</p> <p><input type="checkbox"/> If prepaid post to Owner/Applicant (delete one)</p>	<p><b>FLOOR AREA</b></p> <table style="width:100%;"> <tr> <td>Ground Flr:</td> <td>Existing <i>113.08</i> m<sup>2</sup></td> <td>Proposed <i>19.13</i> m<sup>2</sup></td> </tr> <tr> <td>Other Flrs:</td> <td>Existing ..... m<sup>2</sup></td> <td>Proposed ..... m<sup>2</sup></td> </tr> <tr> <td>Accessory Building Area:</td> <td>Existing <i>30</i> m<sup>2</sup></td> <td>Proposed ..... m<sup>2</sup></td> </tr> <tr> <td colspan="3">Total Area of all Buildings: (over foundation)</td> </tr> <tr> <td></td> <td>Existing <i>143.08</i> m<sup>2</sup></td> <td>Proposed <i>19.13</i> m<sup>2</sup></td> </tr> </table>	Ground Flr:	Existing <i>113.08</i> m <sup>2</sup>	Proposed <i>19.13</i> m <sup>2</sup>	Other Flrs:	Existing ..... m <sup>2</sup>	Proposed ..... m <sup>2</sup>	Accessory Building Area:	Existing <i>30</i> m <sup>2</sup>	Proposed ..... m <sup>2</sup>	Total Area of all Buildings: (over foundation)				Existing <i>143.08</i> m <sup>2</sup>	Proposed <i>19.13</i> m <sup>2</sup>
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<p>Signature: <i>R.D. Paul</i></p> <p>Position: (if lessee) .....</p> <p>Date: <i>25/10/94</i></p>	
--	--

FOR COUNCIL USE ONLY								
Date Received		<b>CHRISTCHURCH CITY COUNCIL</b>						
Prepaid Fee: \$		<b>P.I.M. APPLICATION</b>	Code	New	Add	Alter	Demo	Relo.
Receipt No:		<b>Rec'd 28 OCT 1994</b>	<i>80</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Receiving Officer		<b>Linwood Service Centre</b>						
Primary Classification:*		<b>PROJECT No.....</b>						

**DRAINAGE INFORMATION:** Not Required  Block Plan Only  Full PIM

Date Requested *31/10/94*

## PROJECT DETAILS

**A. Identify which of the following are involved:**

			NAME	ADDRESS	PHONE NO.
Designer	<input type="checkbox"/> No	<input type="checkbox"/> Yes	Vision Aluminium	49 Te Koma Place	3811-315
Engineer	<input type="checkbox"/> No	<input type="checkbox"/> Yes	.....	.....	.....
Builder	<input type="checkbox"/> No	<input type="checkbox"/> Yes	as above	.....	.....
Drainlayer	<input type="checkbox"/> No	<input type="checkbox"/> Yes	client to arrange	.....	.....
Plumber	<input type="checkbox"/> No	<input type="checkbox"/> Yes	.....	.....	.....
Building Certifier	<input type="checkbox"/> No	<input type="checkbox"/> Yes	.....	.....	.....

**B. Identify Construction Arrangements:**

Is the builder responsible for the completion of the project in accordance with the Building Consent drawings and specifications?  Yes  No

**C. Inspection Arrangements:**

Does the project involve specialist consultant design? (eg, Structural, Civil or Mechanical Engineers)  Yes  No

If YES provide details of inspection procedure on Form BA 20

**D. Producer Statements:**

Are producer statements to be submitted in support of the application? eg, for Design or Construction Inspection  Yes  No

If YES provide details on Form BA 20

**E. Mechanical Systems:**

Does the project include mechanical systems, fire protection system or emergency warning systems for which a Compliance Schedule is required?  Yes  No

If YES identify these features on Form BA 21

**NOTES:** This application must be accompanied by three (3) copies of drawings and two (2) copies of specifications.

Guidelines showing acceptable standards of plans and specifications are available at any Service Centre or Civic Offices.



CHRISTCHURCH CITY COUNCIL  
DRAINAGE & WASTE MANAGEMENT UNIT  
PH. 379 0550  
FAX. 379 0039

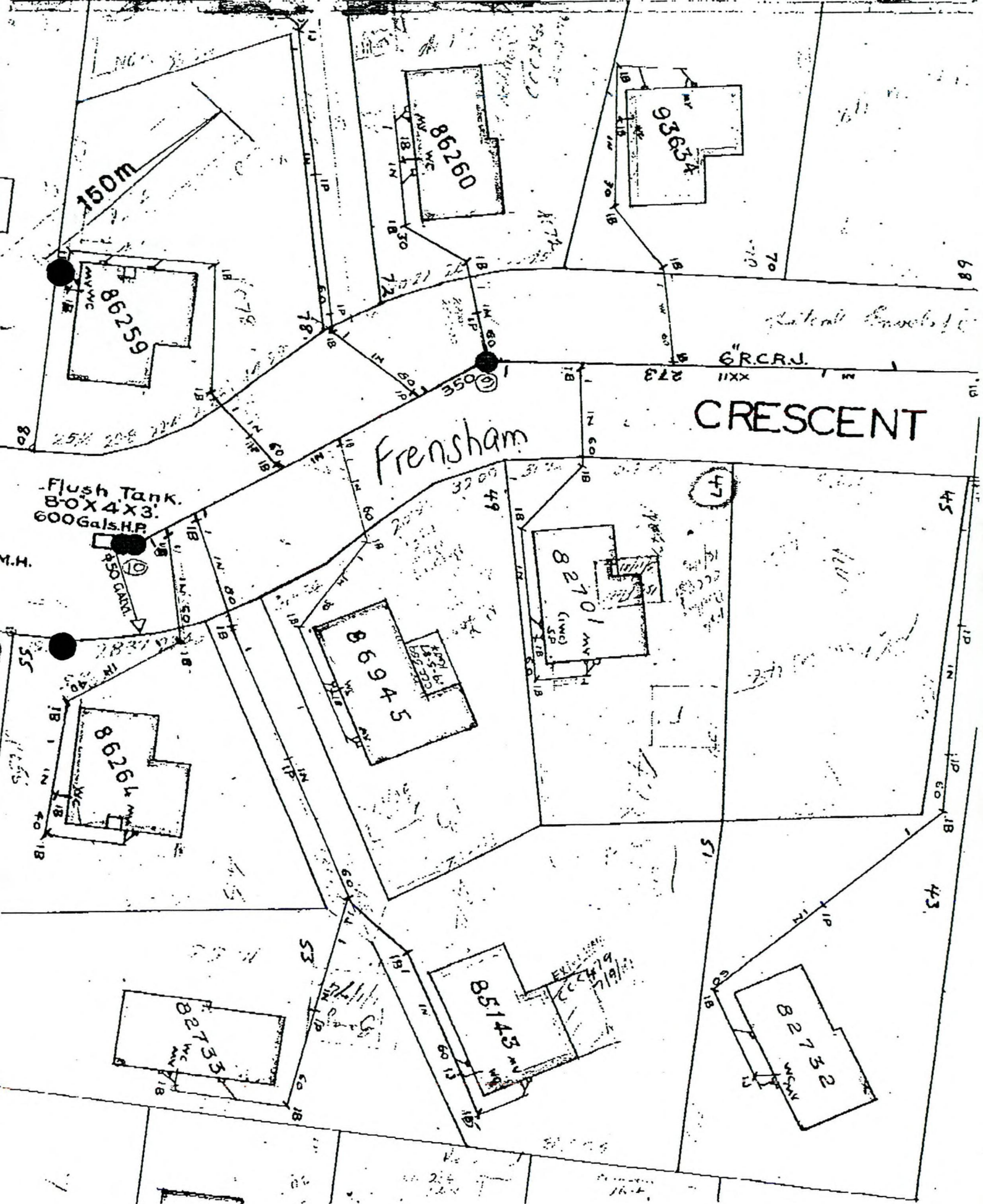
1 NOV 1994

DRAINAGE PLANS

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CHIT No.	W53
ATT.	
SCALE	1/7500 (1/396)



<b>P.I.M. APPLICATION CHECK SHEET</b> Project: <u>Conservatory</u> Location: <u>47 Frensham Cres</u>	<b>PROJECT NO.:</b> 94009613
--	---------------------------------

**DRAINAGE INFORMATION:** Not Required  Block Plan Only  Full PIM   
 Date Requested 31/10/94

Checked	Comment (see over)	Officer	Date	Time Input
<input type="checkbox"/> Hazard Register	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<i>[Signature]</i>	<u>31/10</u>	
<input type="checkbox"/> Property File	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Site Inspection	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Planning	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Zoning			<u>✓</u>	
<input type="checkbox"/> Site Area/Shape Factor			<u>✓</u>	
<input type="checkbox"/> Site Coverage/Density			<u>✓</u>	
<input type="checkbox"/> Plot Ratio/Bonuses				
<input type="checkbox"/> Floor space				
<input type="checkbox"/> Site suitability				
<input type="checkbox"/> Setbacks				
<input type="checkbox"/> Recession plane/height				
<input type="checkbox"/> Separation/on site privacy				
<input type="checkbox"/> Outdoor living/service areas				
<input type="checkbox"/> Design and appearance				
<input type="checkbox"/> Landscaping				
<input type="checkbox"/> Signs				
<input type="checkbox"/> Tree Register/Protected Blds				
<input type="checkbox"/> Others				
<input type="checkbox"/> Traffic	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Car parking/garageable spaces				
<input type="checkbox"/> Vehicle crossings				
<input type="checkbox"/> Access and manoeuvring areas				
<input type="checkbox"/> Loading areas				
<input type="checkbox"/> Other				
<input type="checkbox"/> Subdivisions	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Environmental Health Officer	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Further Information Requested	<input type="checkbox"/> Yes <input type="checkbox"/> No	Date Requested: ..... Date Received: .....		
<input type="checkbox"/> Other (Specify)	<input type="checkbox"/> Yes <input type="checkbox"/> No			

COMPLETE DETAILS ON REAR OF THIS SHEET AS APPROPRIATE





Resource Management Act 1991/Building Act 1991  
Christchurch City Council  
Hazards

Street: Frensham Cres Number: 66-78  
43-55

Legal Description: .....

Hazard: (Give details eg age, history of premises)  
Filled ground Severity: .....  
..... Accuracy: .....  
.....  
.....  
.....  
.....  
.....

LOCATION OF INFORMATION:

Service Centre: Linwood

File No or Source of Information: SP 5517

Other: .....  
.....  
.....  
.....

SEARCH COPY 28 OCT 1994

Land and Deeds 69

No. 10A / 952

REGISTER

References  
Prior C/T. 8A/1063  
Transfer No. 810436  
N/C. Order No.



CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 5th day of October one thousand nine hundred and seventy under the seal of the District Land Registrar of the Land Registration District of Canterbury

WITNESSETH that MERRITT-BEAZLEY HOMES LIMITED a Company having its registered office at Christchurch

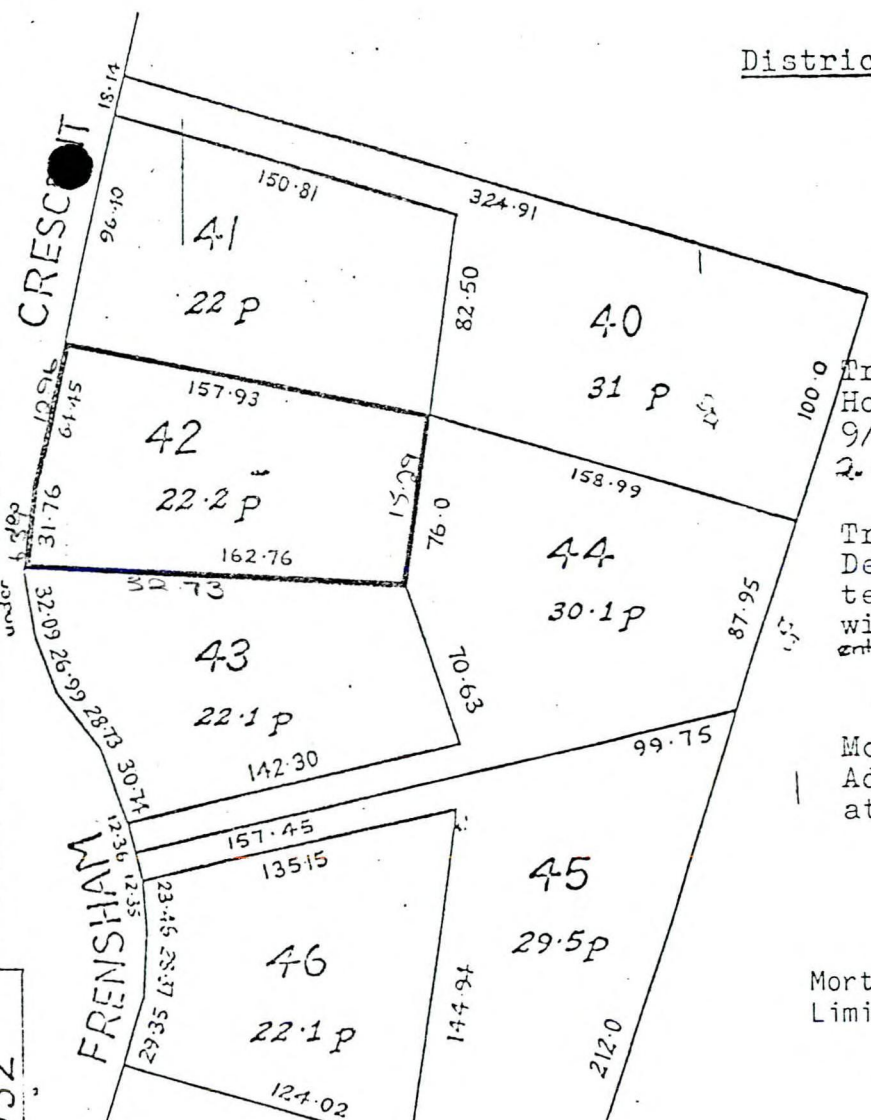
is seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 22.2 perches or thereabouts situated in the City of Christchurch being Lot 42 on Deposited Plan 28054 part of Rural Section 42



District Land Registrar

Mortgage 810437 to B.N. Finance Company Limited 5/10/1970 at 12.10 p.m.

Produced and entered 12/12/1970  
A.L.R.



Transfer 817109 to International Homes Limited at Christchurch 9/12/1970 at 12.3 p.m. and entered 2.2.1971 at 12 noon.

A.L.R.

Transfer 817994 to Rodney Douglas Derham of Christchurch, School teacher and Iris May Derham his wife - 16/12/1970 at 12.15 p.m. and entered 2.2.1971 at 12 noon.

A.L.R.

Mortgage 817995 to The State Advances Corporation - 16/12/1970 at 12.15 p.m. and entered 2.2.1971 at 12 noon.

Produced and entered 26/12/1970  
A.L.R.

Mortgage A97316/1 to Trust Bank Canterbury Limited - 17.2.1994 at 10.09am

A.L.R.

952

## ESTIMATE OF CONSTRUCTION INSPECTIONS : MINOR WORKS

PROJECT NO. 94009613 DATE: 9/11/94  
 DESCRIPTION OF CONSENT: Conservatory  
 SITE ADDRESS: 47 Frensham Crescent  
 OWNER'S NAME: Derham  
 OWNER'S ADDRESS: Cp Box 7356

*The following mandatory inspections will be carried out by the Council for which one day notice shall be given as required by Regulation 7(1) (b) (i-v).*

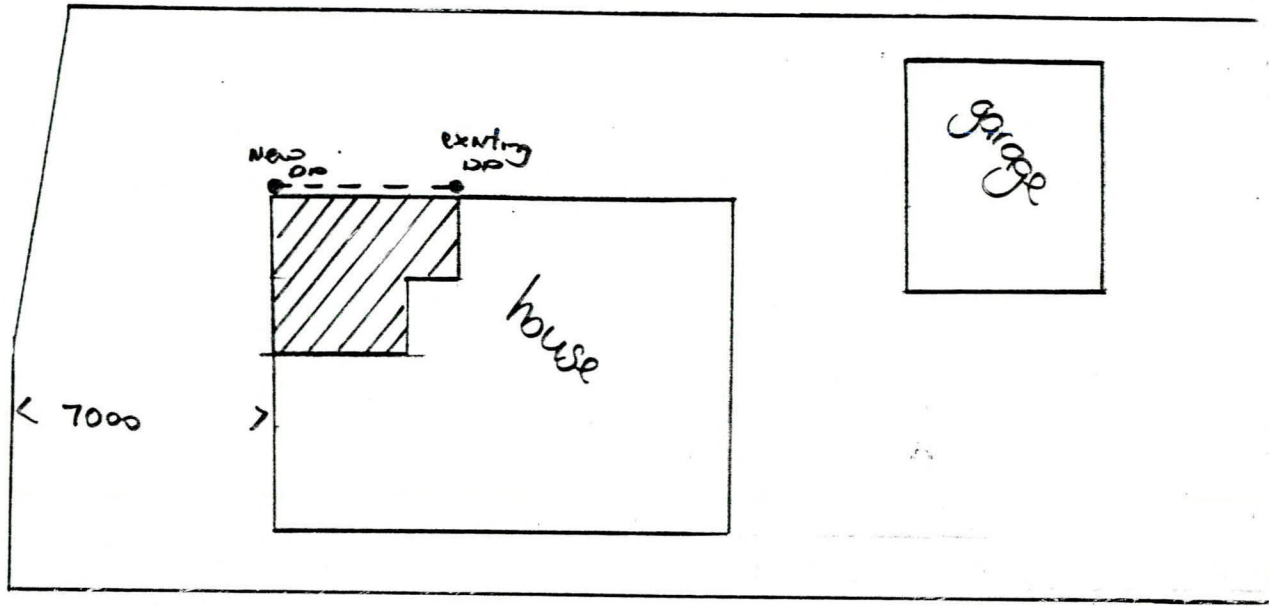
MANDATORY NOTICE INSPECTIONS		No.	Cost	Total	Comments
M1	Excavation/Foundation/Reinforcing	1	45		
M2	Slab on Grade/DPC				
M3	Frame Construction Sub Floor				
M4	Pre-lining				
	MC/Bracing/Fixing				
	Plumbing				
M5	Nailing of Sheet Bracing Material				
M6	Drains - Foulwater				
M7	Drains - Stormwater	1			
M8	Final, pursuant to S43, Form 9		45		
There is a minimum of one of these inspections if an adequate producer statement is provided.		Subtotal.....→		\$ 90	

SUPPLEMENTARY INSPECTIONS (Pursuant to S 76 (1) (a) of the Act)		No.	Cost		Comments
S1	Concrete Construction				
S2	Blockwork Construction				
S3	Steel Construction				
S4	Timber Construction				
S5	Exterior claddings and joinery				
S6	Interior finishes, fittings and joinery				
S7	Siteworks Supplementary				

<i>The number of these supplementary inspections is dependent on the nature of the building work and the manner of construction. The Council may require prior notification of work proceeding before covering up or closing in, subject to arrangement with the Building Inspector.</i>	Subtotal.....→	\$	
	THESE INSPECTIONS ARE TO BE PRE-PAID	TOTAL.....→	

