

BUILDING CONSENT / PIM ACTION SHEET / CONSENT NO 98/ _____

Planning Guidance	W/Held	Issue
<p>Log No:</p> <p>Zone: <i>Residential low</i></p> <p>Underlying/Overlay Zone: <i>-</i></p> <p>Activity: <i>Controlled</i></p> <p>Resource Consent: Required/Not Required/Currently being processed/<u>Approved</u></p> <p>Comments: <i>30/1/2025 conditions apply.</i></p>		<p><i>2/4/98</i> <i>Can</i></p>
<p><u>Health</u></p>		<p><i>▲</i></p>
<p><u>Roads & Traffic</u></p>		
<p><u>Water</u></p>		
<p><u>Drainage</u></p>		
<p><u>Plumbing & Drainage</u></p> <p><i>com</i></p> <p><i>16, 17, 18, 19, 20, 21</i></p>		
<p><u>Building</u></p> <p><i>com</i></p> <p><i>1, 2, 3, 4, 5, 6, 7, 9, 13, 15</i></p> <p><i>15e, 15f</i></p>		<p><i>20/4/98</i></p> <p><i>[Signature]</i></p>

GILLETT CONSTRUCTION
 1 CHARMATNE CRS
 HAMILTON

20/04/98

98/0739

GILLETT CONSTRUCTION

45 BAVERSTOCK RD

PROJECT INFORMATION	BLDAD992	95.11	11.89	107.00
BUILDING CONSENT	BLDCON991	486.22	60.78	547.00
BRANZ LEVY	BLDLEVY925	120.00	Nil	120.00
MICROFILMING	BLDMIC925	22.22	2.78	25.00
CODE COMPLIANCE CERT	BLDCON995	44.44	5.56	50.00
BUILDING INDUST AUTH	BIALEVY925	78.00	Nil	78.00

BR45

AB.

558316
 21.4.98

845.99 81.01 927.00

927.00

GILLETT CONSTRUCTION - 45 BAVERSTOCK

DP# GILLETT CONSTRUCTION - 45 BA

0133000400000020992 107.00
 0133000100000020991 547.00
 0465000000000020925 120.00
 0134000200000020925 25.00
 0133000100000020995 50.00
 0435100000000020925 78.00

980739

877682

TOTAL: \$927.00
 21-Apr-98 Cash Tendered \$0.00
 Cheque Tendered \$927.00
 Change \$0.00
 DP:26/TT:996

Quality Assurance Checklist For Checking Application (Major Buildings)

(Commercial / Industrial / Dwellings)

Please place a tick in the appropriate box



Application Form

1. All sections completed, including:

- accurate valuations of works
- correct legal description. (refer to your rates demand and/or certificate of title)
- valuation number (see above)
name, address, telephone number, fax (as applicable).
- contact name (address, telephone, fax [if not the owner]).
- project location (street address)
- declaration signed and dated

Yes

Office Use



Note:

**A deposit will be required when you make your application.
Have you taken the opportunity to talk to Town Planning about any
Resource Management issues that may affect your application.**

Plans

2. Two copies of each (for commercial and industrial a third copy included for consultants referral).
Note: If the value of the work exceeds \$100,000, or it involves a first / second floor addition, then an extra copy of the floor plans is required



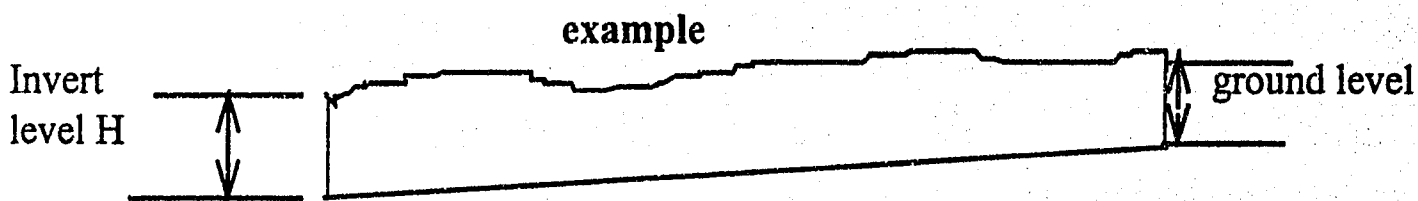
3. Drawings of good quality, to an appropriate scale of 1:100 (detail 1:50) (site plan 1:200) with metric dimensions.



