

Your Ref

In reply, please quote  
LIM0868/25

If calling, please ask for  
Bethney Waters



05 February 2025

Postal Address  
Private Bag 544, Ngaruawahia 3742  
New Zealand

0800 492 452  
[www.waikatodistrict.govt.nz](http://www.waikatodistrict.govt.nz)

H I Hill  
56 Kiwi Road  
RD 3  
Morrinsville 3373

Kia Ora,

#### LAND INFORMATION MEMORANDUM

Please find enclosed your Land Information Memorandum for 160 Walsh Road  
WHATAWHATA

If you have any queries, please do not hesitate to contact me.

Ngaa mihi

A handwritten signature in blue ink that reads "Bethney Waters".

Bethney Waters  
Land Information Officer

**NOTE:  
THIS LIM REPORT IS PROVIDED FOR  
YOUR REFERENCE (FROM THE  
OWNERS)**

**BUYERS ARE ENCOURAGED TO DO  
THEIR OWN DUE DILIGENCE**

# Land Information

## Memorandum

In reply please quote: LIM 0868/25  
If calling, please ask for: Bethney Waters

### LOCAL GOVERNMENT OFFICIAL INFORMATION AND MEETINGS ACT 1987

The information supplied in this Land Information Memorandum is based on existing Waikato District Council records that may not be complete. The property has not been inspected or surveyed by the Council. It is the purchaser's responsibility to check the boundaries of the property.

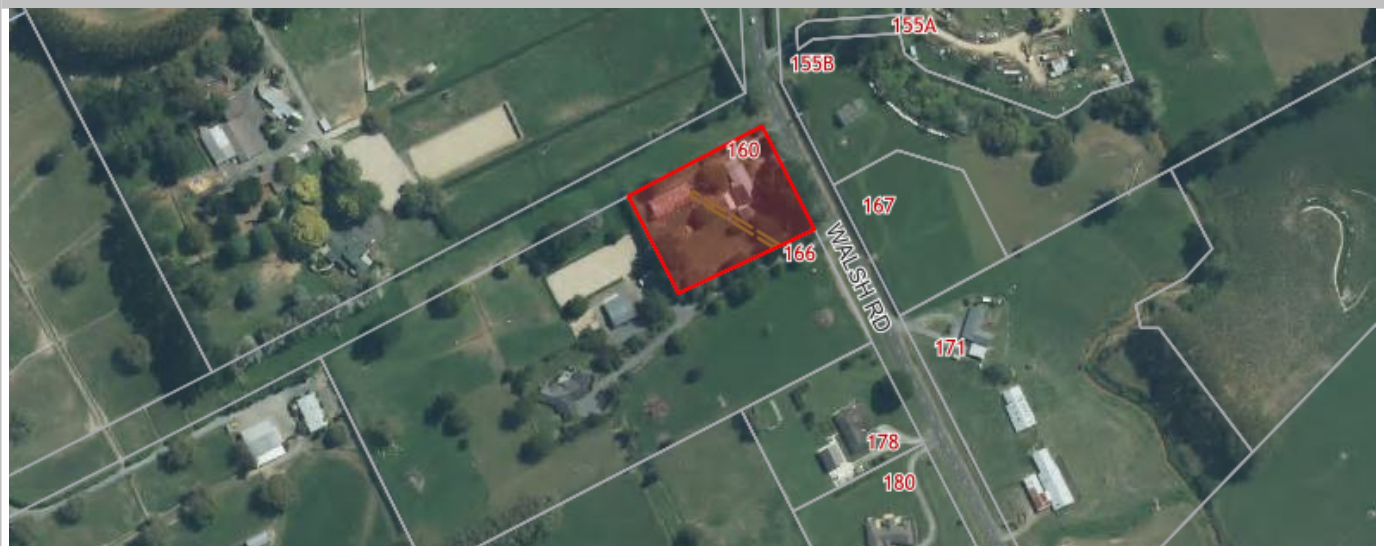
It is assumed that any purchaser will search for the certificate of title that is not held by the Council and will personally inspect the property and its surrounds. This information deals solely with the property named below and does not disclose any relevant information that may affect adjacent properties.

It is the sole responsibility of any purchaser to ensure that the land is suitable for a particular purpose.

#### ► Property Details:

<b>Valuation Reference:</b>	04420/176.00
<b>Legal Description:</b>	LOT 1 DP 366667 BLK IV KOMAKORAU SD
<b>Area:</b>	5072 square metres more or less
<b>Property Location:</b>	160 Walsh Road WHATAWHATA
<b>Owners:</b>	Helen Irene Hill, Thomas William Hill

#### ► Property Location:



■ Rates

Information regarding –  
44A(2)  
(c) information relating to any rates owing in relation to the land

► Rates & Rating Valuation: <span style="float: right;">Information regarding – 44A(2)(c) information relating to any rates owing in relation to the land.</span>	
<b>Annual rates for 2024/2025</b>	\$2859.48      Balance Owing: \$0.00 <i>(Balance of 3rd instalment due 20 May 2025)</i>
<b>Value of Improvements</b>	\$ 340,000.00
<b>Land Value</b>	\$ 630,000.00
<b>Capital Value</b>	\$ 970,000.00
<b>Date of Valuation</b>	1 October 2023

**Valuation**

Properties in the Waikato District are re-valued every three years in accordance with the Rating and Valuations Act 1988.

Rates and valuations can be viewed online using the Rating Information Database (RID) available on the Waikato District Council website at <https://www.waikatodistrict.govt.nz/request-it/property/rates-information-database>

**Current Rates**

*A copy of the current 2024/2025 rates assessment is attached. The 2024/2025 rates are based on the valuations dated 1 July 2023.*

A new part fee and charge will apply for those ratepayers that connect to specific council services after 1 July. These changes will mean that anyone that builds a new dwelling after 1 July will pay for the services their property receives (e.g., wastewater, storm water, rubbish) through fees and charges, rather than rates, until rates are struck on their property in the following financial year. You will receive an invoice from Council following granting of your Code Compliance Certificate (CCC). Rates are only struck once a year.

For Further Information: <https://www.waikatodistrict.govt.nz/request-it/property/rates-information-database>

**Rates Capital Value**

Please note that the rates reflected in this LIM were calculated based on the capital value of the property as at 1 July of the current rating year. Any changes to the capital value of the property that have taken place since 1 July will be reflected in the rating charges for this property in the next rating year. Please contact a member of the rating team on 0800 492 452 if you require further clarification or have any questions.

Information regarding –  
44A(2)

- (f) information relating to the use to which that land may be put and conditions attached to that use;
- (g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose;
- (h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004

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### **Waikato District Plan – Operative in Part**

Waikato District Council notified its decisions on Variation 3 on 30 October 2024 and the Plan became Partially Operative.

The zone of this property is: **Rural Zone**

The following overlays apply to the property: **Waikato River Catchment**

The provisions relevant to this property may be subject to appeal and any that are subject to appeal are not yet operative.

If the provisions relevant to this property are subject to an appeal, both the Waikato District Plan Operative in Part and the Operative Waikato District Plan will need to be considered.