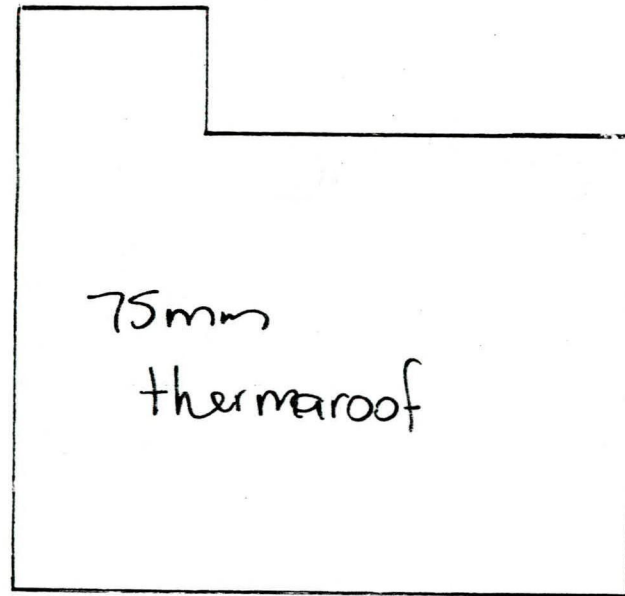
**Note:** *Inspections which are necessary due to non-complying or incomplete work or that arise as a result of a rectification notice are additional and will be charged at the rate of \$60.00/hour and invoiced separately.*

Frensham Cres

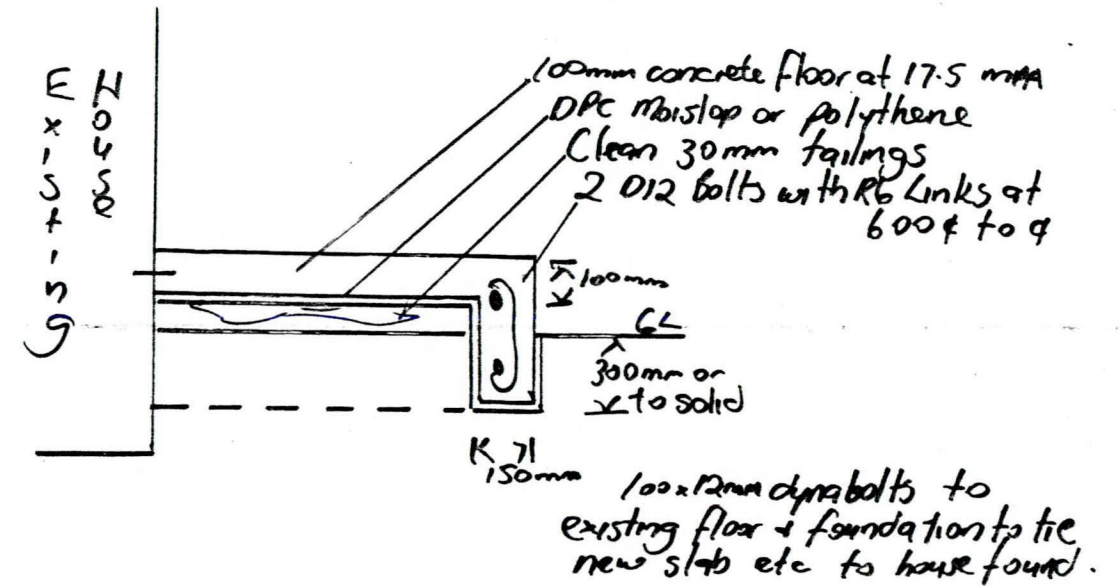
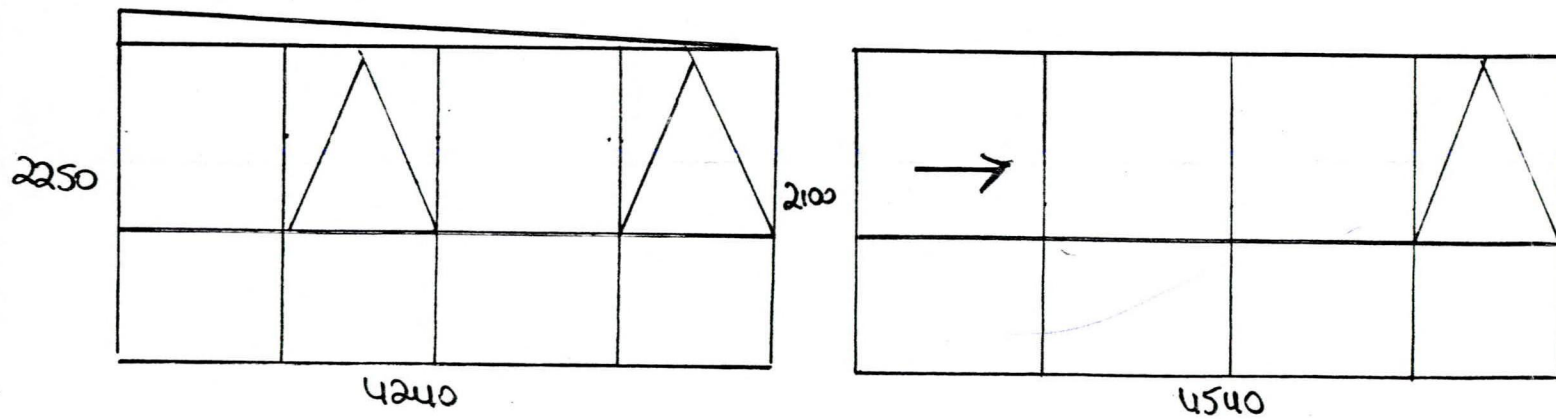


site area = 562 m<sup>2</sup>  
 house = 113.08 m<sup>2</sup>  
 garage = 30 m<sup>2</sup>  
 conservatory = 19.13 m<sup>2</sup>  
 162.21 m<sup>2</sup>

site coverage = .29



Foundation Not to scale



Vision Aluminium  
 49 Te Rama Place  
 Phone: 3811-315

Proposed Conservatory for Derham  
 47 Frensham Cres lot 42 DP 28054

Contact: Janine Jamieson  
 Phone: 3811-315

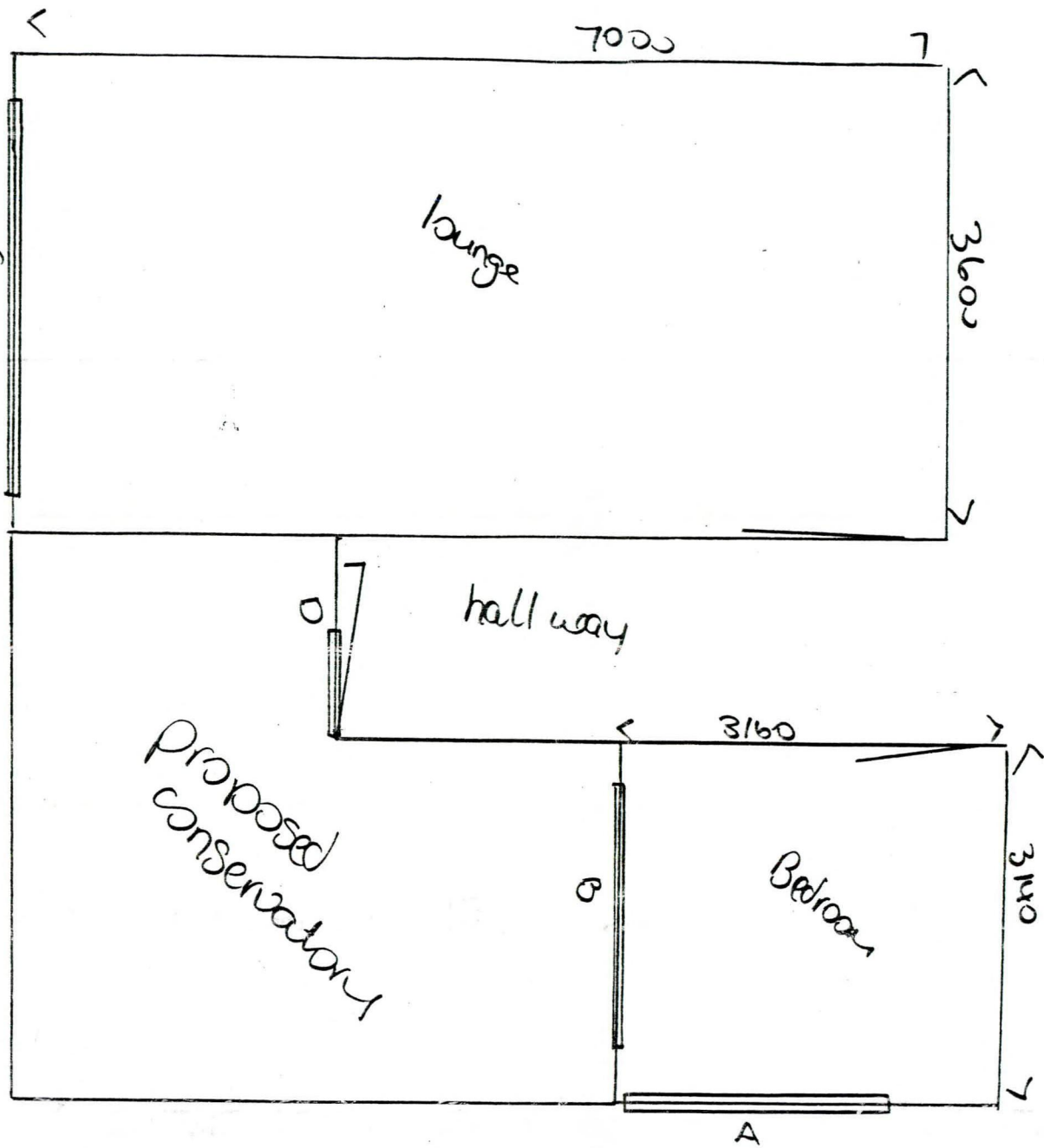
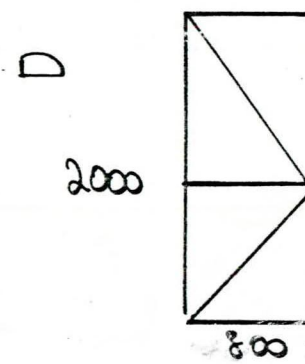
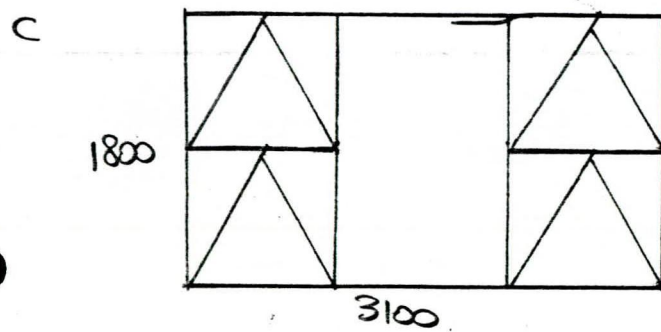
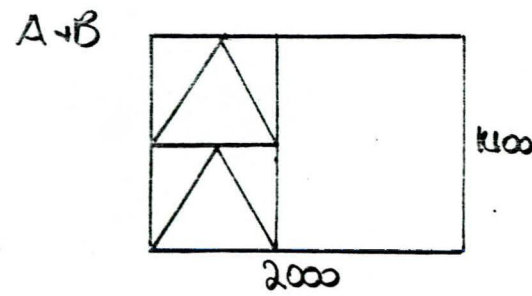
Scales: 1:50 1:20

Sheet:

1

Series of:

2



lounge =  $25.20 \times 5\frac{1}{6} = 1.26$

~~bedroom~~ wc = 2.6

bedroom =  $9.92 \times 5\frac{1}{6} = 0.5$

WA = 1.12

WB =  $\frac{0.00}{1.12}$

1.12

Vision Aluminium  
49 Te Rama Place  
Phone: 3311-315


Propose Conservatory for Derham  
47 Frenshaw Cres lot 42 OP 28054

Contact: Janine Jamieson  
Phone: 3311-315

Scales: 1:50

Sheet  
2  
Series of:  
2

738/47

 <p><b>CHRISTCHURCH</b> THE GARDEN CITY <i>The city that shines</i></p>	<p align="center"><b>CHRISTCHURCH CITY COUNCIL</b></p> <p align="center"><b>BUILDING ACT 1991</b></p> <p align="center"><b>PROJECT INFORMATION MEMORANDUM</b></p>	<p align="center"><b>FORM:BA2A</b></p>
--	---	--

PROJECT NO: 94009613

ADDRESS: 47 Frensham St.

NO INFORMATION RELATED TO THIS PROJECT, OTHER THAN THAT IDENTIFIED BELOW, HAS BEEN FOUND.

- Drainage Information Attached.
- Vehicle Crossing Application Form Attached.
- Water Information Sheet Attached.
- Cross-Lease Titles - the lease agreement may require you to obtain the consents of the other owners to this project.
- Resource Consent Attached.
- \_\_\_\_\_

PIM Fee: \$ 50 \_\_\_\_\_

SIGNED FOR AND ON BEHALF OF THE COUNCIL


W. K. A. [Signature]

Date: 3/11/04

POSITION

*This Project Information Memorandum is confirmation that the proposed work may be undertaken subject to the requirements of the attached Building Consent.*

738-47

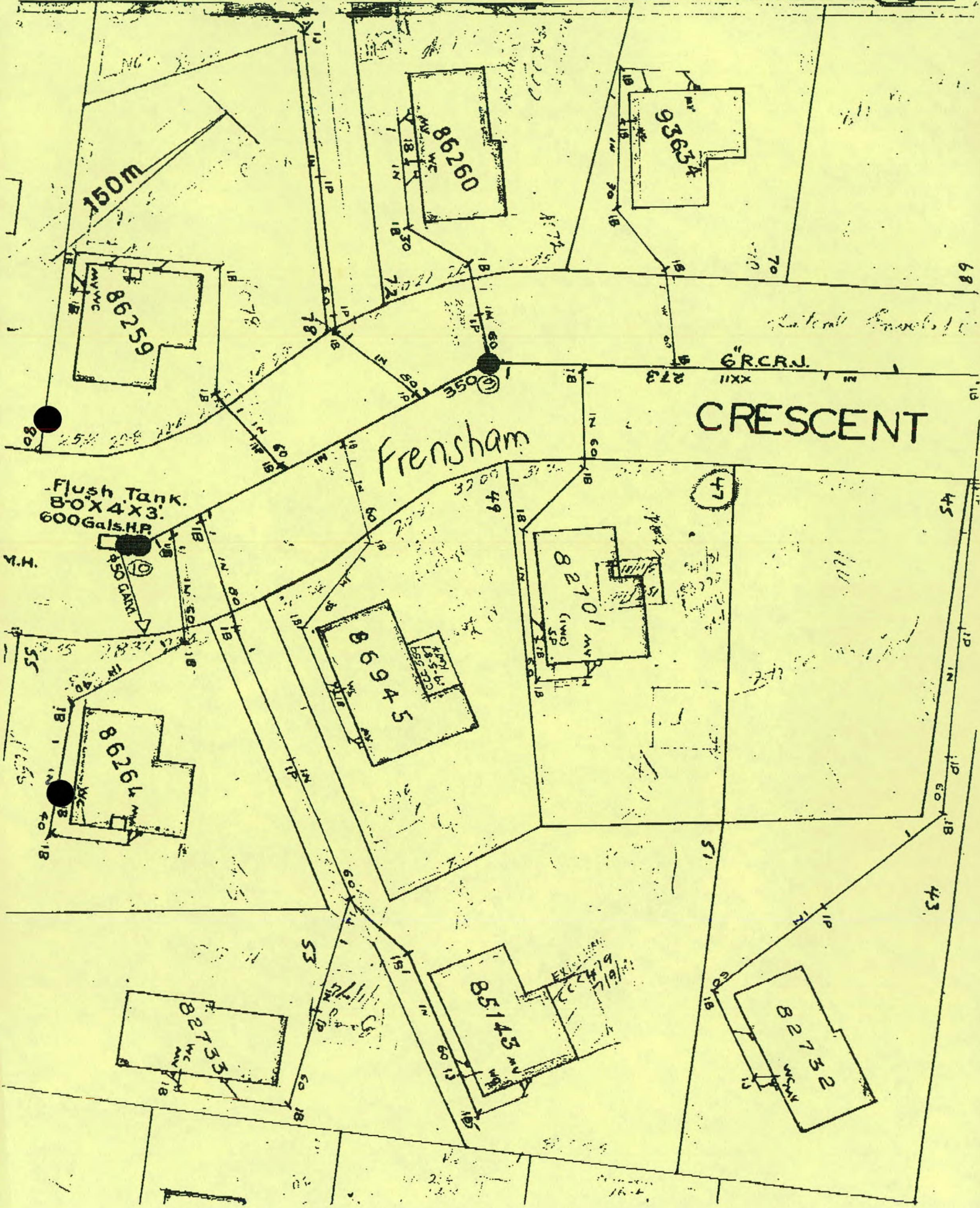
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--	--	---

Has a Project Information Memorandum been issued by the Council for this Project? YES  NO

If YES, add the Project Information Memorandum number to the box above marked PROJECT NO.