BC1/2k Version 2 02/09/97

Site Plan

- | | | | | |
|----|--|-------------------------------------|--------------------------|-------------------------------------|
| 4. | Show proposed building project, including <u>all</u> existing buildings to a scale 1: 200 100 | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. | All measurements from the boundaries to "nearest parts" of proposed and existing buildings (where applicable) e.g. roof overhang. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 6. | Layout of existing and proposed sanitary and stormwater drains, including public mains, position of connections along boundaries including sanitary sewer and stormwater. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 7. | Invert levels of stormwater and sanitary sewers at connection point of private to public drains and distance from this connection point to the head of the drain. i.e. longitudinal drawing showing the level of the drain in relation to ground levels. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |



- | | | | | |
|-----|---|--------------------------|-------------------------------------|-------------------------------------|
| 8. | Top of any bank shown and slope in relation to building. Distance from top of the bank to the building. Also height of bank. A soils report from a registered engineer may be required. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| 9. | Position, along front boundary and width of proposed vehicle crossing. Also position and width of existing vehicle crossing/s. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| 10. | Carparking and vehicle circulation provisions (where required) drawn to scale. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |

Floor Plan

- | | | | | |
|-----|---|-------------------------------------|--------------------------|-------------------------------------|
| 11. | A floor plan of each floor level, including complete floor layout and use of each section. Floor areas in square metres should be shown on plans. Floor area, overall floor areas and overall roof areas should be dimensioned. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-----|---|-------------------------------------|--------------------------|-------------------------------------|

Elevations

12. An elevation of each external wall showing relevant heights from eaves to finished ground level at each external corner. Also, overall height of building (ground level to apex of roof).

13. Location of wall and roof bracing shown on elevations.

14. Opening window sashes shown on elevation.

Foundation Plans

15. For timber floors, location of piles, pile type and/or subfloor bracing. Foundation walls and internal piling system. For concrete floors refer to cross section.

16. For specifically designed timber floor systems, the engineers pile layout, joist and bearer system including cross sections and pile driving data. (Also refer specific design.)

Cross Section Details

17. Scaled cross section drawings (1:50 or better) through the building to show foundation details, floor system, wall, ceiling and roof construction. Where roof construction is not clear a roof truss/framing plan is needed.

18. Where position of beams, support and connections are not clear then this should be shown on the floor plans with a scale of 1:50 or 1:20 detail of connections.

19. Location and type of wall cladding and roof sheathing, For composite systems such as "Insulclad" this should be designated on cross-section and referenced in specification.

20. Construction details of terraces, steps, stairs (including internal/external) and barriers/balustrades.

Yes N/A Office Use

21. Thermal insulation details including dimensions, type, and R. Value.

Foundation Bracing Calculations

22. Bracing calculations in an approved form such as "BRANZ" sheet and location of bracing elements shown on foundation plan.
Note For one/two room additions the location, type and value of the bracing element will be sufficient.

Fire Wall and Fire Rating Requirements

23. If using Hamilton City Council Standard Design detail, then please sign the detail and include with application.

24. Approved fire rating system details included. e.g. Winstone Standard fire rating system. If specifically designed by an engineer then refer to **Specific Design** section 33 and 34.

25. For commercial and industrial (including retail outlets, offices, etc) a philosophy of design detailing fire safety features and means of egress is to be supplied, including all compliance schedule features together with maintenance and reporting procedures (e.g. fire alarms, detection systems.)