### **Operative Waikato District Plan (Waikato Section)**

This only applies where there are outstanding appeals on the provisions of the Proposed Waikato District Plan (appeals version), to the extent they are relevant to any proposed works or project.

**Zone: Rural**

**Policy: Waikato River Catchment**

For further information please refer to the planning maps attached and the Waikato District Plan, which is available to view on our website: <https://www.waikatodistrict.govt.nz>

If you have questions regarding the zoning or rules for any proposed development on this property, you can contact a duty planner:

<https://www.waikatodistrict.govt.nz/services-facilities/land-and-property/making-a-start/duty-planner-service>

### **Development Contributions**

- Builders, developers and owners cannot presume that all development contributions have been paid at the time of subdivision.
- The link to the current Development Contributions Policy is; <https://www.waikatodistrict.govt.nz/your-council/development-contributions>
- For any queries on specific properties please email [DevelopmentContributions@waidc.govt.nz](mailto:DevelopmentContributions@waidc.govt.nz) providing the specific property number and/or property address

Development contributions policies, capital works schedules, catchments and levies are subject to review and change.

Credits are given for any development contributions paid at the time of subdivision, but additional development contributions may be required at time of building consent or service connection.

## ■ Planning continued

Information regarding –  
44A(2)

- (f) information relating to the use to which that land may be put and conditions attached to that use:
- (g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose:
- (h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004

***For any restrictions on the use of the property please refer to the Record/Certificate of Title.***

### ► Resource Consents:

Application No	Description	Decision
LUC0410/05	<b>LAND USE CONSENTS</b> <i>Boundary encroachment</i>	<b>GRANTED</b> 17 May 2005
SUB0134/06	<b>SUBDIVISION CONSENTS</b> <i>Create 1 additional lot</i>	<b>GRANTED</b> 19 December 2005

**Requisitions:** No known planning requisitions to date.

Planning rules relating to this property are contained in the Waikato District Plan and are not outlined in this LIM report. The Waikato District Plan is available to view on Council's website at [www.waikatodc.govt.nz](http://www.waikatodc.govt.nz).

## ■ Building

Information regarding –  
44A(2)

- (d) information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by the territorial authority (whether under the Building Act 1991, the [Building Act 2004](#), or any other Act):
- (e) information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the [Building Act 2004](#):
- (ea) information notified to the territorial authority under [section 124](#) of the Weathertight Homes Resolution Services Act 2006:

*It is recommended that a potential purchaser engage a building consultant to complete a pre-purchase inspection of buildings. Irrespective of code of compliance, structures are subject to deterioration over time and works may have been undertaken without building consent. If requested and supplied, a copy of this may be filed on council records for future references and Land Information Memoranda.*

Architects and designers require wind & earthquake information to establish bracing requirements for building development.

### ► Building Consents/Permits:

Number	Description	Consent/Permit issued date	CCC Issued/ Completed Date
E60676	Dwelling	26 April 1972	*
J43472	Addition to dwelling	10 December 1991	10 December 1992
K04825	Heater	01 December 1992	10 December 1993
97252	Garage	30 July 2003	06 May 2004

**Requisitions:** No known building requisitions to date.

#### \* No completed date recorded on historic County records.

Prior to the Building Act 1991, whilst the Council issued building permits, there was no provision, nor requirement to issue Code of Compliance Certificates.

Code of Compliance Certificates are only applicable where a Building Consent has been issued under the Building Act 1991 (effective date 1<sup>st</sup> July 1992) and subsequently the Building Act 2004.

If you feel there has been unauthorised building work undertaken on this property, please note that Council has no authority to issue retrospective building consents. The current owner can, however, apply for a Certificate of Acceptance (COA).

- Please refer to the [BuildWaikato](#) site for further information regarding COAs.

## ■ Water Supply

Information regarding –  
44A(2)

- (ba) any information that has been notified to the territorial authority by a drinking-water supplier under section 69ZH of the Health Act 1956:
- (bb) information on—
  - (i) whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier:
  - (ii) if the land is supplied with drinking water by a networked supplier, any conditions that are applicable to that supply:
  - (iii) if the land is supplied with water by the owner of the land, any information the territorial authority has about the supply:

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The property is located outside an area currently served by a community water supply administered by Waikato District Council.

### ■ Drinking Water (potable water supply)

The property is not connected to a community water supply. It is the property owner's responsibility to ensure suitable drinking water is supplied on-site.

The construction of a bore for the taking of ground water requires consent from the Waikato Regional Council, for further information contact Waikato Regional Council.

## ■ Council Utilities

Information regarding –  
44A(2)

(b) information on private and public stormwater and sewerage drains as shown in the territorial authority's records:

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### ■ Wastewater

The property is located outside an area currently served by a community system for wastewater disposal.

On-site wastewater disposal must comply with the Waikato Regional Plan and the AS/NZS standard for On-site Domestic Wastewater Management. New on-site effluent disposal systems must be designed and certified by an engineer or suitably qualified person.

#### **Existing system - No AS-LAID Plan**

There are no records as to the size or location of an existing on-site wastewater disposal system. Wastewater Disposal Systems are sized in relation to the number of bedrooms of a dwelling and the potential occupancy. Assessment of the existing system will be required for future building works that includes additional bedrooms.

The system must be adequately designed to treat and dispose of potential increased loadings. If upgrades are required, these must be designed, supervised and certified by an engineer or other suitably qualified person to comply with AS/NZS 1547:2012 and the Waikato Regional Plan. It is recommended that potential purchasers engage a contractor to inspect the septic tank and prior to settlement.

The Waikato District Council does not maintain or monitor private wastewater disposal systems and NZ standards indicate a septic tank should be cleaned/ emptied every 3 years.

### ■ Stormwater

The property is located outside an area currently served by a community system for stormwater or land drainage disposal.

For any new development, Onsite Stormwater Disposal will be required under the Waikato District Plan & Waikato Regional Plan prior to connection to any public stormwater network or drains.

*For further information please contact a Project Planning & Engineering Officer at the Waikato District Council.*



## ■ Natural Hazards

Information regarding –

- Whether the site is affected by potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, inundation, peat, contamination or poor soakage.
- whether there is the likely presence of hazardous substances on the site and in particular whether the site has been recorded as being on the Regional Council's HAIL list of potentially contaminated sites.
- Refer to a copy of special features map.

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### LRI (Us)

New Zealand Land Resource Inventory Maps indicate that the soils in this area may have poor bearing capacity for building foundations due to **Unconsolidated Sediments**

A geotechnical engineer may be required to investigate ground or sub-soil conditions to establish any specific requirements for building development.

The Waikato Regional Council Hazards Portal (Link below) contains information about the natural hazards that may be relevant to the site. Before exploring the Portal, please read the terms of use to understand the limitations of the information contained on the site. The recipient is advised to seek expert advice in terms of the applicability and accuracy of the information as it relates to the site.