<p><b>OWNER (OR PURCHASER OR LESSEE)</b></p> <p>Name: <u>Derham</u></p> <p>Mailing Address: <u>47 Frensham Cres</u> <u>Christchurch</u></p> <p>Phone: <u>381</u> Fax: _____</p>	<p><b>PROJECT LOCATION</b></p> <p>Street Address: <u>47 Frensham Cres</u></p> <p>Lot: <u>42</u> DP: <u>28054</u></p> <p>Other: _____</p>																																										
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	CHRISTCHURCH CITY COUNCIL																																										
Date Received: _____	<b>P.I.M. APPLICATION</b>	Code	New	Add	Alter	Demo																																					
Prepaid Fee: S. _____	Rec'd 28 OCT 1994	<u>80</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																																					
Receipt No: _____	<b>Linwood Service Centre</b>																																										
Receiving Officer: _____	PROJECT No. ....																																										
Primary Classification: *																																											
<p><b>DRAINAGE INFORMATION:</b> Not Required <input type="checkbox"/> Block Plan Only <input checked="" type="checkbox"/> Full PIM <input type="checkbox"/></p> <p>Date Requested <u>31/10/94</u></p>																																											

 <p>CHRISTCHURCH CITY COUNCIL DRAINAGE &amp; WASTE MANAGEMENT UNIT PH. 379 0550 FAX. 379 0039</p>	<b>DRAINAGE PLANS</b>		<p>© COPYRIGHT RESERVED 1993 REPRODUCTION PROHIBITED</p>	CHIT No. <u>W53</u>
	<p>CAUTION THE ACCURACY OF THIS PLAN &amp; THE MEASUREMENTS ARE NOT GUARANTEED BUT SHOULD BE VERIFIED BY INSPECTION</p>			ATT.
	<p><b>1 NOV 1994</b></p>			SCALE <b>1/1000</b> <b>1/396</b>





<b>P.I.M. APPLICATION CHECK SHEET</b>	<b>PROJECT NO.:</b> <span style="font-size: 1.2em; font-family: cursive;">94009613</span>
Project: <span style="font-family: cursive; font-size: 1.2em;">Conservatory</span> Location: <span style="font-family: cursive; font-size: 1.2em;">47 Frensham Crea</span>	

<b>DRAINAGE INFORMATION:</b>	Not Required <input type="checkbox"/>	Block Plan Only <input checked="" type="checkbox"/>	Full PIM <input type="checkbox"/>
	Date Requested <span style="font-family: cursive; font-size: 1.2em;">31/10/94</span>		

	Checked	Comment (see over)	Officer	Date	Time Input
<input type="checkbox"/>	Hazard Register	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<span style="font-family: cursive;">[Signature]</span>	<span style="font-family: cursive;">31/10</span>	
<input type="checkbox"/>	Property File	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/>	Site Inspection	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/>	Planning	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/>	Zoning			<span style="font-family: cursive;">✓</span>	
<input type="checkbox"/>	Site Area/Shape Factor			<span style="font-family: cursive;">✓</span>	
<input type="checkbox"/>	Site Coverage/Density			<span style="font-family: cursive;">✓</span>	
<input type="checkbox"/>	Plot Ratio/Bonuses				
<input type="checkbox"/>	Floor space				
<input type="checkbox"/>	Site suitability				
<input type="checkbox"/>	Setbacks				
<input type="checkbox"/>	Recession plane/height				
<input type="checkbox"/>	Separation/on site privacy				
<input type="checkbox"/>	Outdoor living/service areas				
<input type="checkbox"/>	Design and appearance				
<input type="checkbox"/>	Landscaping				
<input type="checkbox"/>	Signs				
<input type="checkbox"/>	Tree Register/Protected Blds				
<input type="checkbox"/>	Others				
<input type="checkbox"/>	Traffic	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/>	Car parking/garageable spaces				
<input type="checkbox"/>	Vehicle crossings				
<input type="checkbox"/>	Access and manoeuvring areas				
<input type="checkbox"/>	Loading areas				
<input type="checkbox"/>	Other				
<input type="checkbox"/>	Subdivisions	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/>	Environmental Health Officer	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/>	Further Information Requested	<input type="checkbox"/> Yes <input type="checkbox"/> No		Date Requested: .....	Date Received: .....
<input type="checkbox"/>	Other (Specify)	<input type="checkbox"/> Yes <input type="checkbox"/> No			

COMPLETE DETAILS ON REAR OF THIS SHEET AS APPROPRIATE

Should not affect this project. *RM*



Resource Management Act 1991/Building Act 1991  
Christchurch City Council  
Hazards

Street: Frensham Cres Number: 66-78  
43-55

Legal Description: .....

Hazard: (Give details eg age, history of premises)  
Filled ground Severity: .....  
..... Accuracy: .....  
.....  
.....  
.....  
.....  
.....  
.....

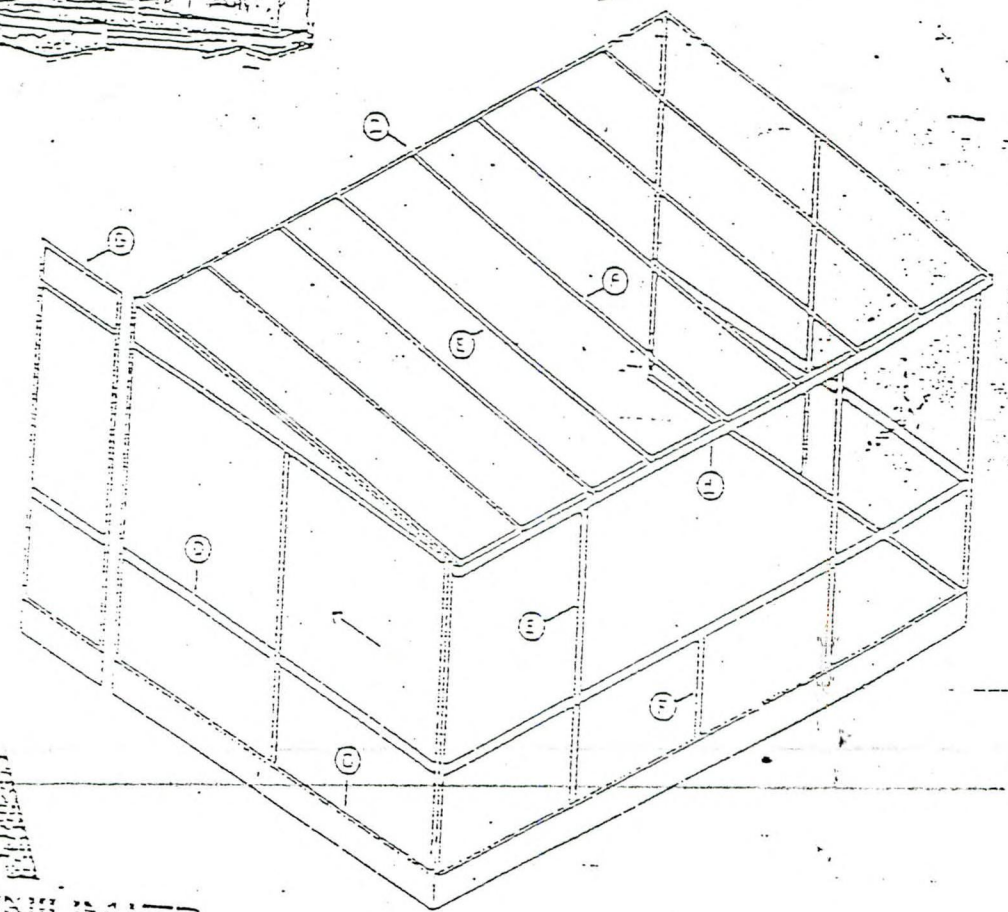
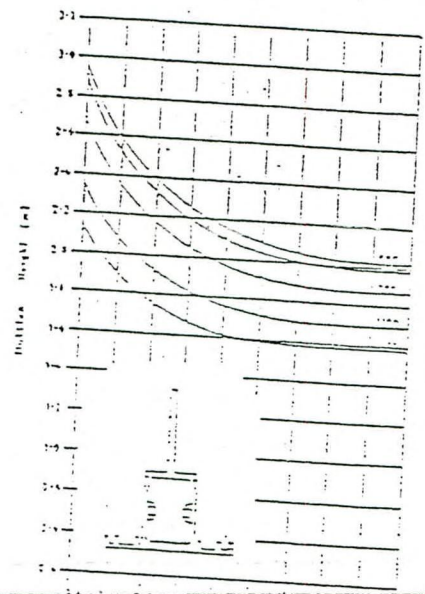
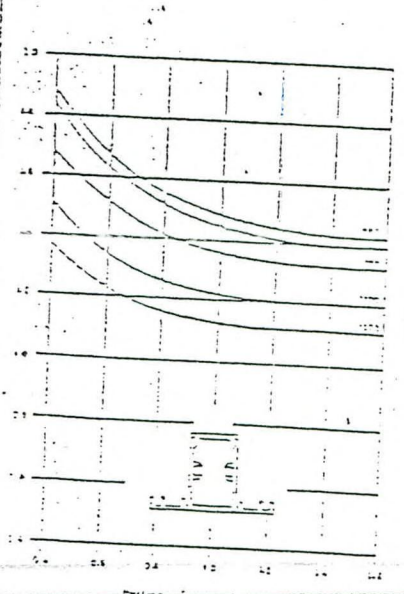
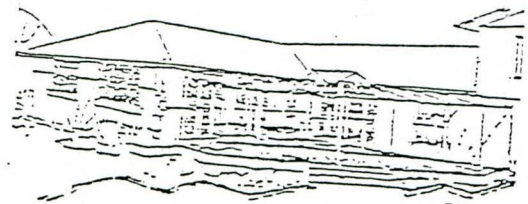
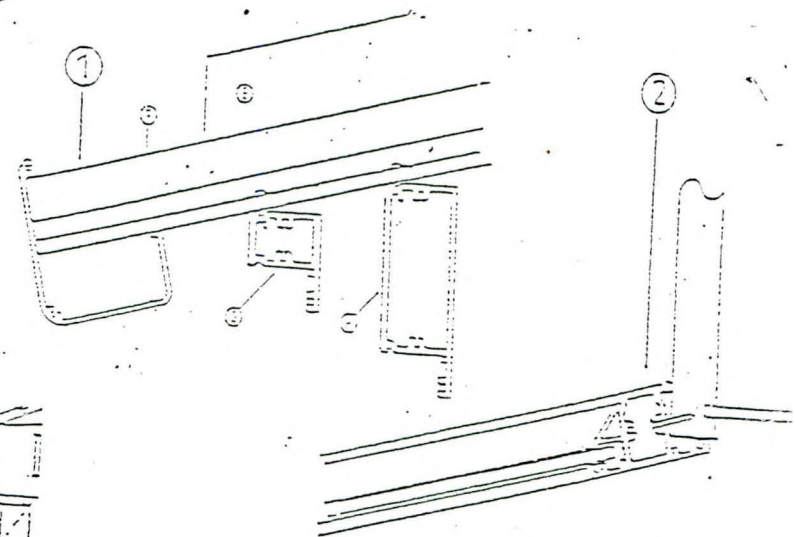
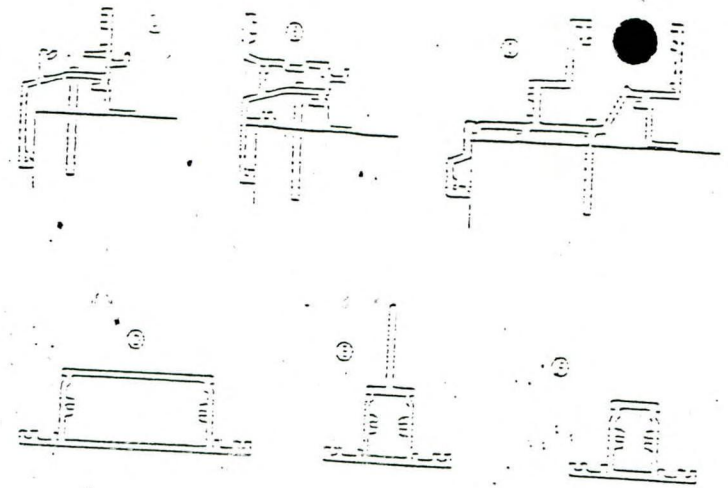
LOCATION OF INFORMATION:

Service Centre: Linwood

File No or Source of Information: SP 5517

Other: .....  
.....  
.....  
.....  
.....

**VISION**  
*Construction*  
DESIGNER BUILT



**VISION ALUMINIUM LTD**

475 BAYVIEW DRIVE, WILSONS CREEK, AUCKLAND  
PO BOX 111, WILSONS CREEK, AUCKLAND

# CITY OF CHRISTCHURCH

CITY ENGINEER'S DEPARTMENT

P.O. BOX 237, CHRISTCHURCH, NEW ZEALAND

Mr R. D. Derham,  
47 Frensham Crescent,  
CHRISTCHURCH

19 November 19 76

re Building Application No. 851 BU/1/2

B7/7  
Mr O'malley

Dear Sir/Madam, your application for permission to erect adds to dwelling at 47 Frensham Crescent

has now been approved. Before work is commenced the undermentioned fees must be paid and a building permit uplifted from this office.

Vehicle Crossing .....	\$
Builders Water Supply .....	
Water Connection Charge .....	10.00
Building Permit Fee .....	
Building Research Levy .....	
Street Damage Deposit .....	<u>Indemnity required</u> 10.00

The Building Permit Application is approved subject to the following conditions:

1. The foundation being taken down to a satisfactory solid bearing.
2. The stormwater being connected to the existing disposal system and piped to the street side channel.

If the permit is not uplifted within three months of this date the application will be cancelled and the plans disposed of.

Yours faithfully

*[Signature]*  
for Deputy General Manager and City Engineer

SPECIFICATION

FOR HOUSE EXTENSIONS AT 47 FRESHAM CRESC.

OWNER R.D. DEPHAM.

FOUNDATIONS CONCRETE SHALLOW PILED [ 2- 13m ms foot STRAIPS 6- at 300 c/c  
200 - PILES at 200% ]

CLASS OF TIMBER

SPACING

Sleepers	<u>(100x75) B.M. RUMU OR TREATED PINE</u>	<u>1200</u>
Floor Joists	<u>(100x70) " "</u>	<u>450</u>
Flooring	<u>PARTICLE BOARD (20mm)</u>	<u>-</u>
Plates	<u>(100x70) B.M. RUMU OR TREATED PINE</u>	<u>-</u>
Studs	<u>(100x50) " "</u>	<u>400</u>
Battings	<u>(75x70) " "</u>	<u>to suit</u>
Rafters	<u>(100x70) " "</u>	<u>450</u>
Purlins	<u>(75x70) " "</u>	<u>300</u>
Wall Covering	<u>GIB. BOARD (10mm<sup>2</sup>)</u>	<u>-</u>
Roof Covering	<u>TILE (30°)</u>	<u>-</u>

[ ALL TIMBER TREATED AS REQ'D ]

CHRISTOPHER Y  
Approved Subject to the By-Laws  
**19 NOV 1976**  
For City Engineer

DEPT.	APPLICATION NO. <i>851</i>	PERMIT NO.	Initial
TOWN PLANNING	Zoning		
	Siting (ordinances)		
	Coverage		
	Density		
	Height		
	Outbuildings (height area)		
	Signs		
SURVEYOR	Building Restrictions		
	C.D.B. Widening		
	C.D.B. Clearance		
	Cash in lieu of Reserve		
	D.P. or Title Amalgamation		
	Unit Title		
TRAFFIC ENGINEERS	Access		
	Off Street Loading		
	Off Street Parking		
	Turning Space		
	Motorway		
	Street Works		
DISTRICT ENGINEERS	Vehicle Barriers		
	Sealing of Areas		
	Location of Gully Traps etc.		
	Culverts and Accesses	<i>King not involved</i>	<i>DM</i>
	Drainage		
BUILDING INSPECTORS	Fire Zone and Resistance		
	Siting (By laws)		
	Light and Ventilation		
	Room Sizes and Stud Ht.		
	Heating and Storage		
	Toilet and Laundry Accommod.		
	Mezzanine Floors		
	Storm Water and Section Levels		
	Entrance Levels		
	Projections over Street		
	Verandahs		
	Hoardings		
	Street Numbers		
	Insulation		
Access for Handicapped			
Unit Title			
STRUCTURAL ENGINEERS	Fire Resistance Requ.		
	Projections over Street		
	Structural Stability		
EGRESS OFFICER	Egress and Exit Signs		
	Fire Fighting Equipment		
	Alarm Systems		
	Emergency Lighting		
	Fire Stops		
HEALTH INSPECTORS	Wall Linings		
DANGEROUS GOODS INSPECTORS			
WATER INSPECTOR		<i>WN 18</i>	
		<i>17</i>	

*Quinn*

Department of Justice, N.Z. L & D 102

**Land Registry Office  
Copy Services**

This coupon will be returned  
with copy requested or  
journal search and must be  
produced for any query.

**G 340821**

Name .....

*Derham*

**Copy Requested**

*109/952*

**COPY**



SEARCH COPY 28 OCT 1994

Land and Deeds 69

No. 10A/952

References  
Prior C/T. 8A/1063

Transfer No. 810436  
N/C. Order No.



REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 5th day of October one thousand nine hundred and seventy under the seal of the District Land Registrar of the Land Registration District of Canterbury

WITNESSETH that MERRITT-BEAZLEY HOMES LIMITED a Company having its registered office at Christchurch

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 22.2 perches or thereabouts situated in the City of Christchurch being Lot 42 on Deposited Plan 28054 part of Rural Section 42



District Land Registrar

Mortgage 810437 to B.N. Finance Company Limited 5/10/1970 at 12.10 p.m.

Produced and entered m. 12.1970  
A.L.R.

Transfer 817109 to International Homes Limited at Christchurch produced 9/12/1970 at 12.3 p.m. and entered 2.2.1971 at 12 noon.

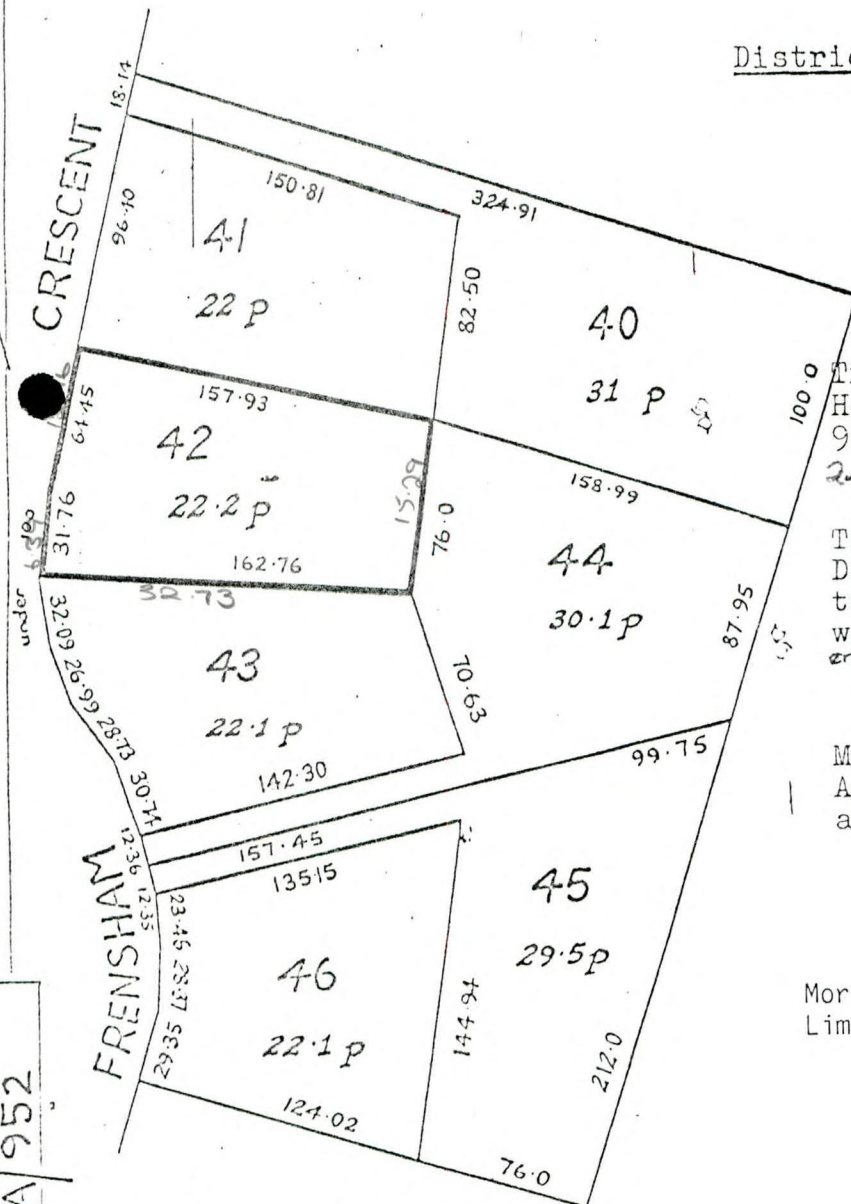
Transfer 817994 to Rodney Douglas Derham of Christchurch, School teacher and Iris May Derham his wife - 16/12/1970 at 12.15 p.m. and entered 2.2.1971 at 12 noon.