Accessibility for Disabled Persons

26. Details of accessible route from the building fringe to and within the building. This will include: -

- Parking and Signage
- Main Entry
- Passageways/Doorways
- Stairs and Ramps
- Ablution facilities
- Lifts and moving walkways
- Internal Signage

27. For multi level building or residential housing using AS /NZS 3500, isometric drawings of soil and waste system showing positions of all fittings and pipe sizing.

28. Multi level structures may be outside the scope of NZS 3604 design. Refer to the **Specific Design** Sections 32 and 33

Specifications

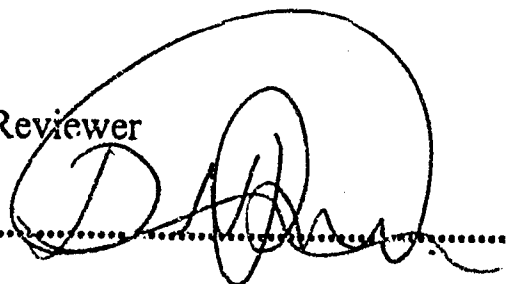
29. The use of "Standard" type specifications is not recommended. The specification should be "Project Specific" i.e. appropriate to the building construction. This should be laid out in easily followed sections covering methods and materials that are not included in the building plans. e.g. Pipe work materials. Don't forget that Standard Specifications are often lengthy when designed to cover a multitude of situations and more paper means more cost to you.

Specific Design

30. We have a "Peer Review" system in place and your engineer may utilise this facility. (Please check with your engineer) You may alternatively provide engineer's Producer Statement (Design), calculations, and letter of observation for checking by Council Engineers. (This would be at cost based on an hourly rate).

31. Engineers drawings in line with the works covered by the design, including foundations, reinforcing, connection details and cross-sections.

Reviewer



Date

9/1/98

Road and Traffic Information

Yes No Office Use

- 32. Do you wish to construct a new crossing?
Residential: minimum 3.0m, maximum 5.5m
Commercial / Industrial: minimum 5.0m, maximum 7.5m
 Yes No Office Use
- 33. Width of new crossingm
Distance from left hand boundary - looking from the roadm
- 34. Have you shown the position and dimension of the new crossing on the site plan? Yes No Office Use
- 35. Have you provided the crossing contractors name, phone number and evidence of Public Liability Insurance? Yes No Office Use

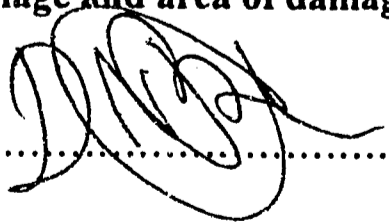
Contractor:
Address:
Ph/Fax:
- 36. Is there a footpath outside the site? Yes No Office Use
- 37. Is the footpath damaged?
Record the area damaged:metres square Yes No Office Use
- 38. Is this project on an arterial route? Yes No Office Use

Please note:

- i. The owner is responsible for the damage to the footpath and verge resulting from building activities and the construction of the street crossing.
- ii. Crossing shall be constructed as per the standards in the Hamilton City Council Code of Practice for Urban Land Development.(A plan for construction details is available)
- iii. The Code Compliance Certificate will not be issued until both footpath and crossing are free of defects and complete.
- iv. 24 hours notice at the completion of excavation, but before the pavement construction, shall be given to the Inspectors (ph. 838 6677 or 838 6444)
- iv. Contractor required to be on site at the time of first inspection.
- v. If footpath damage (6) is marked 'yes' then a council officer will inspect and confirm damage and area of damage before the commencement of construction.

Reviewer

.....



Date

9/1/97

Consent No.....

Street Address.....