<https://waikatoregion.maps.arcgis.com/apps/MapSeries/index.html?appid=f2b48398f93146e8a5cf0aa3fddce92c>

**Under section 71-74 of the Building Act 2004, upon application for a building consent applicant must demonstrate that any proposed building work will be protected from hazards.**

## ■ Additional Information

Information regarding –

44A(3) In addition to the information provided for under subsection (2), a territorial authority may provide in the memorandum such other information concerning the land as the authority considers, at its discretion, to be

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### ■ Health

There are no outstanding Notices or Orders under the Health Act 1956 and related legislation in respect of the property.

### ■ Refuse

Waikato District Council's goal is to work towards a 'zero waste' target. On 1 July 2016 we introduced a pre-paid service to our refuse and recycling to help Waikato residents reduce the volume of waste they send to landfill. Less waste will save us all more in the long run.

Refuse & Recycling Service Collection Day for this property is **Monday**.

For further information please see <https://www.waikatodistrict.govt.nz/services-facilities/refuse-and-recycling>

### ■ Utilities

The Waikato District Council does not hold records concerning utility systems it does not administer. For information concerning state highways (administered by NZ Transport Agency), electricity, telephone or gas, the relevant network operator should be contacted.

### ■ Telecommunication

This property may not have a physical connection to a telecommunications network.

Developer obligations are to demonstrate that a telecommunication network is available to serve the property, such network can be either physical or wireless.

Please contact the network utility supplier and/or service provider to confirm what telecommunication connection is available to the property.

Ngaa mihi



Bethney Waters  
**Land Information Officer**

# Land Information Memorandum



160 Walsh Road WHATAWHATA  
LOT 1 DP 366667 BLK IV ALEXANDRA SD SUBJ TO &  
INT IN ESMTS

# Rates Information Database

Use the rates information database to find out rates information about property in the Waikato district.

If you would like your details made confidential, please complete the [Request to Suppress Personal Information](#) form and return to Waikato District Council. Please note that it is not necessary to complete the form if you have no objection to your name and postal address being published in the Complete Rating Information Database.

If you have a question about your rates, please contact the rates team on [0800 492 452](tel:0800492452) or complete our [online request form](#) for a staff member to contact you directly.

## Property details

Property location	160 Walsh Road WHATAWHATA
Valuation number	04420/176.00
Legal description	LOT 1 DP 366667 BLK IV ALEXANDRA SD SUBJ TO & INT IN ESMTS

## Property charges (2024/2025)

	Targeted rate factor	Factor applicable	Amount
General Rate	0.21142c/\$	970000.00	\$2,050.77
Uniform Annual General Charge (UAGC)	Fixed Charge	1.00	\$526.15
Whatawhata Community Centre	per dwelling	1.00	\$57.00
Central District Rubbish and Recycling Collection	per dwelling	1.00	\$255.56

Total rates payable \$2,889.48 incl. GST



# Property valuation history



**⚠** If your property connects to any additional council services between now and the 30 June 2025, there will be additional charges added to your property in the following rating year. If you have any questions or queries with regards to your 2024/25 rates, please complete our online request form for a staff member to contact you directly.

## Download the Antenno app

Use the Antenno app to tell us about things that need our attention, like potholes, graffiti, or broken streetlights.

**More about Antenno** →





**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** 270867  
**Land Registration District** South Auckland  
**Date Issued** 15 November 2006

**Prior References**  
SA24B/1412

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**Estate** Fee Simple  
**Area** 5072 square metres more or less  
**Legal Description** Lot 1 Deposited Plan 366667

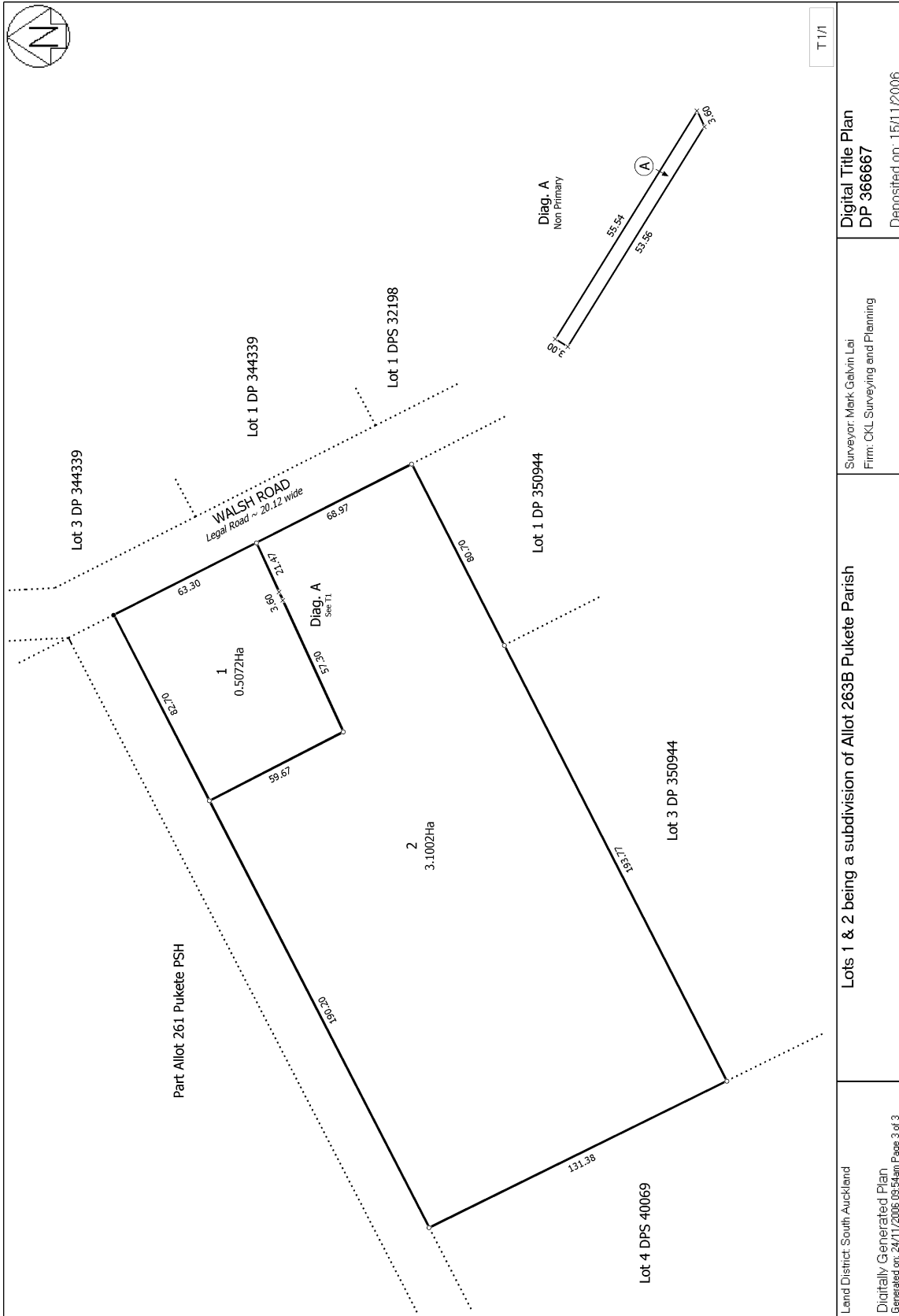
**Registered Owners**  
Thomas William Hill and Helen Irene Hill