Mortgage 817995 to The State Advances Corporation - 16/12/1970 at 12.15 p.m. and entered 2.2.1971 at 12 noon.

DISCHARGED  
A0538701  
A.L.R.

Mortgage A97316/1 to Trust Bank Canterbury Limited - 17.2.1994 at 10.09am

A.L.R.



Scale: 1 inch = 80 links  
METRIC AREA: 562 m<sup>2</sup>

No. 10A/952

3/4616

CCC 851

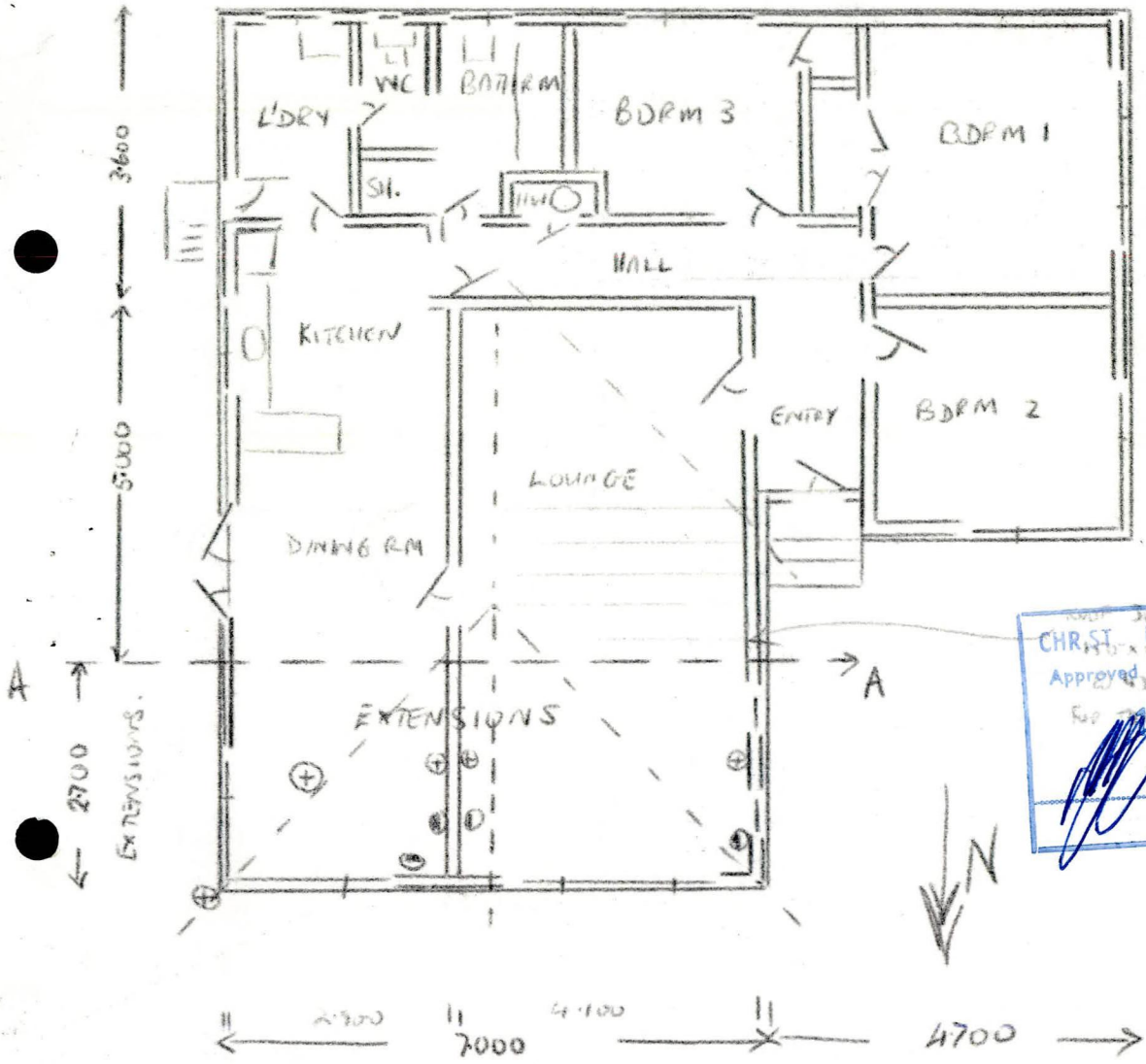
Mr R.D. Desham.  
47 Fresham Cres.

Lot 42 DP 28054.

Extend dwelling

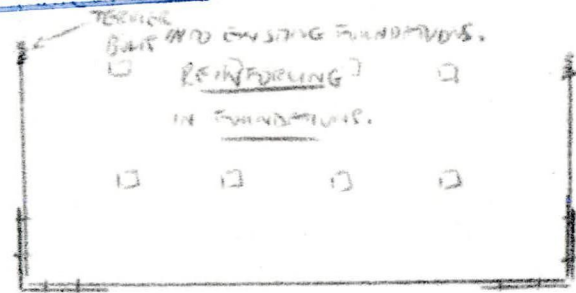
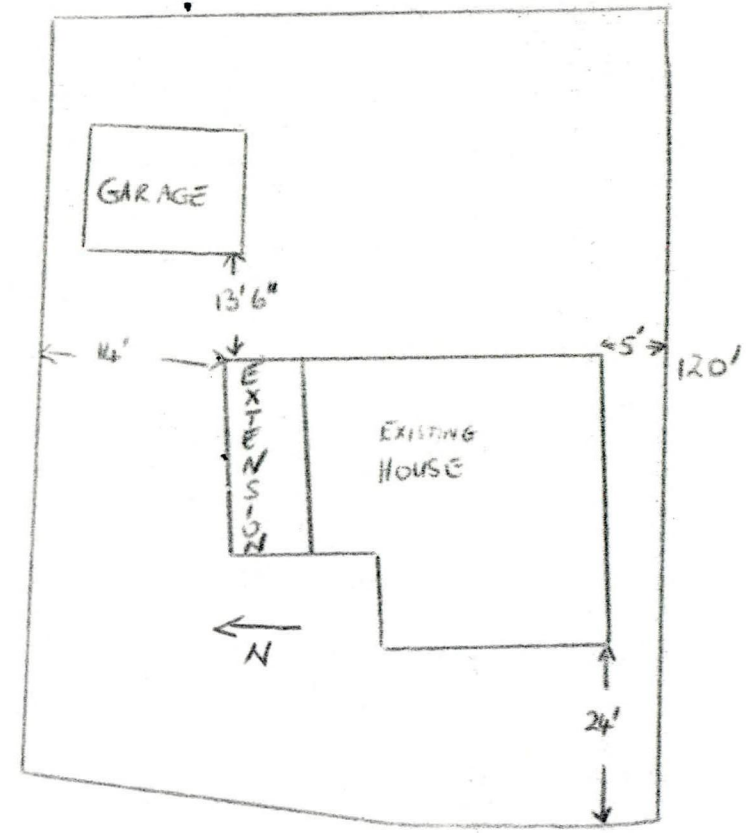
Sewer not involved on this plan.

CHRISTCHURCH	
PLAN No.	1253
LETTER REF.	
J.H.S.	
INSP.	J.P.
DATE	18/11/76
DRAINAGE BOARD	



EXISTING HOUSE

NOV 1976  
 CHRISTURCH CITY COUNCIL  
 Approved Subject to the By-Laws  
 For 708 NOV 1976  
*[Signature]*  
 For City Engineer

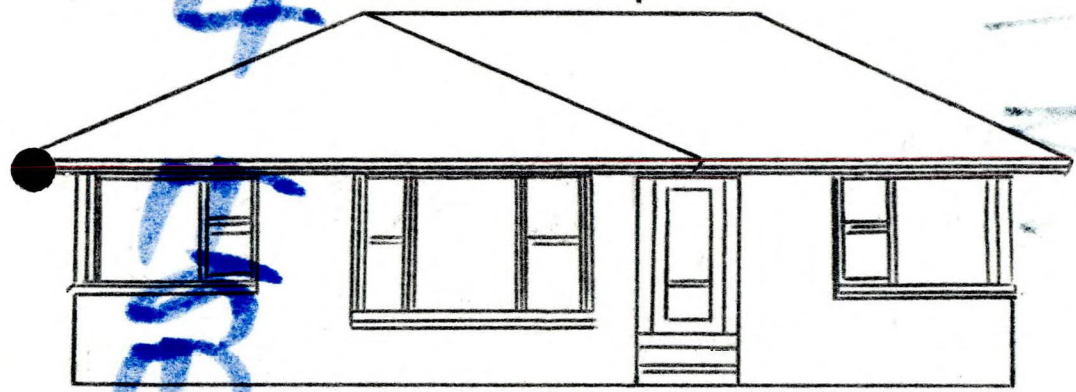


SITE PLAN

FLOOR PLAN

PROPOSED ADDITIONS/ALTERATIONS MR. R. D. DERHAM.  
 47 FRENCHMAN CRESC. (L7042).

7000mm EXTENSION.



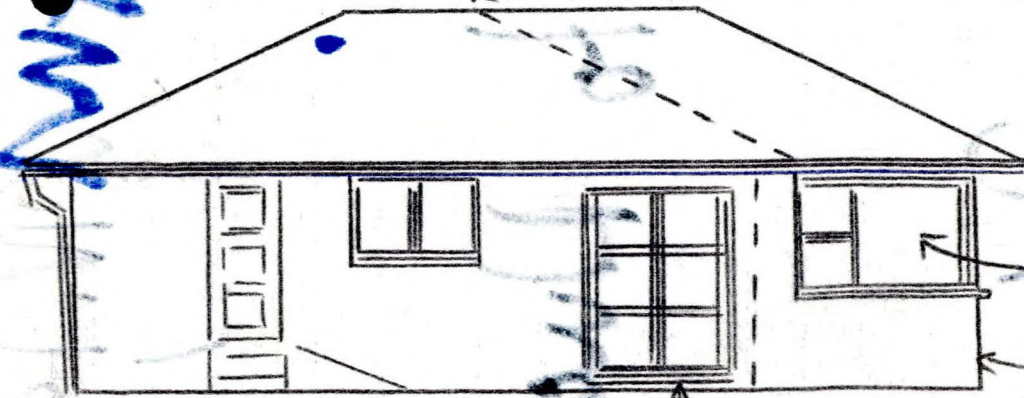
NORTH ELEVATION

EXISTING WINDOWS & WALL TRANSFERRED OUT.

WATER

CHRISTCHURCH CITY COUNCIL  
Approved Subject to the By-Laws  
19 NOV 1976  
For City Engineer

← EXTENSIONS →



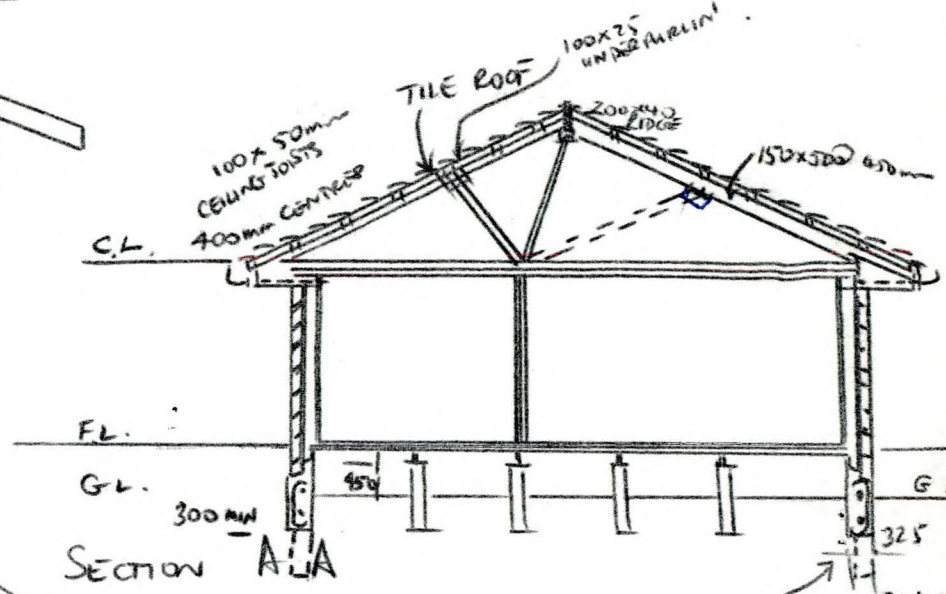
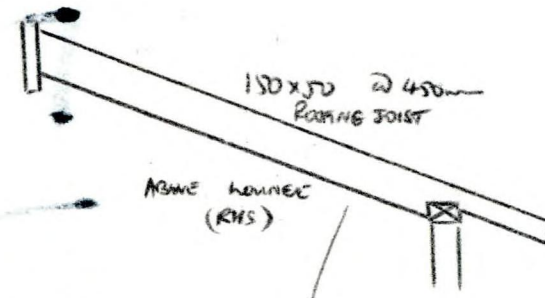
EAST ELEVATION

← EXTENSIONS →

DOOR IN PLACE OF WINDOWS.

EXISTING WINDOW TRANSFERRED

BRICK VENEER TO MATCH EXISTING.

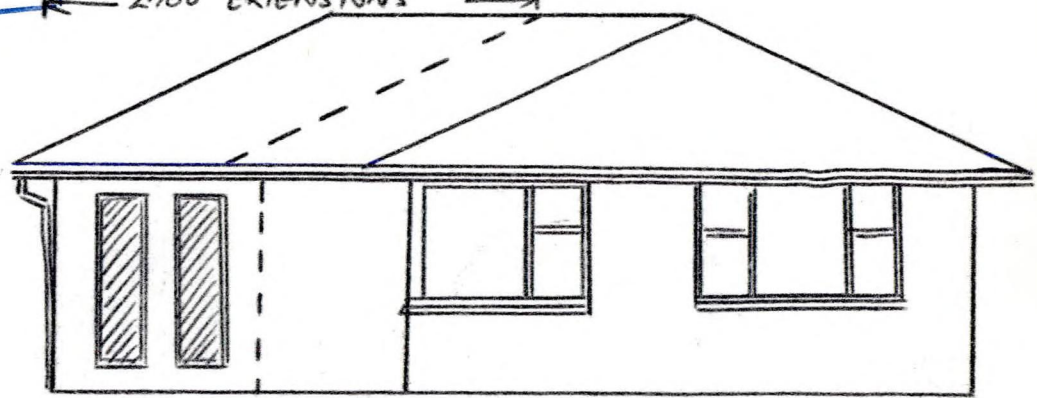


SECTION A-A

SHALLOW PILES

2.13 mlt  
(number of 9009  
(SEE FOUNDATION SHEET))

← 2.700 EXTENSIONS →



WEST ELEVATION.

← EXTENSIONS →

47 FRENSHAM ~~WV. 18~~  
CRS. 17.

adds to Duell  
N/P

LIN 76-2460

3,227 71

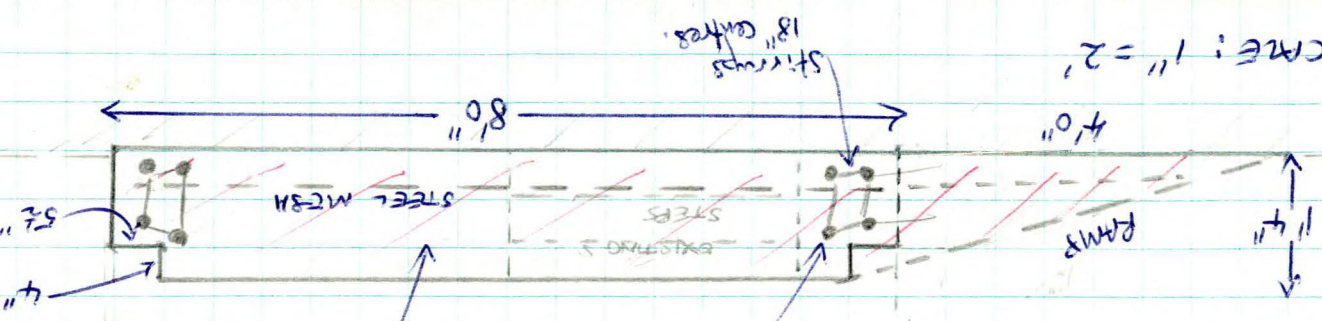
CHRISTCHURCH	CCC 446
BLOCK PLAN <u>Wood 53</u>	L. D. Lesham
SECT. LEV. _____	47 Trensham boes
GENERAL _____	Lot 2 D 128054
DRAINAGE BOARD	Porch on back of house

Sanitary sewer down to be  
directed clear of additions.

*W. Conrad*

4-8-72

SCALE: 1" = 2'

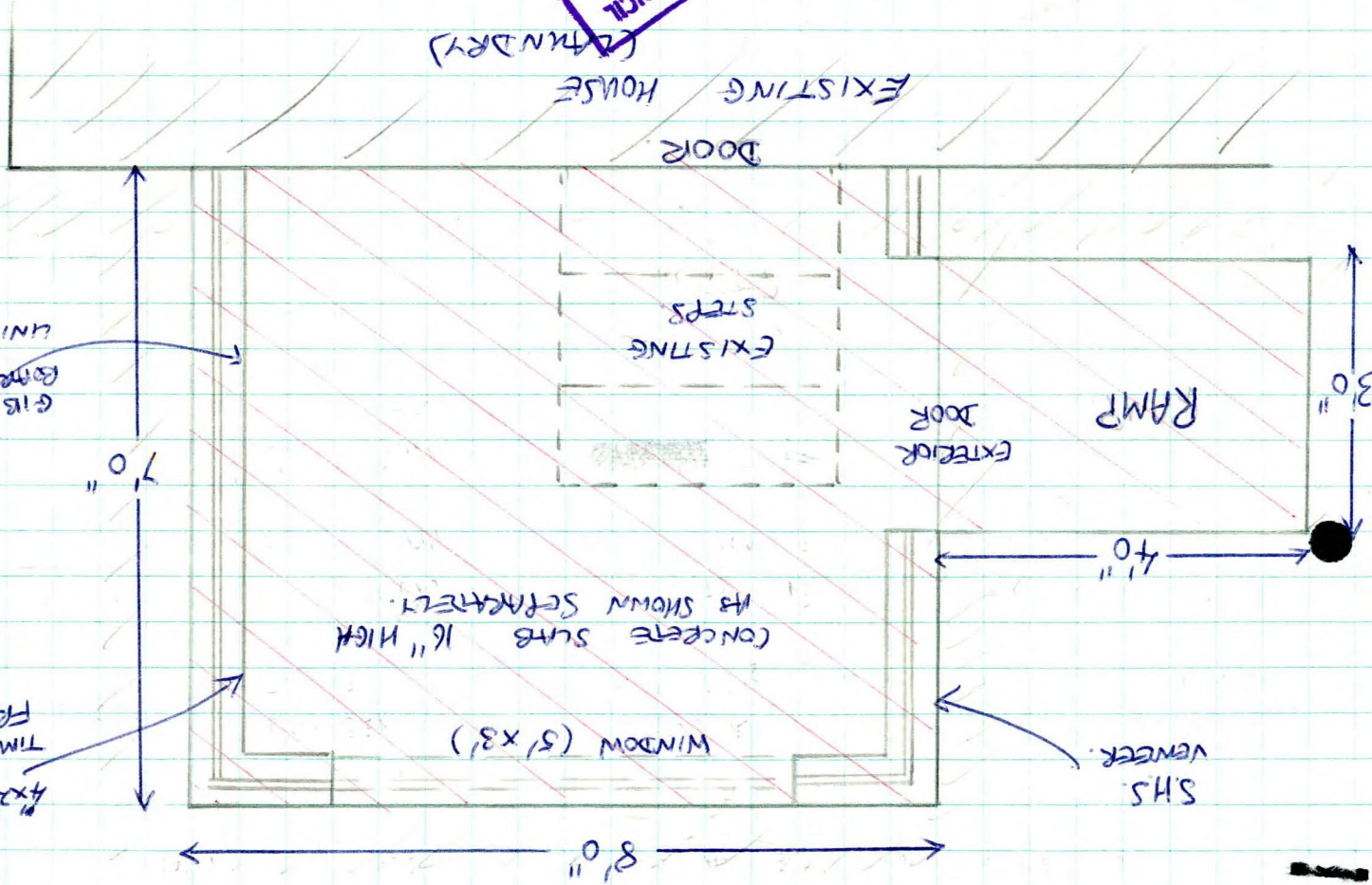


SOLID CONCRETE  
SLABS  
(3" BELOW HOUSE FLOOR LEVEL)

2" STEEL  
RODS

CROSS-SECTION  
OF FLOOR

CHRISTCHURCH CITY COUNCIL  
Approved Subject to the By-Laws  
- 8 AUG 1972  
For City Engineer  
*[Signature]*



FLOOR PLAN ①  
FOUNDATION

ADDN BACK RECH.