Environmental Health Information

Yes N/A Office Use

Please tick the appropriate box

- | | | | |
|---|--------------------------|--------------------------|--------------------------|
| 39. The manufacture, preparation, packing, or storage of food for sale and/or for the sale of food. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 40. The sale or supply of liquor to the public. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 41. The storage of dangerous goods and/or hazardous substances (eg LPG, petrol, gas, paint, chemicals). | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 42. The discharge of contaminants into the air (eg smoke, dust, odour, chemicals) from an industrial or trade premises. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 43. The discharge of noise (including vibration) emitted from sources including electrical appliances, machines etc (eg ventilation system, filtration systems, fans). | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 44. Hairdressing - including the dressing, curling, waving, cleansing, cutting, shaving, trimming, singeing, bleaching, tinting, colouring, or other treatment of the hair or beard of any person. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 45. An offensive trade - including activities which by their nature can be offensive (eg dust, foul odour, smoke) to people living or working nearby (eg refuse collection & disposal, tallow melting). | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 46. A mortuary involving the preparation, embalming, examination and/or treatment of dead bodies prior to burial . | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 47. A camping ground involving temporary living places for occupation by 2 or more families or parties living independently of each other. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 48. A stock yard. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 49. Air conditioning systems and/or cooling fans. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 50. Swimming pools and/or spa pools. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 51. Solid fuel heater as part of a new dwelling or separate consent. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Yes N/A Office Use

52. The emission of radio frequency (electromagnetic) radiation.

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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53. A health care establishment (eg hospital's, doctor's surgeries, clinics, veterinary surgeries, pharmacies, nursing homes, blood transfusion centres, laboratories, pet shops and boarding kennels, medical research establishments).

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Reviewer

.....

Date:.....

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Drainage Information

- | | Yes | No | Office Use |
|--|-------------------------------------|-------------------------------------|-------------------------------------|
| 54. Do you require a temporary / permanent service disconnection Service(s) to disconnect:..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| 55. Is there any trade waste discharge (reviewer to notify trade waste officer) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| Please complete the rest of the page if you need a new service connection. | | | |
| 56. Is a sewer connection in place, on site already
If not please state the size of the connection requiredmm | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 57. Is a stormwater connection in place, on site already
If not please state the size of the connection required.....mm | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 58. Have you provided a scaled site plan indicating the location
of your new connections?. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Project location..... **45 SANDERSTOCK RD**

Legal Description Lot **7**.....DPS..... **77873**

Contact Person..... **GILLETT CONSTRUCTION**
1. CHARMAINE GRES

Address..... **HAMILTON**
PH. 855-9877

Phone no..... **MOBILE 025-522-955**.....Daytime phone no.....

OFFICE USE ONLY	
ReviewerDate
Consent no.....	Receipt no.....Date Paid.....
Date issued.....

Water Information

	Yes	No	Office Use
59. Do you require a temporary / permanent service disconnection	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
60. Does the property			
-Require a backflow prevention device/s	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
-Comply with G12 and Water Protection Regulations i.e.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
- swimming / spa pools			
- auxiliary supply			
- possible contamination			

If a water connection is required, please complete the remaining section.

61. Is a water supply connection in place already on site? Yes No Office Use
 (Note: Nnot required for new subdivisions but will be required for additional dwellings, Commercial or Industrial require this form to be completed)
62. Size of new connection required
- Dwelling standard 20mm _____ mm
 - Commercial/Industrial _____ mm
 - Fire main _____ mm
 - Enlargement _____ mm
63. Position of water connection: Distance from the left hand / right hand
 (delete one) boundary looking from the roadm

Project location..... **45 BAWERSOCK RD**

Legal Description Lot **7** **DPS 77873**.....

Contact Person..... **GILLETT CONSTRUCTION**

Address..... **1 CHARMAINE CRES**

Phone no..... **HAMILTON** Daytime phone no.....

Address..... **PH 855-9877**

Address..... **MOBILE 025-522-955**

OFFICE USE ONLY	
Reviewer	Date
Consent no.....	Receipt no..... Date Paid.....
Date issued.....	