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**Interests**

Identifier

270867



T 1/1

Digital Title Plan  
DP 366667  
Deposited on: 15/11/2006

Surveyor: Mark Galvin Lai  
Firm: CKL Surveying and Planning

Lots 1 & 2 being a subdivision of Allot 263B Pukete Parish

Land District: South Auckland  
Digitally Generated Plan  
Generated on: 24/11/2006 09:54am Page 3 of 3

# Resource Consent

(Resource Management Act 1991)

## DECISION ON APPLICATION SUB0134/06

Pursuant to Sections 34A(1), Section 104C and 108 of the Resource Management Act 1991, the Waikato District Council, under delegated authority, grants Subdivision Consent for a discretionary activity to:

**Activity:** Create one additional lot in the rural zone.

**Consent Holder:** Paula Marie Jeffries and David Ralph Stuart

**Location Address:** 160 Walsh Road, Whatawhata

**Legal Description:** Allot 263B Pukete PSH

**Certificate of Title:** SA24B/1412

This consent is subject to the conditions detailed in the attached Schedule 1.

The reasons for this decision are detailed in the attached Schedule 2.

Dated at Ngaruawahia this 19th day of December 2005.

For and on behalf of Waikato District Council



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Nath Pritchard

**ENVIRONMENTAL SERVICES GROUP MANAGER**



## Schedule I

# Conditions of Consent

Resource Consent No: SUB0134/06

### Planning Conditions

- PC1 The Land Transfer Plan to give effect to this Resource Consent shall be generally consistent with the approved plan prepared by CKL Surveys Ltd, reference H1128:S3, submitted with application SUB0134/06 and received by Council on the 17th of November 2005. A copy of the approved plan is attached.
- PC2 The consent holder shall ensure that, should any human remains or archaeological items be exposed while undertaking works to give effect to conditions of this consent, works in that area will cease immediately. The Police, New Zealand Historic Places Trust, and Kaumatua representing the local Tangata Whenua shall be contacted and work shall not recommence in the affected area until any necessary statutory authorisations or consents have been obtained.
- PC3 Where not already existing, planting shall be undertaken to a height of at least 1.8 metres (within two growing seasons) along the western boundary to screen the existing barn from Lot 2. Screen planting may be placed within 7.5 metres of the barn and shall extend 3 metres either side of the barn. This will be required on a continual basis - therefore should the planting die or be removed, it must be replaced as per the aforementioned requirements.

### Financial Contributions

#### Reserves

- FC1 Pursuant to Section 108(2)(a) of the Resource Management Act 1991, a reserve contribution of \$1,125.00 (One Thousand One Hundred and Twenty-Five Dollars), GST Inclusive shall be paid to Council for the additional Lot.

#### **Advisory Note:**

A reserve contribution is required for each Lot created by subdivision upon which a dwellinghouse or dwellinghouses are authorised by the Waikato District Plan. The subdivision will result in the creation of one additional title. Therefore one reserve contribution of \$1,125.00 is required.

## **Roading**

FC2 Pursuant to section 108(2)(a) of the Resource Management Act 1991 a roading fee of \$7,347.08 (Seven Thousand Three Hundred and Forty-Seven Dollars and Eight Cents), GST Inclusive shall be paid to the Council for the additional Lot.

## **Roading Conditions**

- RC1 The existing entrance to Lot 1 shall be upgraded to a sealed standard residential vehicle entrance located as indicated on the approved plan, and constructed in accordance with Waikato District Council Plan No. TSG-E3 to the satisfaction of Council. Culvert required under the entrance.
- RC2 Lot 2 shall be provided with a sealed standard residential vehicle entrance located as indicated on the approved plan, and constructed in accordance with Waikato District Council Plan No. TSG-E3 to the satisfaction of Council. Culvert is required under the entrance.

## **Utilities Conditions**

UC1 The existing dwelling on Lot 1 shall have an independent domestic water supply sourced from within this lot boundaries or as otherwise approved by Council to the satisfaction of Council. Confirmation of the source and location of the water supply shall be shown on an amended site plan in relation to the boundaries of each Lot.

### **Advisory Note:**

If a supply from outside the legal boundaries is proposed, a legal easement including vehicle access, written power and maintenance agreement, backflow prevention and quality tests may be required.

UC2 The existing water connection from the bore on lot 2 to the house on lot 1 shall be cut off and permanently sealed within the boundaries of Lot 2 to the satisfaction of Council.

## **Legal Conditions**

LC1 All easements shall be duly granted, reserved and shown on the Land Transfer Plan.

## **Advisory Notes**

ANI When Building Consents are applied for the following matters will need to be addressed in any applications:

- (i) For some building sites a Registered Engineer may be required to confirm that ground conditions are suitable for building.
- (ii) A design from a suitably qualified person will be required for the effluent disposal system.

## Schedule 2

# Reasons for Decision

Resource Consent No: SUB0134/06

- 1 With regards to site layout, the size and shape of the new Lots allows for a complying building platform area to be located on each lot. The building platform areas and minimum yard setbacks are required to ensure that all new Lots are able to accommodate a suitable building platform area that is sufficiently set back from the abutting properties, to provide a suitable buffer area between the differing land uses, thereby mitigating against any adverse effects such as noise, dust, agricultural use and odour.
- 2 It is considered that any adverse environmental effects from this proposal can only be deemed to be minor.
- 3 The yard encroachment will not have an adverse effect on the visual, daylight or sunlight amenity values of the abutting properties.
- 4 The proposal is consistent with the existing and surrounding rural developments, and will not detract from the amenity of the surrounding neighbourhood.
- 5 Council's Regulatory Engineer, Darby West has reviewed the proposal and is satisfied that the proposed subdivision will not adversely affect traffic safety on Walsh Road, Whatawhata. Sufficient on site car parking and manoeuvring areas can be provided, and Council is satisfied that the effects on the surrounding roading network from any increase in traffic numbers is only minor.
- 6 The proposed lot sizes are large enough to accommodate rural activities and are not contrary to the rules, objectives and policies of the District Plan.
- 7 The Proposed Waikato District Plan was notified on 25th September 2004 and submissions closed on 11th February 2005. The initial Summary of Submissions has been released, however submissions made on the rules contained within the Proposed Plan relevant to this application are still under consideration. Therefore when assessing this application little weight has been given to the provisions of the Proposed District Plan when determining this application.