MR. P. D. DEERMAN.  
47 WILMINGTON CRESC.  
CH - CH 6.

FLOOR AND FOUNDATIONS.

SOLID CONCRETE SLAB 16" x 7'0" x 8'0"  
CONTAINING EXISTING STEPS. 4 1/2" RODS STEEL MESH & STIRRUPS.

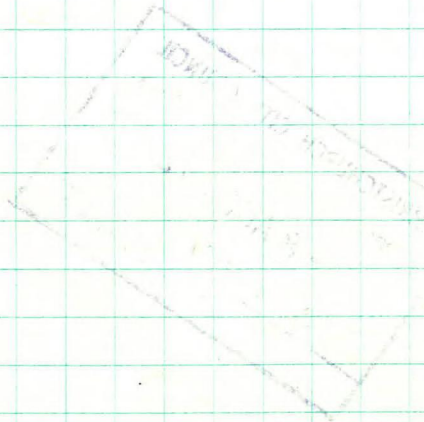
WALLS.

SOMMERHILL STONE VENEER, TIMBER FRAME 4" x 2"  
DOOR & WINDOW. 6'8" STUD. GIB BOARD LINING.

ROOF.

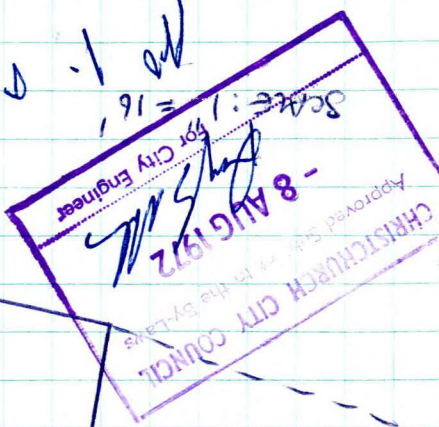
IRON LEAV - TO ROOF WITH SPOUTING  
TO STORMWATER. UNDER EXISTING EAVES.

[No PLUMBING,  ETC.]  
SEWER.

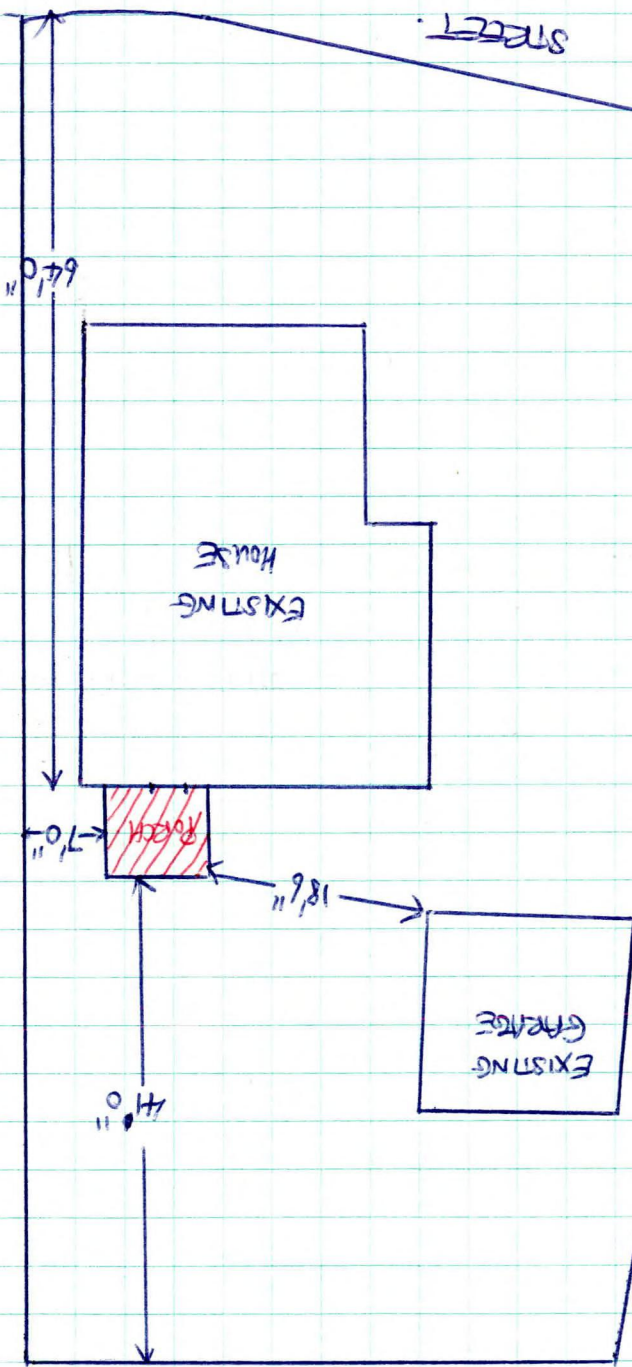




No 1. 04



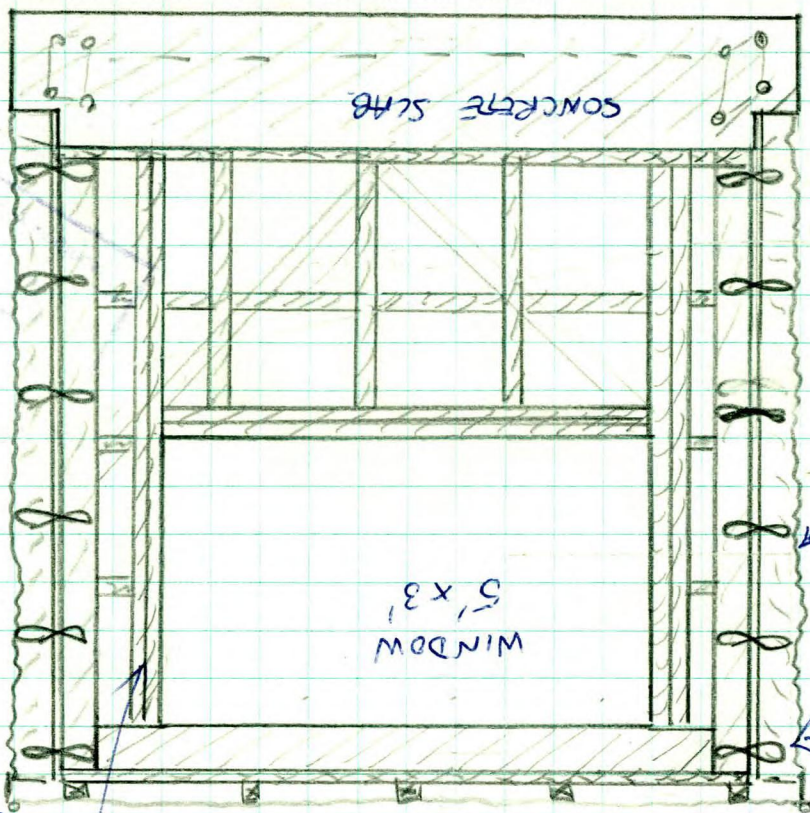
STREET



MR. R. D. DEPRHAM  
477 TROUSHAM CRES  
CH-CH6

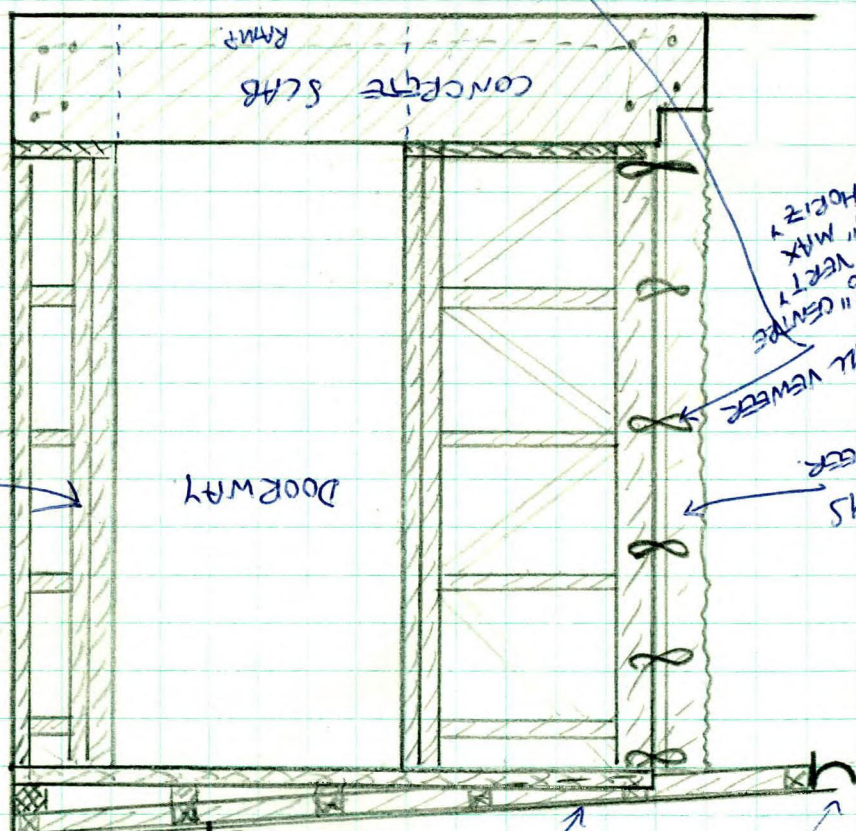
ADDN - BAYE POREN

SITE PLAN (2)



SHS VENER

SIDE ELEVATION



WALL VENER  
16" CENTER  
20" MAX  
HORIZ

SHS VENER

4" x 2" TIMBER FRAME  
6' 8" STD

EXISTING HOUSE

IRON LANTERN  
ROOF HANGER EXISTING  
EAVES

SPROUTING TO EXISTING  
STORMWATER DRAIN

FRONT ELEVATION

①

②

# Christchurch City Council

City Engineer's Department

P.O. Box 237

Christchurch, 1

Mr R. Derham,  
#7 Treusham Cres.

7/8

1972

Dear Sir/Madam,

Further to your application for permission to erect a porch  
addition at #7 Treusham Cres.

your attention is drawn to the Drainage Board requirements as shown on the plan.

Your faithfully,

J. L. Saunders  
for CITY ENGINEER

DEPT.	APPLICATION NO.	PERMIT NO.	Initial
TOWN PLANNING	Zoning		
	Siting (ordinances)		
	Coverage		
	Density		
	Height		
	Outbuildings (height area)		
	Signs		
SURVEYOR	Building Restrictions		
	C.D.B. Widening		
	C.D.B. Clearance		
	Cash in lieu of Reserve		
	D.P. or Title Amalgamation		
TRAFFIC ENGINEERS	Access		
	Off Street Loading		
	Off Street Parking		
	Turning Space		
	Motorway		
	Street Works		
DISTRICT ENGINEERS	Vehicle Barriers		
	Sealing of Areas		
	Location of Gully Traps etc.		
	Culverts and Accesses		
	Drainage		
BUILDING INSPECTORS	Fire Zone and Resistance		
	Siting (By laws)		
	Light and Ventilation		
	Room Sizes and Stud Ht.		
	Heating and Storage		
	Toilet and Laundry Accommod.		
	Mezzanine Floors		
	Storm Water and Section Levels		
	Entrance Levels		
	Projections over Street		
	Verandahs		
	Hoardings		
	Street Numbers		
STRUCTURAL ENGINEERS	Fire Resistance Requ.		
	Projections over Street		
	Structural Stability		
EGRESS OFFICER	Egress and Exit Signs		
	Fire Fighting Equipment		
	Alarm Systems		
	Emergency Lighting		
	Fire Stops		
	Wall Linings		
HEALTH INSPECTORS			
DANGEROUS GOODS INSPECTORS			
WATER INSPECTOR			

*JIS*

Handwritten signature in blue ink, possibly reading "E. J. [unclear]".

Handwritten signature in blue ink, possibly reading "A. J. [unclear]".

47

FRENCHAM

(L)

CRS

B7/7

A211, BU/1/2

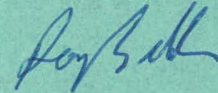
27th January, 1971.

The Manager,  
Malloch Holland Ltd.,  
5 Springs Road,  
CHRISTCHURCH, 4.

Dear Sir,

Further to your application for permission to erect a garage at 47 Frensham Crescent, I have to advise a permit is issued subject to a separate application being made for stormwater disposal to boulder pits.

Yours faithfully,



for CITY ENGINEER.

.c. Derham

# TO-DAY'S ENGAGEMENTS

26/1/71

Applic 211  
Subject's

By

a separate application  
be made for stormwater  
disposal to boulder pits.



# SATURDAY

MARCH

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

# 10

MAY

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

# APRIL 1965

Sun.	Mon.	Tues.	Wed.	Thur.	Fri.	Sat.
..	..	..	..	1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	..

13H



DEPT	APPLICATION NO. <i>211</i>	PERMIT NO.	Initial
TOWN PLANNING	Zoning		
	Siting (ordinances)		
	Coverage		
	Density		
	Height		
	Outbuildings (height area)		
	Signs		
SURVEYOR	Building Restrictions		
	C.D.B. Widening		
	C.D.B. Clearance		<i>26-1-71 ABC</i>
	Cash in lieu of Reserve		
	D.P. or Title Amalgamation		
TRAFFIC ENGINEERS	Access		
	Off Street Loading		
	Off Street Parking		
	Turning Space		
	Motorway		
	Street Works		
DISTRICT ENGINEERS	Vehicle Barriers		
	Sealing of Areas		
	Location of Gully Traps etc.	<i>installed</i>	<i>Yes</i>
	Culverts and Accesses		
	Drainage		
BUILDING INSPECTORS	Fire Zone and Resistance		
	Siting (By laws)		
	Light and Ventilation		
	Room Sizes and Stud Ht.		
	Heating and Storage		
	Toilet and Laundry Accommod.		
	Mezzanine Floors		
	Storm Water and Section Levels		
	Entrance Levels		
	Projections over Street		
	Verandahs		
	Hoardings		
	Street Numbers		
STRUCTURAL ENGINEERS	Fire Resistance Requ.		
	Projections over Street		
	Structural Stability		
EGRESS OFFICER	Egress and Exit Signs		
	Fire Fighting Equipment		
	Alarm Systems		
	Emergency Lighting		
	Fire Stops		
	Wall Linings		
HEALTH INSPECTORS			
DANGEROUS GOODS INSPECTORS			
WATER INSPECTOR			

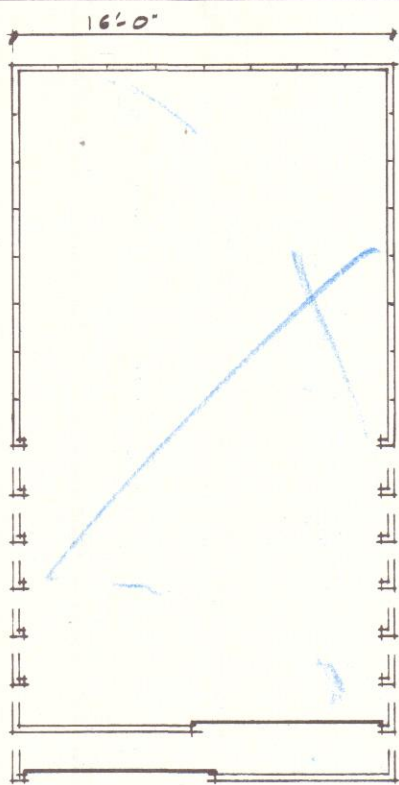
3-18-18

CHRISTCHURCH
BLOCK PLAN <u>Wool 53.</u>
SECT. LEV. _____
GENERAL _____
DRAINAGE BOARD

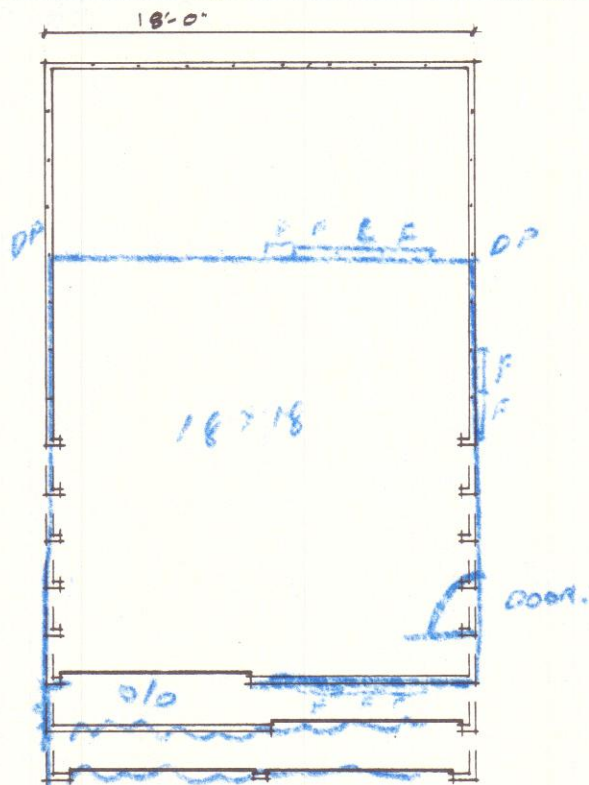
CCC 211  
M. R. D. Geo Law  
47 Founslow Cres.  
Lot 42.  
Garage.

Sanitary sewer not  
involved.