**APPLICATION PLAN**  
H1128:S3

Applicant: D. Stuart & P. Jeffries  
 Development: \_\_\_\_\_  
 Comprised in: CT SA 24B/1412  
 LOCAL AUTHORITY: Waikato District  
 LAND DISTRICT: South Auckland  
 TOTAL AREA: 3.6067 ha

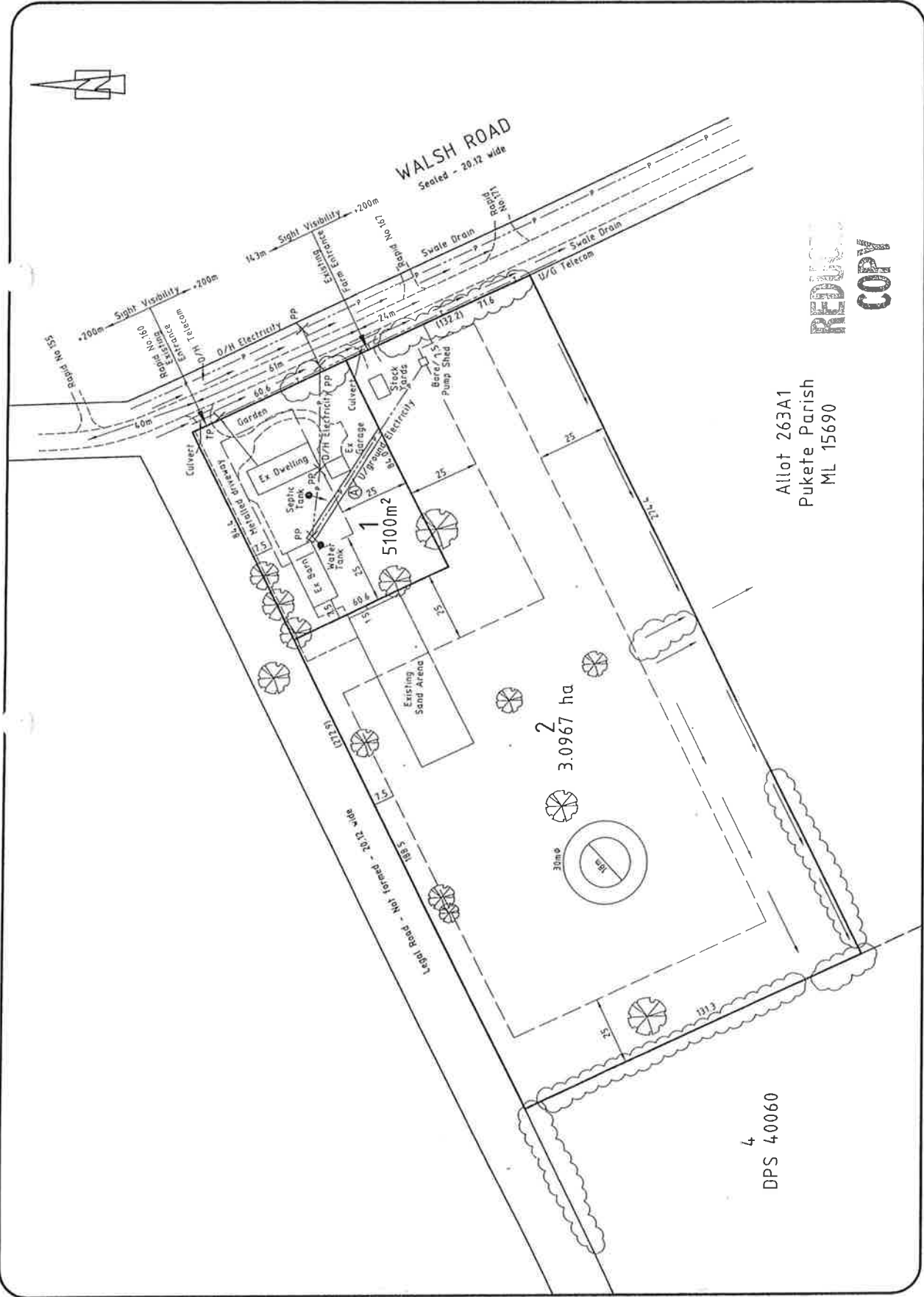
PROPOSED EASEMENT		DOMINANT TENEMENT
PURPOSE	SHOWN SERVIENT TENEMENT	
Right to Convey Electricity	(A)	Lot 1 hereon
		Lot 2 hereon

**APPROVED**

9/12/05

- Notes:
- Changes may occur to the layout of the proposal shown as a result of the Resource Consent Conditions.
  - Areas and dimensions on this plan may be subject to change following field survey.
  - The copyright and intellectual property rights for the information shown on this plan remain the property of CKL Surveys Ltd.
  - This plan has been prepared only for the purpose of illustrating an application for subdivision consent. It should not be used for any other purpose.

Scale:	Date:
1:1000	August 2005
Job No:	Page No:
H1128:S3	1 of 1
	Rev:
	S3



Allot 263A1  
Pukete Parish  
ML 15690

**REPLY COPY**

Proposed Subdivision of  
 Allot 263B Pukete Parish  
 (160 Walsh Road, Whatawhata)

- ▷ AUCKLAND, 8 Manukau Rd, New Market  
09 524 7029
- ▷ HAMILTON, 310 Teitram St  
07 839 2051
- ▷ TE ANAU, 88 Teasdale St  
07 871 6144
- ▷ WAIKATO, Cnr Brownston & Dunganon Sts  
03 443 5577

**CKL**  
**Surveying and Planning**  
*Setting New Boundaries*

4  
DPS 4-0060

# Resource Consent

(Resource Management Act 1991)

## DECISION ON APPLICATION LUC0410/05

Pursuant to Sections 34A(1), 104(5), 104B and 108 of the Resource Management Act 1991, the Waikato District Council, under delegated authority, grants Land Use Consent for a Discretionary Activity to:

**Activity:** Construct additions to the existing dwellinghouse which encroach into yard setback requirements

**Consent Holder:** Paula Marie Jeffries, David Ralph Stuart

**Location Address:** 160 Walsh Road, WHATAWHATA

**Legal Description:** ALLOT 263B PARISH of PUKETE

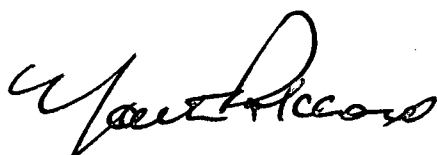
**Certificate of Title:** SA24B/1412

This consent is subject to the conditions detailed in the attached Schedule 1.

The reasons for this decision are detailed in the attached Schedule 2.

Dated at Ngaruawahia this 12th day of May 2005.

For and on behalf of Waikato District Council



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Nath Pritchard

**ENVIRONMENTAL SERVICES GROUP MANAGER**

## Schedule I

# Conditions of Consent

Resource Consent No: LUC0410/05

### Planning Conditions

- PC1 The location of the additions to the existing dwellinghouse shall be generally in accordance with the information and plans submitted by the consent holder for application number LUC0410/05 and received by Council on 5 May 2005. Copies of the approved plans (labelled 'A' and 'B') are attached.
- PC2 Pursuant to section 36 of the Resource Management Act 1991 the consent holder shall pay the actual and reasonable costs incurred by the Council when monitoring the conditions of this consent.