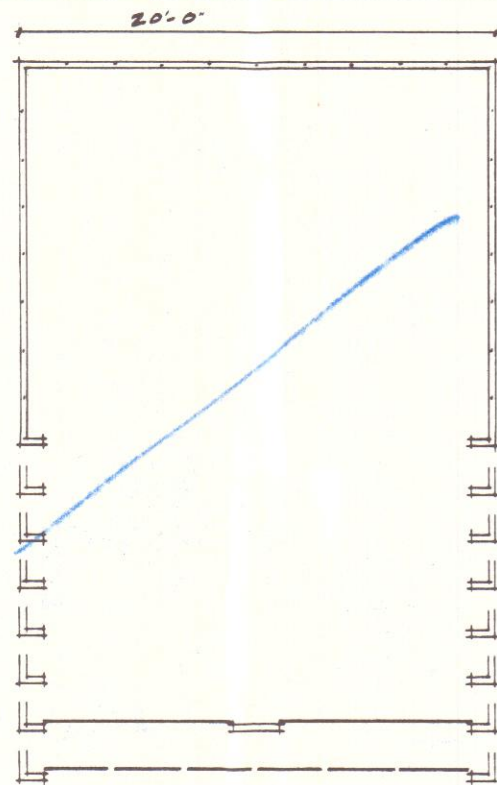
H. Connor.  
26-1-71



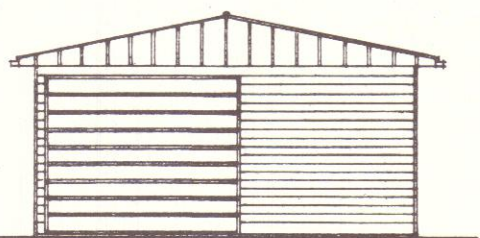
PLAN 1/8" = 1'-0"



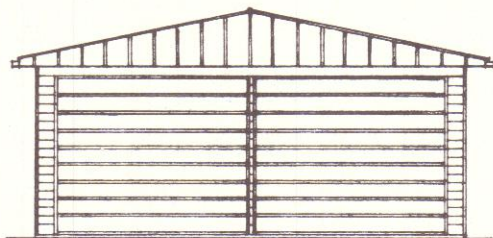
PLAN 1/8" = 1'-0"



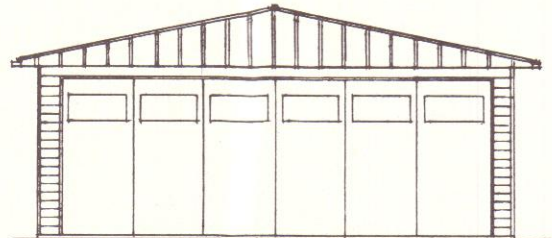
PLAN 1/8" = 1'-0"



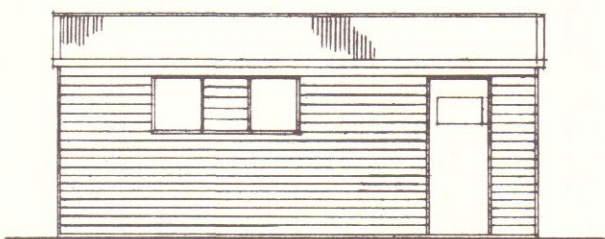
ELEVATION



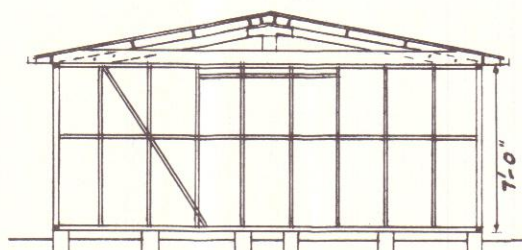
ELEVATION



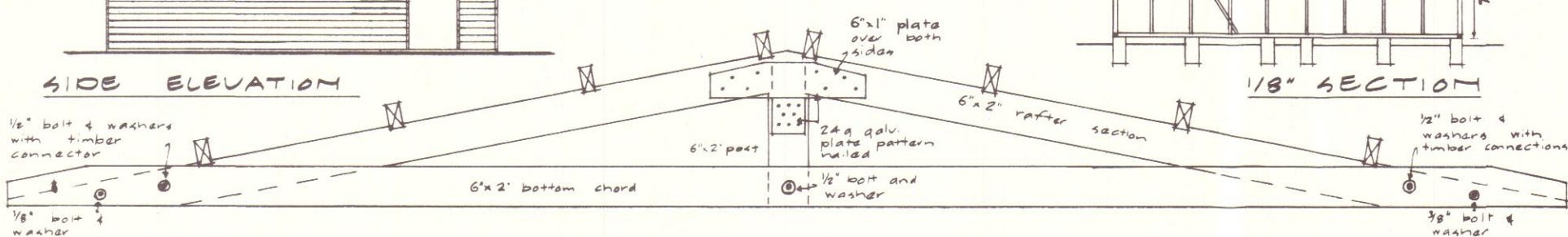
ELEVATION



SIDE ELEVATION



1/8" SECTION



Detail of 20'-0" span truss scale: 1/2" = 1'-0"  
 Trusses for 18'-0" and 16'-0" exactly the same but scaled down to suit. When light metal lined door sections hung on rollers are used for 17' and 18' door openings in double garages, the gable end is formed with a similar truss and completely metal lined.

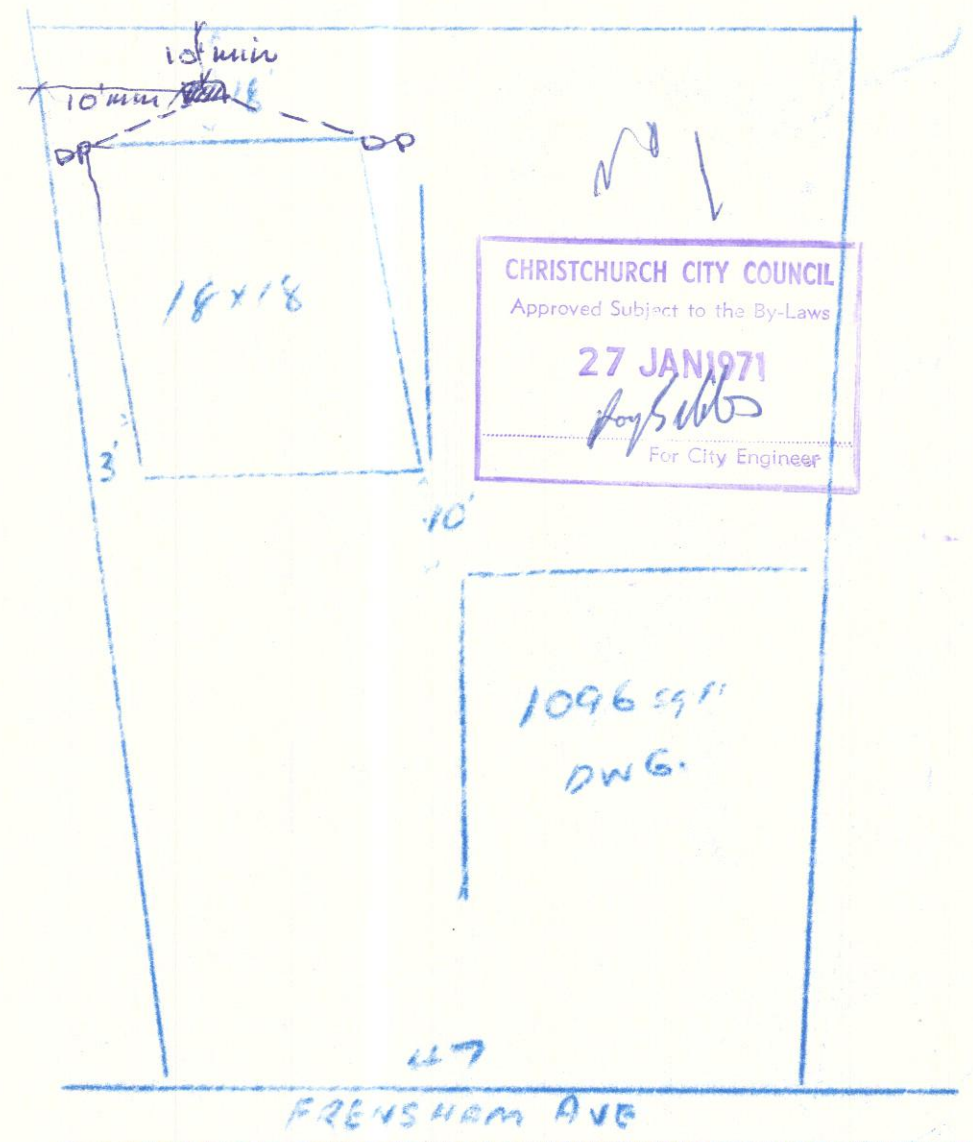
- SPECIFICATIONS:**
- Foundations:** 8" x 6" concrete piles at 4'-0" & 8'-0" centres under studs or continuous concrete dwarf walls or pads
  - Clampcourse:** 2 ply maithoid under all plates
  - Framing:** All timber is boris treated machine gauged No 1 framing radiata. All framing is housed i.e. studs checked into plates & nodes checked into studs. Studs at 2'-0" centres top and bottom plates and noggs - 4" x 2" 3" x 2" cut on edge at least one to each bay with 2 to bays over 20'-0".
  - Wall braces:** Minimum 6" x 2" with minimum of 1/2" check in at each end. Roof trusses and purlins as per detail drawing placed over studs at 6'-0" and 8'-0" centres to suit.
  - Roofing:** 26 g. galv. corr. iron single sheets
  - Ridaina:** 26 g. galv. lead edged
  - Walls:** 26 g. galv. metal weatherboards
  - Spearing:** 4" galv. iron
  - Downpipes:** 2" galv. iron
  - Doors:** Sliding doors on track gal metal lined. 24 g & 26 g. galv. metal doors on overhead gear galv. roller doors.

GARAGE, SHED at 47 FRENHAM AVE for MR R.D. DERHAM

# SKYLINE GARAGES

manufactured by Skyline Buildings Ltd.,  
 64 A Walla Rd., Penrose. Auckland. Ph. 598 821

OWNER TO SUPPLY DRAINS  
 TO SIDE CHANNEL OR SOAK PIT.



CHRISTCHURCH CITY COUNCIL  
 Approved Subject to the By-Laws  
 27 JAN 1971  
 For City Engineer

site plan 1/16" = 1'-0"

B7/7

A414, BU/1/2

24th June, 1970.

Mr. K. Whittaker,  
P.O. Box 1959,  
CHRISTCHURCH.

Dear Sir,

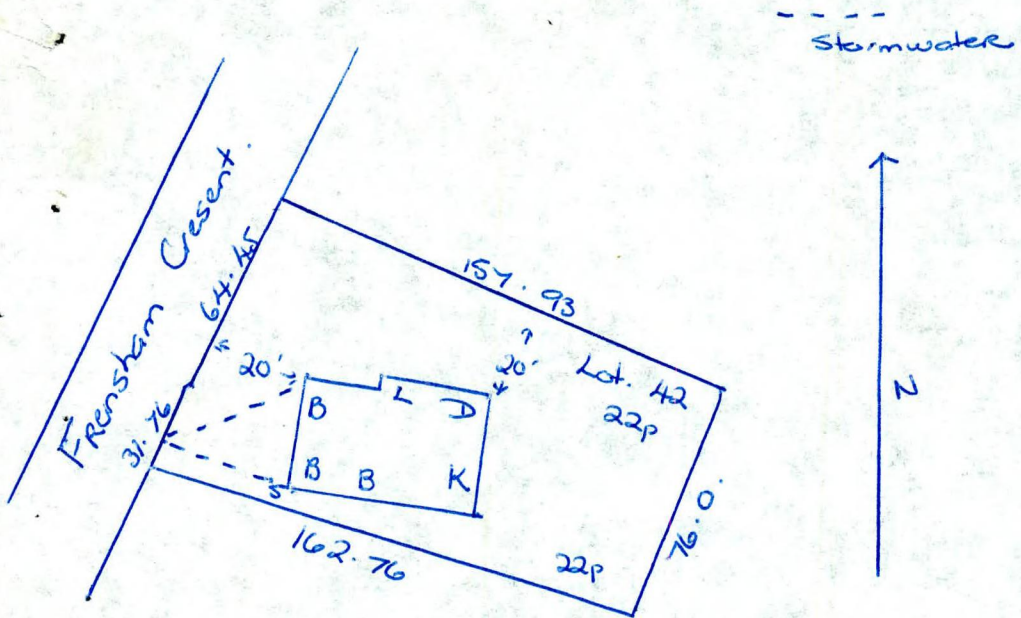
Further to your application for permission to erect a dwelling at 47 Frensham Crescent, I have to advise a permit is issued subject to:-

1. The foundation being taken down to a solid bearing and reinforced in compliance with the appropriate detail on attached sheet of structural details.
2. Satisfactory under floor ventilation being provided. This may be achieved by the sleeper plate being kept  $1\frac{1}{2}$  inches minimum clear of the foundation. (See sectional details).
3. The structural amendment as noted on plan.

Yours faithfully,

for CITY ENGINEER.

c.c. Mr. R.D. Derham.



Site plan for Mr. Mrs.

R. D. Derham

Lot 42 Frensham Crescent.

Plan of subdivision of Lot 1 DP 274727

R.S. 42.

CHRISTCHURCH CITY COUNCIL  
 Approved Subject to the By-Laws  
**25 JUN 1970**  
*Mr. Parnes*  
 For City Engineer

SPECIFICATION

of work to be done and materials to be used in the  
erection of the proposed new dwelling for -

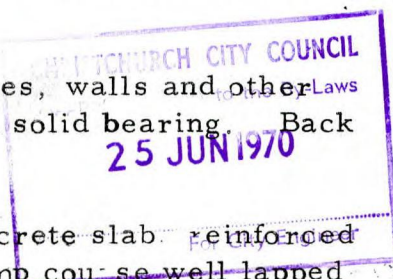
MR. & MRS. R. D. Derham

at - Lot. 42 Frensham Crescent.

CONTRACT PRICE OF HOUSE: \$ 7070

GENERAL: This contract comprises in general, the erection of a residence in accordance with this Specification and the plans herewith, based on State Advances requirements, and should comply with same in all respects.

1. PLANS: Plans, and where applicable, the State Advances Corporation Summary of Specifications, relating to the dwelling, are to take precedence over this specification, in the event of there being any conflict or ambiguity between the plans and the Specification, which is intended to be of general nature and covering items relative to the construction of all the Contractor's houses. (e.g. if an incinerator is not shown on the plan, then it is not included in the contract price, despite any reference the Specification may make to incinerators in general.) The Contractor reserves the right to make small alterations to window frames and other joinery items to conform with the Standard construction procedure of the joinery manufacturer, provided that the same shall at all times comply with the State Advances Corporation requirements.
2. AVAILABILITY: The materials specified are subject to availability, and the Contractor reserves the right to use such alterations as may be necessary.
3. VARIATIONS: Any variations in materials or finish, from that specified hereunder, shall be listed and signed by both parties and such list be read as part of the signed contract.
4. BY-LAWS & PERMITS: The Contractor shall give all usual notices to local authorities, arrange for the inspection and testing of all work, apply for and pay for building permits, and comply with the requirements of all local body by-laws, pay charges in connection with footpaths, drainage and water connections, any charges for use of water in connection with the construction of building etc. Provide everything necessary for the proper and efficient execution and completion of the work.
5. REFER PLAN: Fixtures or components provided where included in the plans herewith.
6. MAINTENANCE: All workmanship and materials not in accordance with the plan and specification made good, or replacement where notified to the Contractor, within thirty-one days from the date of occupation of the house.
7. INSURANCE: Employee accident insurance and fire cover insurance and public liability policy held by the Contractor for the duration of the work.
8. GENERAL EXCAVATION: Excavate for all piles, walls and other foundations as shown on the drawings, to a good solid bearing. Back fill all excavations.
9. CONCRETE FLOORS: Will consist of a 4" concrete slab reinforced with H.R.C. 665 mesh and laid on Polythene damp course well lapped and taped over 6" of hard fill. Floors shall be well floated off and left smooth to take floor coverings.



**CONCRETOR.**

10. **FOUNDATIONS:** Foundations shall be continuous concret wall. All concrete to be composed of six parts of premix to one part of cement, and reinforced with three continuous  $\frac{1}{2}$ " m.s. rods; or certified concrete of 1800lb. strength at 30days, also reinforced with three continuous  $\frac{1}{2}$ " m.s. rods.

**CARPENTER**

11. **TIMBER:** All timber up to and including flooring and exterior timber, shall be heart quality or treated by an approved process. All timbers shall be graded according to N. Z. S. S. All joinery and dressing timbers shall be dry. Prime all external timbers before fixing.
12. **TREATMENT:** Method and standard treatment to requirements of the Timber Preservation Authority of N. Z. All processed timber branded registration number or code name. Boron treatment diffusion process .2lb retention, Boliden treatment oressure .12lb retention.
13. **SCHEDULE OF TIMBERS:**

<u>Designation.</u>	<u>Size.</u>	<u>Quality</u>
Sleeper Plates	4 x 3	B. A . H. Rimu or Treated Pine
Floor Joists	4 x 2	B. A. H. Rimu or Treated Pine
Wall Plates	4 x 2	B. A. Rimu or Treated Pine
Opening Studs	4 x 3	" " " "
Studs	4 x 2	" " " "
Rafters	4 x 2	" " " "
Nogging	3 or 2 x 2	" " " "
Purlins	3 x $1\frac{1}{2}$	" " " "
Ridges, Valleys etc.	8 x 1	" " " "
Ceiling Joists	4 x 2	" " " "

Any alternative timbers may be used with State Advances approval.

14. **DAMP COURSE:** Fix 3ply damp course between concrete and all wood work.
15. **FRAMING:** Frame floors with 4 x 3 sleepers set on edges at not more than 4'6" centres, and secured to foundations with wires. Floor joists to be set at 18" centres. Frame walls with plates scarfed at intersection studs at 18" centres, checked into plates, with diagonal braces cut into framing, and three rows of dwangs. Frame ceiling with joists at 18" centres and 8 x 1 runners. Frame tile roofs with rafters at 18" centres and 2 x 1 tile battens, 8 x 1 hip ridge and valley boards,  $\frac{3}{4}$ " gutter board. Frame corrugated iron roofs with rafters at 3ft centres, purlins at 2'6" centres. Sloping ceinlings, where indicated on the plans, shall be constructed in accordance with local by-laws.
16. **WEATHER BOARDS:** Cover all exterior walls with 6 x  $\frac{1}{8}$ " bevel back D. A. H. or treated Rimu with butt joints staggered.
17. **FLOORING:** Lay 3", 4" or 5" x  $\frac{1}{8}$ " T. & G. D. A. H. or treated Rimu flooring, close cramped, double nailed and machine snaded at completion.
18. **LININGS:** All rooms are to be lined with  $\frac{3}{8}$ " thick Gibraltar Board. All Gibraltar Board to be stopped and left ready to receive paper.
19. **INTERIOR FINISHINGS:** Fix 3 x  $\frac{1}{8}$ " architraves and skirting to all rooms. Fix  $\frac{1}{8}$ " full length sill boards to all windows. Form man-holes in ceiling and to sub-floor space.