## Schedule 2

# Reasons for Decision

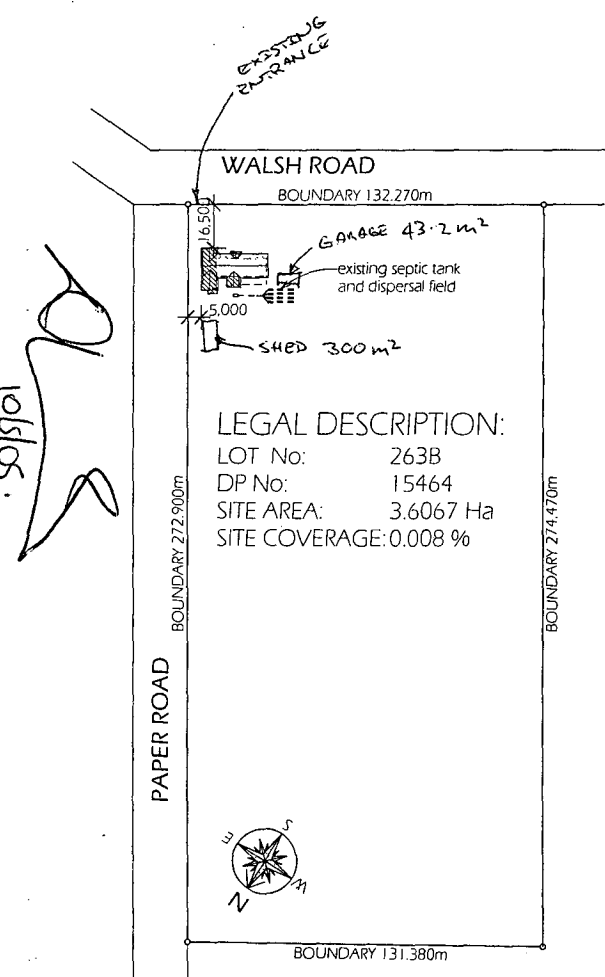
Resource Consent No: LUC0410/05

- 1 The application is for additions to the existing dwellinghouse which will be located 5 metres from the eastern boundary which adjoins an unformed paper road. The additions are in the most practical location due to the existing shape of the house and the fact that the existing garage is located to the western end of the existing dwellinghouse.
- 2 The effects of the yard encroachment are considered to be no more than minor. The property adjoins an unformed paper road which the applicants have been considering purchasing.
- 3 Written approval was obtained from all persons considered to be potentially affected by the dwellinghouse extensions being, Darby West, on behalf of Waikato District Council. The application was therefore able to be processed on a non-notified basis under delegated authority.
- 4 The Proposed Waikato District Plan was notified on 25th September 2004 and submissions closed on 11th February 2005. However, submissions made on various rules contained within the Proposed Plan are still under consideration. Therefore when assessing this application little weight has been given to the rural landuse provisions of the Proposed District Plan when determining this application.



Approved Plan 'A'

Waikato District Council  
 Mail Ref: .....  
 Referred to: .....  
**RECD 31 MAR 2006**  
 Copy to: .....  
 Instructions: .....  
 MAIL



**PLUMBING LEGEND**

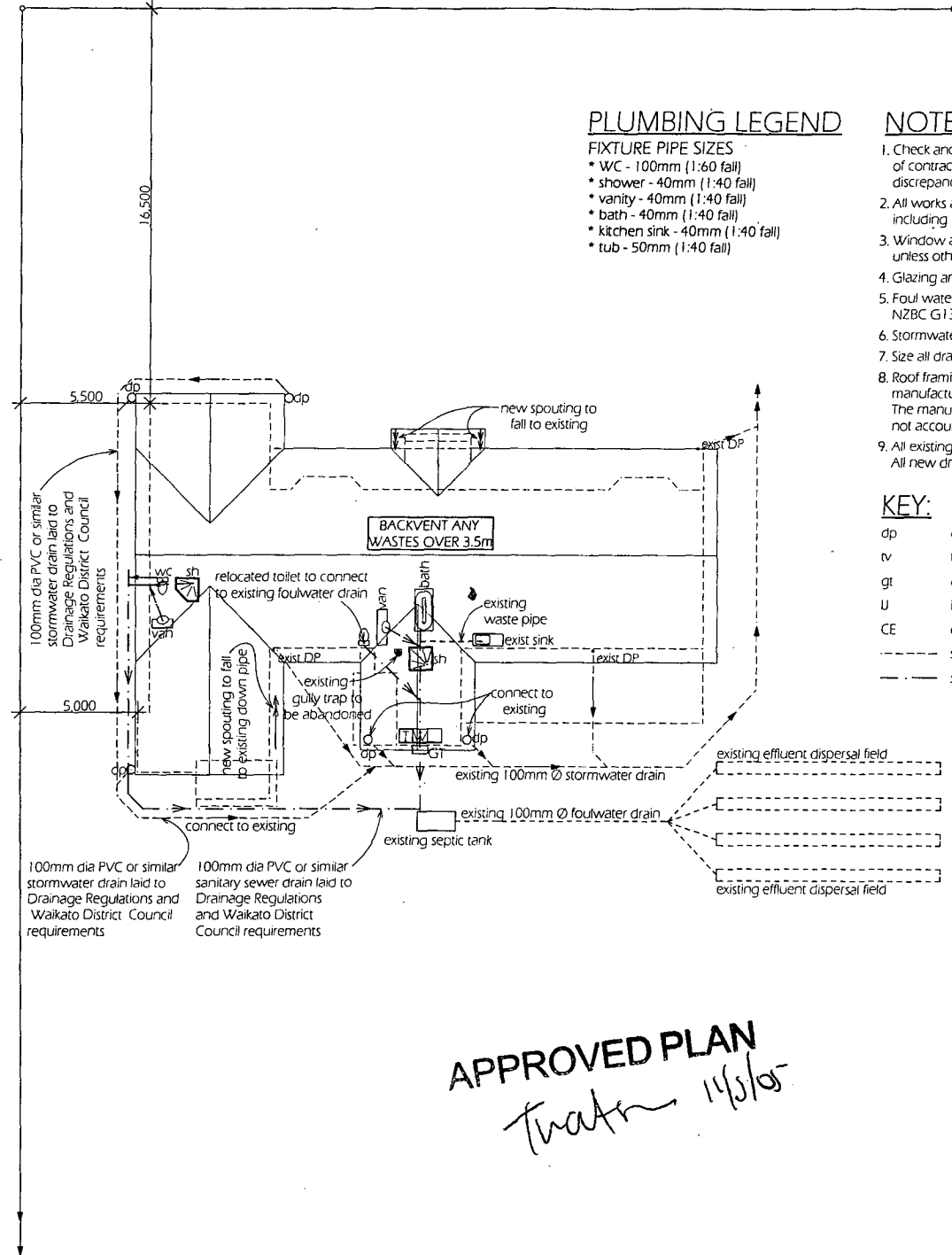
- FIXTURE PIPE SIZES**
- \* WC - 100mm (1:60 fall)
  - \* shower - 40mm (1:40 fall)
  - \* vanity - 40mm (1:40 fall)
  - \* bath - 40mm (1:40 fall)
  - \* kitchen sink - 40mm (1:40 fall)
  - \* tub - 50mm (1:40 fall)

**NOTES**

1. Check and verify all dimensions on site prior to commencement of contract, and ensure to immediately notify the designer of any discrepancies or ambiguities in the contract documents.
2. All works and construction shall comply with all relevant standards including NZS 3604:1999 and the Building Code.
3. Window and door head heights to be as shown on the drawings unless otherwise indicated.
4. Glazing and windows shall comply with NZS 4211 and 4223
5. Foul water sanitary plumbing and drainage shall comply with NZBC G13/AS1 and AS2
6. Stormwater drainage shall comply with NZBC E1/AS1
7. Size all drains to comply with the above. Lay all drains to required falls.
8. Roof framing trusses to be designed by a certified truss manufacturer and to include all bracing connection details. The manufacturer to notify designer of any load bearing points not accounted for in the drawings.
9. All existing drainage where possible to be used. All new drainage to be connected to existing.