20. HARDWARE:

Front Entrance Door	-	Night Latch and Handle.
Back Entrance Door	-	Mortice Lock Set.
Laundry Door (If ext.)	-	C.P. Mortice Lock Set
if int.	-	Snib Set.
Interior doors	-	Mortice Latch Sets
Cup. & Shaving Cab.	-	Handle & Gripper Catch
Drawers	-	Handle
Wardrobe doors	-	Handle & Gripper catch
Cylinder cupboard	-	Handle & Gripper catch
Side hung Sashes	-	A.C. Casement Stays
Top hung Sashes	-	A.C. Fan Stays or Quadrants.

Hardware not specified as being A.C. will be C.P. if available otherwise A.C. Total price cost allowed in respect of the above items is £20.0.0.

JOINER

21. WINDOWS: Provide and fix windows as shown on the plan, with D.A.H. Rimu frames and sashes out of 2" Cedar. 3" butts to be used for hinged sashes.
22. DOORS: Exterior doors shall be 6'6" x 2'8" x 1 $\frac{3}{4}$ " Cedar casement, glazed in obscure glass and hung with 1 $\frac{1}{2}$  pairs of 3 $\frac{1}{2}$ " butts, in 2" solid rebated frames. Front door shall be 6'6" x 2'10". Laundry door and Toilet door to be 6'6" x 2'2" ledged type. Each internal door shall be stock flush hollow core, hung with one and a half pairs of 3 $\frac{1}{2}$ " B.S. Butts, in 1 $\frac{1}{2}$ " jamb lining.
23. KITCHEN FITTINGS: Refer Plan. To be constructed where shown on plan. All carcasses and shelves to be ex 1" material, and all cupboard doors in Kitchen units to be hard board. Sink bench top to be 5'6" Formica or Laminex with Stainless Steel Bowl, and 6" upstand. Bottom dresser unit to have four drawers and tray space.
24. WARDROBES: Fronts to be built to all robes as shown on plan. Provide shelf and hanging rail in each.

ROOFING

25. GENERAL: Fix roofs as shown on plan. All roofs shall be fixed by an approved specialist roofing contractor. Procure roofing contractor's two year guarantee, where tile are used. Pitch of roof shall be as indicated with minimum of 30° for tiles and 15° for corrugated iron roofs. Leave roof watertight.
26. TILE ROOFS: Fix tile roofs with main slope set out in complete courses, with not less than 2 $\frac{1}{2}$ " end lap, and in straight lines. All concrete tiles shall be in accordance with N.Z.S.S. No. 795, in colours to be selected by the Owner. Fix 2 x 1 B.A.H. or pressure treated Rimu tile battens with 2 $\frac{1}{4}$ " nails. Adjacent tiles shall interlock without irregular cavities between them. All verge tiles (or alternate verge tiles with bonded tiles) shall be full tiles. No cut tiles shall be less than half a tile and all tiles at valleys shall be cut to alignment and bedded in comp. Wire each alternate tile in every course with hard drawn 18s.w.g. wire. Fix scribes at verges and secure all end ridge tiles and all verge tiles with galv. spring head nails and felt washers dipped in bitumen. All hip and ridge tiles shall be bedded with two to one screened sand, cement and lime mortar, and pointed to match tile colour, with coloured cement.



27. GALVANISED IRON ROOFS: Fix 26 gauge G. C. Iron roofing complete with all ridges, hips and valleys, 6" end laps and  $1\frac{1}{2}$ " corrugation side laps. Paint all laps before fixing roof, with lead headed nails. Fix 18" lead edged ridging, beaten well down into corrugations, with 6" end laps. Leave roof watertight.

PLUMBER

28. GENERAL: All work shall be carried out in accordance with the drawings, specification, local authority and public health regulations. All materials shall be the best of its respective kind, approved N. Z. Manufactured materials are to be used wherever possible. Water pipes and tubes shall be set in straight runs of even gradients, avoiding all places where air-locks are likely to occur.
29. FLASHING: All flashings shall accurately fit the work and be machine bent, with all joints well lapped. Fix 3lb lead caps at each apex of galvanised iron roofs. Flash all vents, chimneys and other upstands through roof. Line all valleys with 24 g. galvanised iron. Valleys shall be no less than 15" wide, with turned edges, 6" end laps, finished well down into the spouting.
30. SPOUTING & DRAINPIPES: Fix 5" x 24 gauge quarter round galv. iron spouting to drain outlets, with 4" lapped soldered joints and all necessary sep end, mitred returns and outlets. Support on 1" x 8 galv. double clipped brackets at not less than 3ft centres, fixed with 1" x 8 galv. screws. Downpipes shall be 2 $\frac{1}{2}$ " diam. 24 g. galv. iron seamed and welded with slipped joints and angles, strapped to walls with 24 g. corrugated iron strap, fixed with galv. screws.
31. WASTES. All wastes shall be either copper, screwed galv. iron or lead pipes of  $1\frac{1}{2}$ " diam. lead traps and cleaning eyes.
32. COLD WATER SUPPLY: Lay cold water supply from supply joint in  $\frac{3}{4}$ " diam. galv. pipe, buried not less than 18", with screwed joints. Fix  $\frac{1}{2}$ " service pipes inside house to bath, basin, sink, supply tank, washtub, toilet and to two exterior hoses taps at front and rear of house.
33. HOT WATER SUPPLY: Fix 15 gallon supply tank in roof, with tray cover, overflow and ball stopcock, or approved pressure valve, provide and fix 30 gallon lagged electric hot water cylinder with expansion pipe not less than 2ft above supply tank,  $\frac{1}{2}$ " diam. sludge pipe through external wall, and  $\frac{3}{4}$ " branch to bath with  $\frac{1}{2}$ " branches to basin, sink, tub and position suitable for washing machine.
34. INCINERATOR: Refer Plan. If included, connect cylinder to incinerator supplied by Contractor.
35. TAPS: All taps to be C. P. brass stream-lined pattern, marked "Hot" and "Col", with  $\frac{3}{4}$ " extended bibs to bath,  $\frac{1}{2}$ " pillar-cocks to basin,  $\frac{1}{2}$ " cocks with 3" extension to sink,  $\frac{1}{2}$ " brass bibcock over tub and washing machine position,  $\frac{1}{2}$ " stop cock to Toilet and  $\frac{1}{2}$ " brass hoses taps.
35. SANITARY FITTINGS: Fix 5'6" cast iron porcelain or pressed steel, enamelled white, standard square type bath, 22" x 16" porcelain basin complete with cast iron cantilever brackets, single concrete tub, and kitchen sink, both units supplied by the Contractor. Fit all plugs, C. P. Chains and gratings to all fittings, Fix white glazed earthen ware W. C. pan and flushing cistern if in sewer or septic tank area. In non-sewered areas a chemical toilet unit will be supplied by the Contractor.

ELECTRICIAN.

37. GENERAL. All installations shall be made in accordance with the Wiring Regulations 1935, and to the satisfaction of the local authority. All switches shall be flush type.
38. SWITCH BOARD: Fix switch board where directed, complete with mains and all necessary fittings.
39. LIGHTS: Refer to Plan. Provide light points complete with lamps and shades as shown on plans, and provide 100 watt lamp in Lounge and 60 watt lamps in all other rooms.
40. POWER POINTS: Provide 6 power points, as shown on plan, 4ft above floor in Kitchen, and 12" above floor elsewhere.
41. HOT WATER: Provide and connect element and thermostat to hot water cylinder.
42. ELECTRIC RANGE: A.P.C. SUM of £50. 0.0. is allowed for an Electric Range to be chosen by the Owner and supplied by the Contractor.

VENEER CONSTRUCTION

43. BRICK VENEER: To be built as indicated on the plans, with bonds not more than 3" thick, and well finished with mortar. All walls to have wire ties built in and secured to studs with staples, clean down all exposed brickwork during construction, and at completion wash down with weak solution of acid. Rake out and point all joints. Form sills with sill bricks. Where brick chimneys are built in wetherboard houses, the portion above the roof shall be first grade bricks, all pointed.
44. BRICK CHIMNEYS AND FIREPLACES: Chimney to be precast concrete or Brick, set on concrete foundations. P.C. Sum £25.0.0. is allowed for Fire surround in Lounge and P.C. Sum of £12.10.0. for surround in dinette, if applicable. A chrome plated ash-pan will be supplied by the Contractor. Incinerator, if included, to be set on concrete block, with 2" concrete or approved fire proofing back and side where necessary.
45. BLOCK VENEER: To be 4" veneer, set on mortar with wire ties as for brickwork. Sill to be concrete sill blocks. All work to be laid plumb and true.

PLASTERER.

46. Plaster precast chimneys and Blockwork in the following manner - Slush coat to be applied and left to dry before  $\frac{1}{2}$ " 3:1 cement comp. coat is applied. The pattern is then applied, followed by 2 coats of "Snowcem" or other approved colouring. Colour selected by Owner. All steps, front porches, foundations and incinerator surrounds and hearth to be cement rendered. Vent to be supplied and fixed.

DRAINLAYER.

47. GENERAL: The whole of the drainage work shall be carried out in accordance with the by-laws of the local authority. All trenches to be excavated not less than 18" below ground level and back filled loose overlay.
48. SEWERAGE: Connection from terminal vent and sanitary fittings, to local authority sewer line, 100ft of 4" glazed earthenware pipes and fittings, trench laid to required gradient. 20ft of 4" field tile. Stormwater to side channels or soakage pits if necessary. Connect vent pipes fixed by Plumber.

I

PAINTER & PAPERHANGER.

- 49. GENERAL: All material shall be the best of its kind and all work shall be performed by Tradesmen. Protect all work against damage and adjacent surfaces to be kept clean. Colours are to be selected by the Owner.
- 50. EXTERIOR WORK: Prime all exterior work with red primer. Stop with first quality putty and apply one undercoat and one finishing coat. Paint all flashings and vent pipes with one coat of ready mixed oxide paint. with choice of up to 3 colours.
- 51. INTERNAL WORK: Kitchen and Bathroom, (Laundry & Toilet) to have lining paper and three coat enamel finish. Owner to have the choice of 4 interior colours. All other rooms to have papers selected by Owner to the value of 11/- per roll, and wood work to be stopped and varnished.

GLAZIER

- 52. Glaze sashes as follows -
 

Up to 3 1/2 sq. ft.	18oz glazing quality
3 1/2 to 12 sq. ft.	24oz. glazing quality
12 to 20 sq. ft.	32oz. glazing quality
Bathroom & Toilet.	Obscure glass.

Glaze front and back doors with obscure glass, fix 18" x 10" sheet mirror to shaving cabinet in Bathroom.

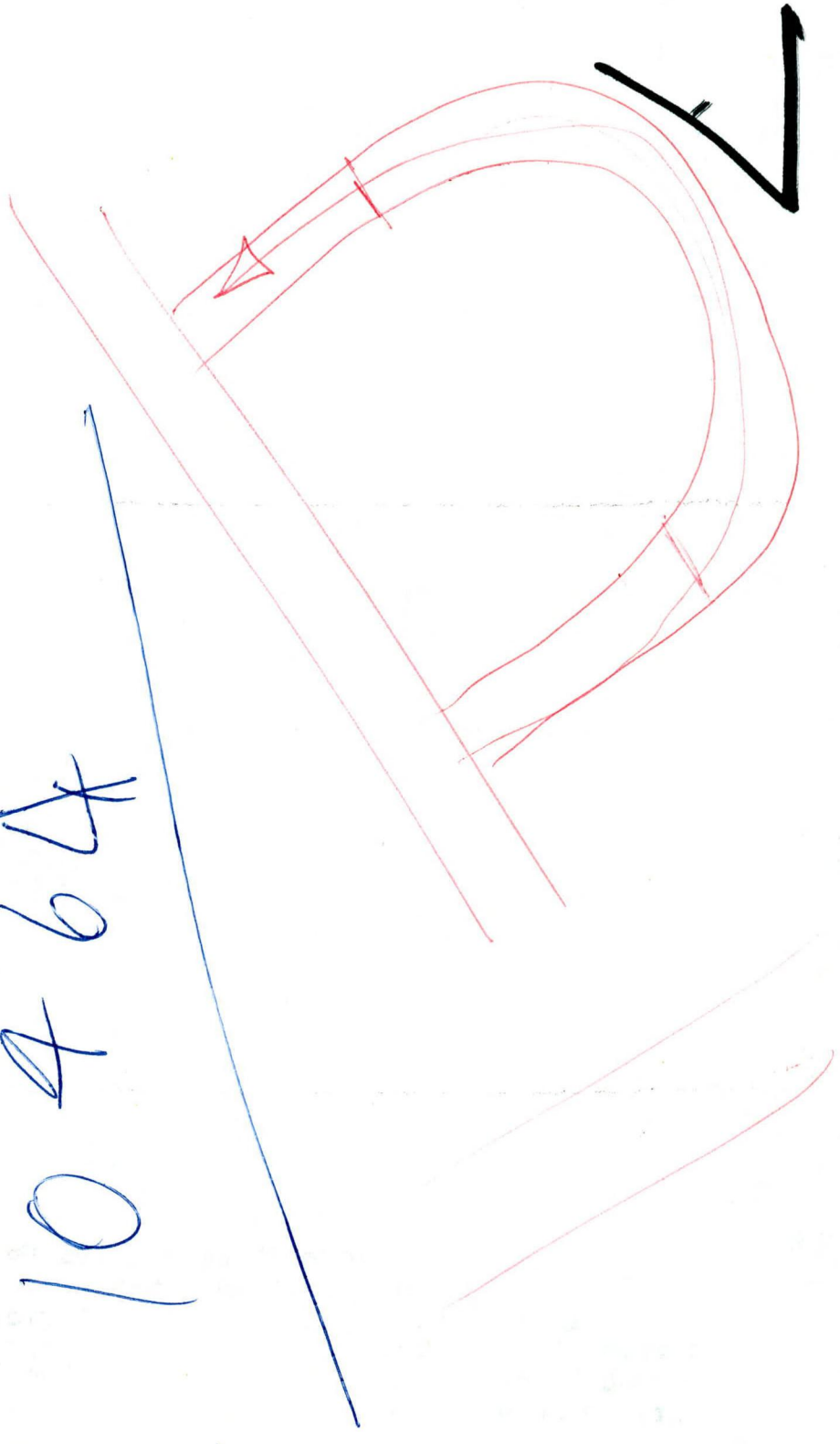
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7

H7  
Frensham Cres.

2. 10464



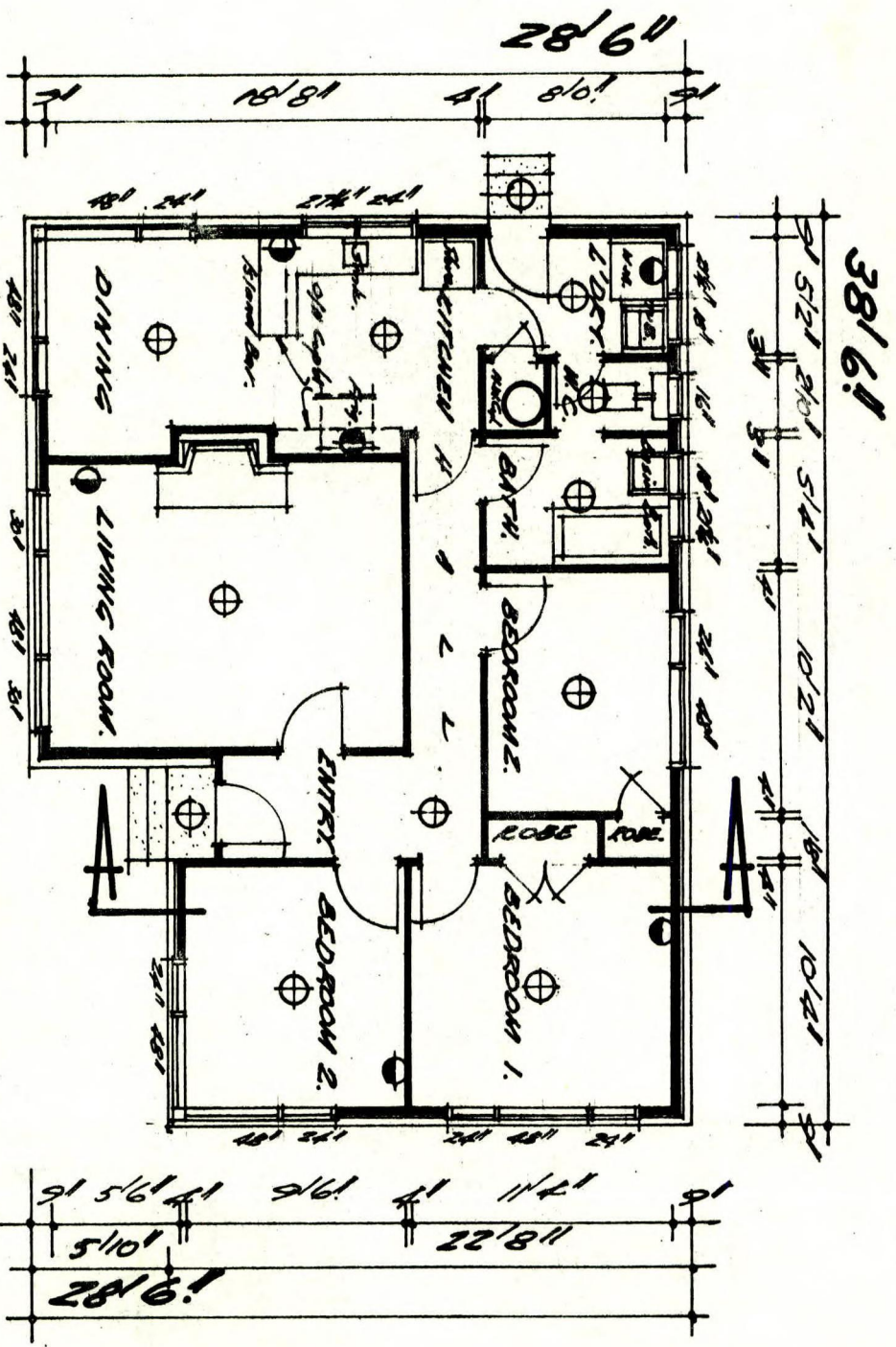
3/15 1.60

CHRISTCHURCH
BLOCK PLAN <u>Wcal 53.</u>
SECT. LEV. _____
GENERAL _____
DRAINAGE BOARD

CCC 414.  
 Mr. R. D. Barber  
 Lot 42. D.P. 24727  
 Franchise bus.  
 dwelling

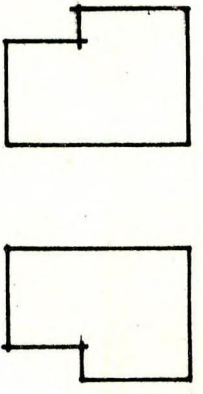
Sanitary sewer available.  
 Plumbing & Drainage to comply  
 with regulations & by laws.

*Almond*  
 22-6-70.



PLAN scale 8 feet to 1 inch.

PROPOSED RESIDENCE FOR Mr. & Mrs. R. D. Derham  
 AT Lot 48 Presham Crescent.



LOT No. D.P.