**KEY:**

- dp down pipe
- tv terminal vent
- gt gully trap
- U inspection junction
- CE cleaning eye
- - - stormwater drain
- sewer drain



**APPROVED PLAN**  
 14/5/05

**Concepts Architectural Design**  
 DESIGNING WITH STYLE  
 PH. 07 855 2586, FAX 07 855 0382

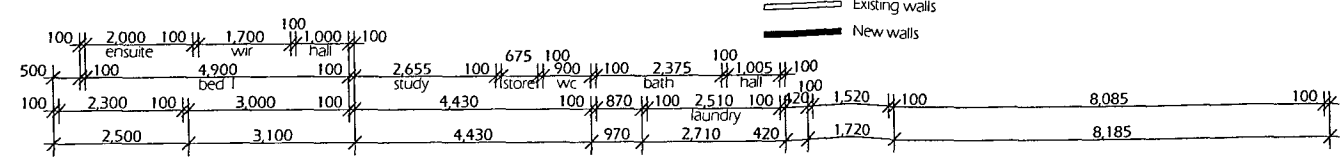
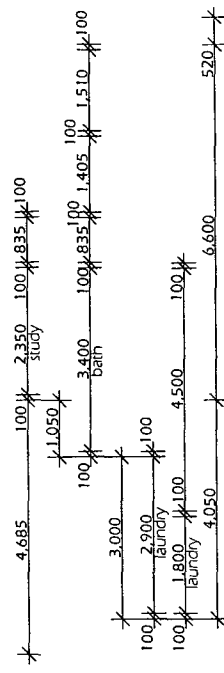
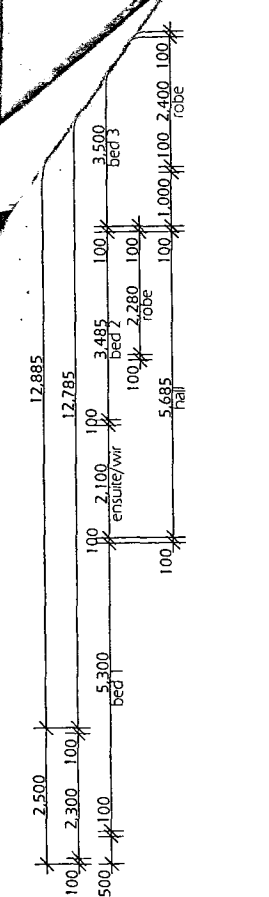
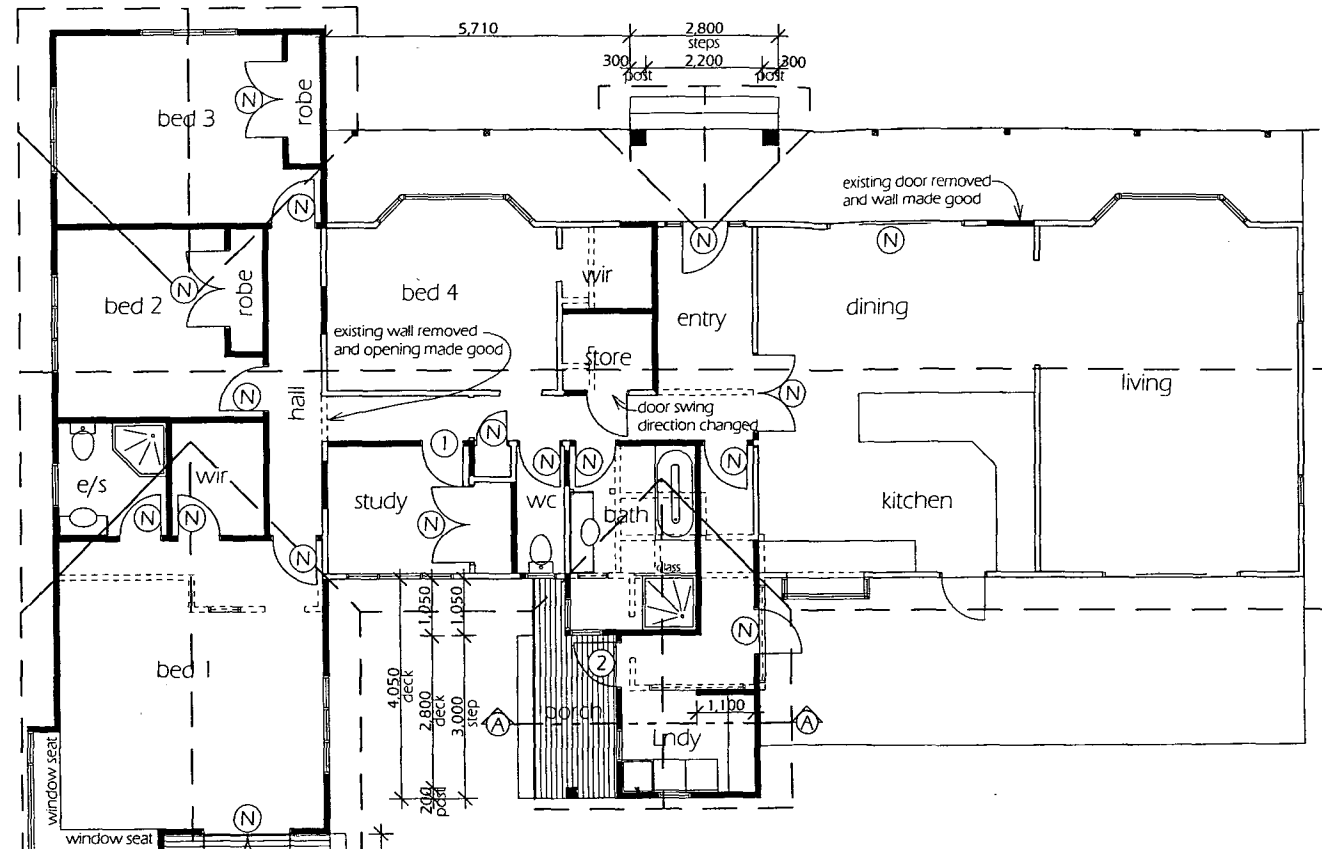
TITLE  
**ALTERATIONS & ADDITIONS FOR D STUART & P JEFFRIES**  
 WALSH ROAD, WHATAWHATA