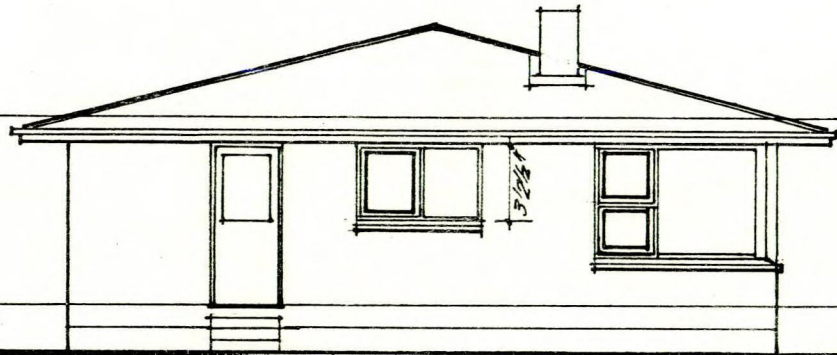
SITE PLAN.

RAYMOND WALLEY  
 Architect/Engineer/Draftsman  
 732 Hobson Street  
 Phone 30827.

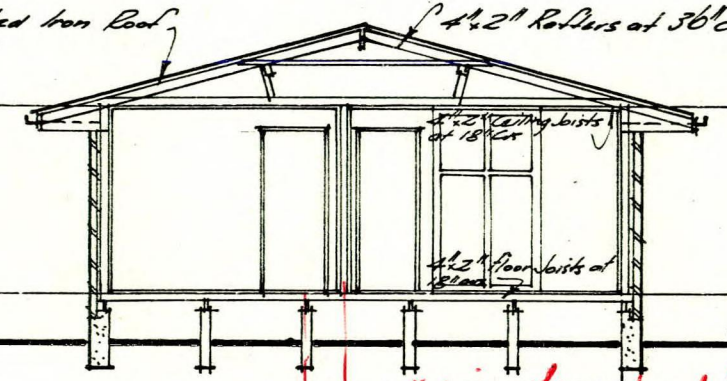
THE SAN FRANCISCO

CHRISTCHURCH CITY COUNCIL  
 Approved Subject to the By-Laws  
 25 JUN 1970  
 R Adams  
 For City Engineer

1, 2, 7, 6 + L



Corrugated Iron Roof



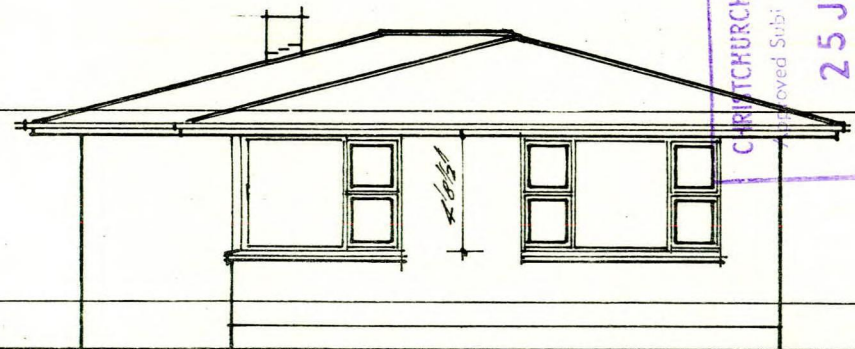
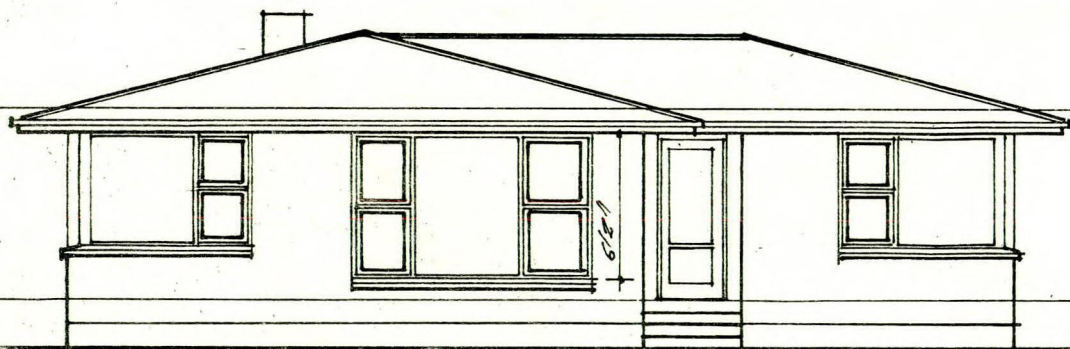
C.L.

F.L.

G.L.

12" min from load bearing wall.

SECTION A-A.



CHRISTCHURCH CITY COUNCIL  
 Approved Subj. to the By-Laws  
 25 JUN 1970  
 R. D. O. am  
 For City Engineer

ELEVATIONS  
 SCALE 8 feet to 1 inch.

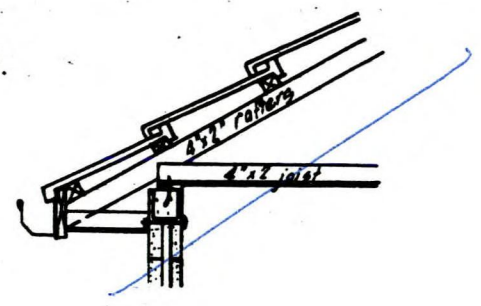
PROPOSED RESIDENCE FOR : Mr. & Mrs. R. D. Derham  
 AT : Lot. 42 Frensham Cresnet.

RAYMOND WALLEN  
 Architectural Draughtsman  
 172 Hereford Street  
 Phone 30847.

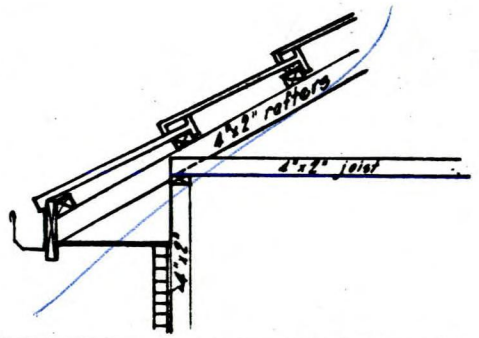
THE  
 SAN FRANCISCO.

DERHAM.

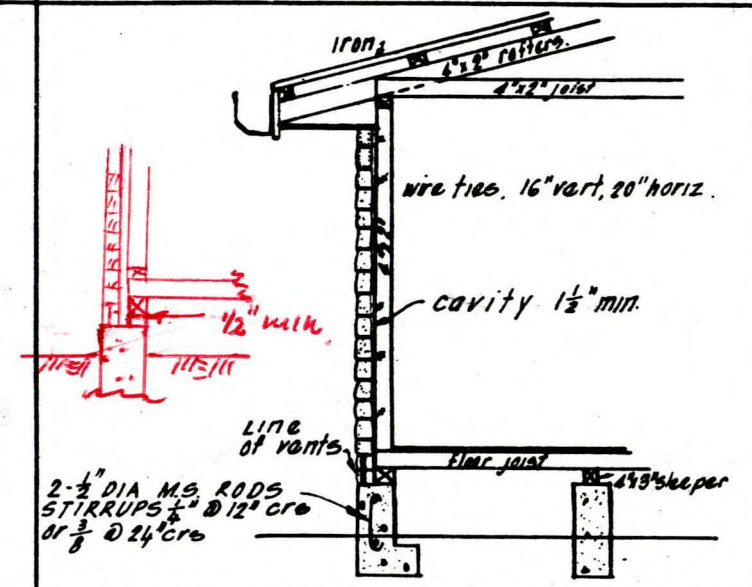
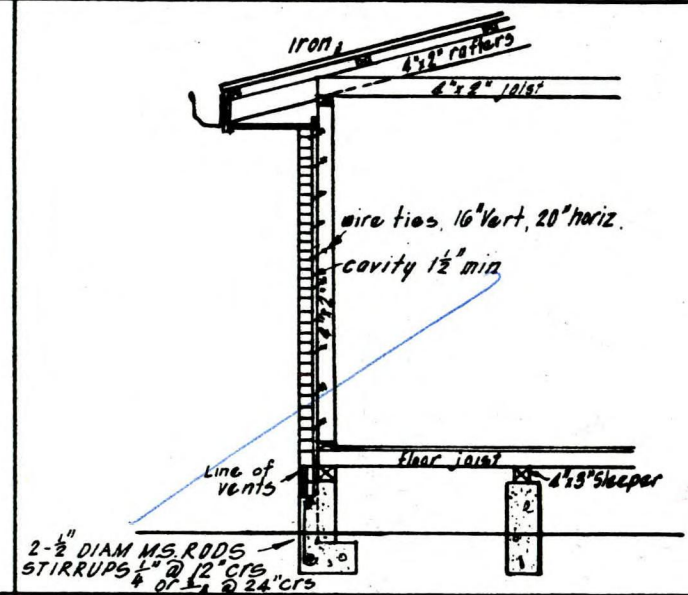
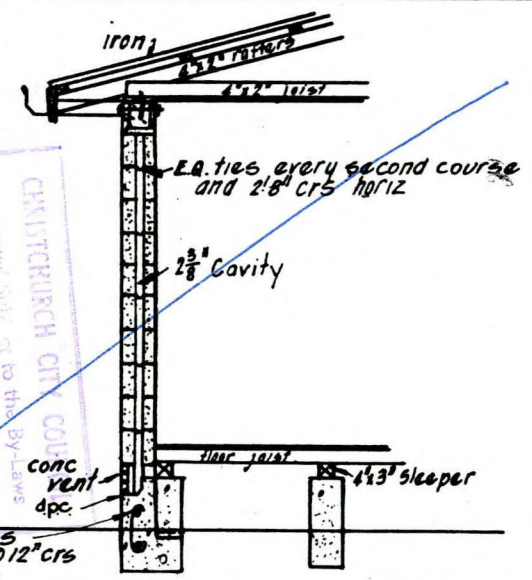
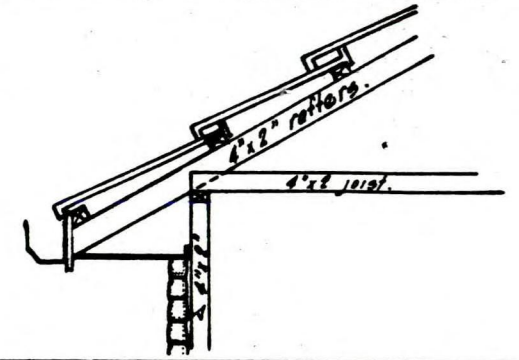
tile.



tile

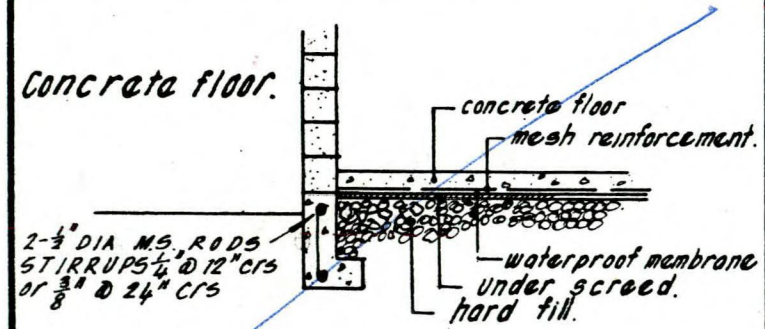


tile.



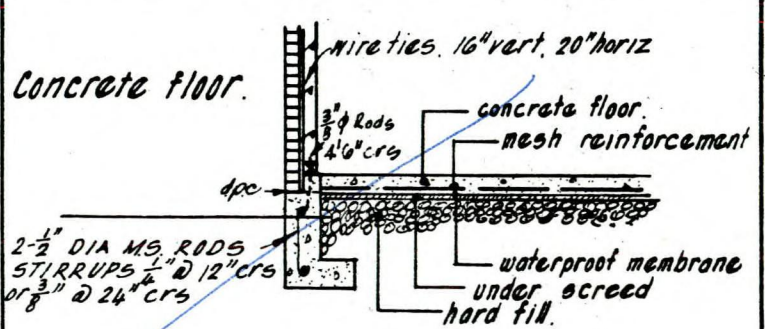
M.D. amc  
For City Engineer  
25 JUN 1970  
CANTONMENT CITY CODE  
Approved with ref to the By-Laws

Concrete floor.



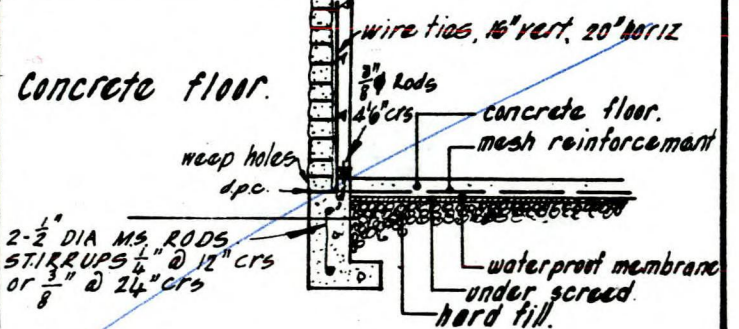
CONCRETE BLOCK:

Concrete floor.



BRICK:

Concrete floor.



VENEER:



The building for which this permit is issued to be commenced within SIX months and completed within  
 ..... 7 ..... months of date of this permit.

A 388

# BUILDING PERMIT

CHRISTCHURCH CITY COUNCIL

CITY ENGINEER'S DEPARTMENT

File Number: Office Use only			
lin	1103	R1	3057
Area	Stat. Dist.	Zone	Consec. No.

BU/40/738/47

Christchurch..... 12/11/198 .....

To..... R.D. Derham,

Address..... 47 Frensham Crescent.

In pursuance of the application for a Permit to ..... Erect second storey and servicing stairwell at  
 ..... 47 Frensham Crescent.

For..... Same  
 of.....

permission is hereby granted to carry out the work as proposed in the application, and in accordance with the plans, particulars and other documents submitted to me, such work to be subject at any time during progress to my inspection, and to be carried out in strict conformity with all requirements of the Christchurch City Building Bylaw and other Bylaws for the time being in force and of all other regulations respectively affecting such work.

I solemnly declare the value of the building to be under \$ 9,200.00 and agree to comply and ensure compliance with all Bylaws and Civic Regulations, it being expressly understood that the issuing of a Permit does not dispense with any obligation to comply with all the said Bylaws and Regulations though not called for in the specification or shown on the plans submitted.

Receipt No. .... 1200 .....

Value of Work ..... \$9,200.00 .....

Value of Fee ..... 70.00 .....

Value of Levy ..... 10.00 .....

.....  
 (For the Deputy General Manager & City Engineer).

Signature..... R.D. Derham  
 (Applicant or Authorised Agent).

## Application and Agreement for Water Supply

In accordance with the requirements of the Christchurch City By-Law No. 107 (Water Supply and Plumbing) I hereby apply for a (metered) water supply to serve the premises the subject of the above building permit and agree to accept a supply in accordance with the requirements and provisions of the Christchurch City By-Law No. 107 (Water Supply and Plumbing).

Signature.....  
 (Consumer or Authorised Agent)

## PARTICULARS OF LAND (for office use only)

Lot No. .... 42 ..... D.P. .... 28054 ..... Title..... Area.....

## PARTICULARS OF BUILDING (for office use only)

(The subject of this building permit)

Foundations..... Walls..... Roof.....

Area of Ground Floor:      New Building ..... m<sup>2</sup>      Addition to Existing Building ..... m<sup>2</sup>

Total Area of New Building ..... m<sup>2</sup>      Total Area of Addition to Existing Building ..... m<sup>2</sup>

Number of Occupied Floors:      Proposed .....      Existing .....

Area of Outbuildings:      New Construction .....      Existing Buildings .....

10 NOV 1981

A. 388

# CHRISTCHURCH CITY COUNCIL

To THE CITY ENGINEER, CHRISTCHURCH OCTOBER 28 1981

Statistics District 1103 Town Planning Zone R/1  
 (Office Use Only) (Office Use Only)

Sir,  
 I/we hereby apply for permission to erect a second storey and servicing stairwell on existing buildings

at No. 47 FRENHAM CRESC. Street 738

For (Owner's Name[s]) RODNEY DOUGLAS DEERHAM

of (Owner's Address) 47 FRENHAM CRESC.

according to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited herewith, in duplicate.

### PARTICULARS OF LAND

Lot No. 42 D.P. 28054 Title..... Area 562 m<sup>2</sup>

### PARTICULARS OF BUILDING

(The subject of this building permit application)

Foundations CONCRETE Walls BLOCK VENEER (GROUND FLOOR) AREAS CLADDING (SECOND STOREY) Roof TILE

Area of Ground Floor: New Building ..... m<sup>2</sup>  
 Addition to Existing Building 30.4 m<sup>2</sup>

Total Area of New Building: ..... m<sup>2</sup>  
 Total Area of Addition to Existing Building: 37.5 m<sup>2</sup>

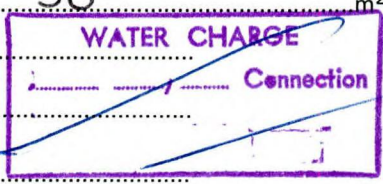
Number of Occupied Floors: Proposed 2  
 Existing 1

Area of Outbuildings: New Construction ..... m<sup>2</sup>  
 Existing Buildings 30 m<sup>2</sup>

Estimated Value \$9,200 \$ 5,000

Proposed use BEDROOM / STUDY

Existing Use (if any) .....



Yours faithfully,

Rodney D. Deham Owner

Rodney D. Deham Builder

Postal Address 47 FRENHAM CRESC. CHCH 6.

Telephone Number 893 215

Return to  
 R. TOMALLEY

OFF.	DES.	SUR.	STR.	EGR.	TP	DRN.	S.W.	T.E.	H.I.	RES.	D.B.I.	C.B.I.
GR		2/11	9/11			W53 3-1-84 4/11 R/1	1/11/87					10/11

# CITY OF CHRISTCHURCH

CITY ENGINEER'S DEPARTMENT  
 P.O. BOX 237, CHRISTCHURCH, NEW ZEALAND

R.D. Derham,

10 November 1981

47 Frensham Crescent,

CHRISTCHURCH.

re Building Application No. 388

BU/40/738/47

B7/7

Mr O'Malley

893-215

Dear Sir/Madam, your application for permission to

Erect second storey and servicing stairwell at 47 Frensham Crescent.

has now been approved. Before work is commenced the undermentioned fees must be paid and a building permit uplifted from this office.

Vehicle Crossing .....	\$
Water Connection Charge .....	
Building Permit Fee .....	70.00
Building Research Levy .....	10.00
Street Damage Deposit .....	10.00
	<hr/>
	90.00

The Building Permit Application is approved subject to the following amendments to your proposal.

1. Compliance with the amendments shown on the plans.
2. The stairs complying with the requirements of By Law 105 Clause 4.27.

If the permit is not uplifted within three months of this date the application will be cancelled and the plans disposed of.

## JOB RECORD SHEET

DATE ITEM

.....	Foundation	.....
.....	Pre-Lining	.....
26/4/82	Final	OK Handrail + Balustrade to be fitted otherwise a good job
.....	General	.....
.....	Yard notified	Plan destroyed

File Number: Office use only		
LIN	1103	Area
.....	81	Zone
.....	3057	Consec. No.