SHEET  
**SITE LOCATION PLAN, & SITE DRAINAGE PLAN**

SCALE 1:2000 & 1:200	DATE SEP 2004
DRAWN N.BINNIE	JOB No. X0134

Approved Plan 'B'

Waikato District Council  
 Mail Ref: .....  
 Referred to: .....  
 RECD 31 MAR 2005  
 Copy to: .....  
 Instructions: .....  
 CASH



**FLOOR AREA:**

Existing	165.39m <sup>2</sup>
New extension	50.38m <sup>2</sup>
New deck	14.40m <sup>2</sup>
<b>Total</b>	<b>215.77m<sup>2</sup></b>

- KEY:**
- (N) New door
  - (1) - (2) Existing doors re-used
  - (S) Smoke Detector
  - Walls to be removed
  - Existing walls
  - New walls

**NOTE:**  
 \* All existing interior, and exterior doors to be removed are to be kept and reused wherever possible.



NEW FLOOR PLAN

APPROVED PLAN  
*Travis 11/5/05*

**Concepts Architectural Design**  
 DESIGNING WITH STYLE  
 PH. 07 855 2586, FAX 07 855 0382

TITLE  
**ALTERATIONS & ADDITIONS FOR D STUART & P JEFFRIES**  
 WALSH ROAD, WHATAWHATA

SHEET  
**NEW FLOOR PLAN**

SCALE 1:100	DATE SEP 2004
DRAWN N.BINNIE	JOB No. X0134
SHEET NO. 3/8	REVISION



4420/178 175

# WAIPA COUNTY

## Application for Building Permit (See Back Hereof)

TO THE WAIPA COUNTY COUNCIL,

I hereby apply for permission to Erect.  
(Erect, etc.)

at Walsh Rd Whata Whata.  
(House No. and Road)

for R.G. Hemming, of Walsh Rd.  
(Owner) (Address)

according to locality plan and detailed plans, elevations, cross-sections, and specifications of building deposited herewith,

Nature of Building(s) Dwelling  
(General description, type, etc.)

Particulars of Building(s)—Foundations 8" x 6" Piles.

Walls Huttlock Weather Bok. Roof Decramastic Tiles

Area of Ground Floor 964 sq. ft. Area other Floor(s) — sq. ft. Area Outbldgs. — sq. ft.

Particulars of Land—Lot No. Block 263 A. D.P. Pukete Parish.

Estimated Value

Number on Valuation Roll

Building \$ 7876-90.  
Plumbing and Drainage \$ 741-00.  
Total \$ 8617-90.

456 / 441

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose):

Dwelling.  
(Dwelling, Apartments, Private Garage, Joinery Factory, Offices, etc.)

Nature of ground on which building is to be placed and the subjacent strata.

Estimated Time of Completion Clay 20th April 1972.

Dated 28th March 1972. Signature of Owner R.G. Hemming per P.G. Leggett.

(State name of Licensed Drains Plumber, if known): Signature of Builder O'Regan Bros Sawmill Ltd

A.V. O'Halloran Address P.O. Box 911 Hamilton

### THIS SPACE RESERVED FOR THE USE OF THE INSPECTOR OF BUILDINGS

Received 12-4-72  
Date of Permit 26-4-72  
Receipt No. A.195.  
Building Fees \$15-00  
Drainage and Plumbing Fees \$2-00  
Building Research Levy \$4-50  
Percolation Fee Paid  
\$27-50

REMARKS  
Number 2  
01 Drainlayer to uplift permit before work commences.  
2) Bearers to be 12" clear of ground.  
3) Piles to be set in a pad of concrete 12" x 12" x 4" deep.

Permit No. E. 60676

Extracts from—

## WAIPA COUNTY BUILDING BY-LAW 1959

"Erection of a building" includes the re-erection of a building and the reconditioning of a building and the making of any alteration, repair or addition to any building heretofore or hereafter erected, and the removal, either in whole or in part, of a building from any place within or without the County to any place within the County or from one position to another position on the same lot of land; and "erect" has a corresponding meaning: Provided however, that maintenance work other than structural shall not be deemed a repair.

### BUILDING PERMIT REQUIRED

201. (a) No person shall erect or commence to erect any building without first obtaining a building permit from the Engineer.  
(b) No person shall cause or permit the commencement of the erection of or the erection of any building if a building permit in that behalf has not first been obtained from the Engineer.

### APPLICATION FOR PERMIT

202. Any person desiring to obtain a building permit shall make application therefore to the Engineer in writing signed by or on behalf of the person desiring to erect the building therein referred to.

### CONTENTS OF APPLICATION

203. (a) Every such application shall set out:—  
(i) The legal description and particulars of the site;  
(ii) The full name and address of the applicant, and of the person for whom the work is to be done, the locality of the proposed work, the estimated cost of such work;  
(iii) The proposed use or occupancy of every part of the building.

### NOTE:—

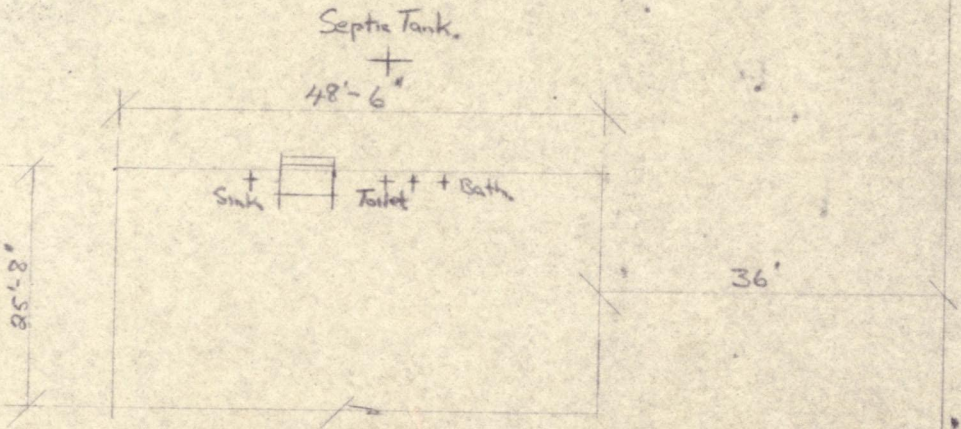
**APPLICATIONS FOR NEW BUILDINGS:** One application form, one scaled site plan, one set of plans on strong paper, and one specification should be submitted in the first instance. **Note:** Site plans for new dwellings are preferred on a foolscap-sized sheet and scale may accordingly be reduced to, say 1/16th inch. Where special reasons warrant, additional copy of plans and of specifications required by the By-laws as above may be asked for.

**APPLICATIONS FOR ALTERATIONS, ADDITIONS, ACCESSORY BUILDINGS,** such as private garages: One application form, one site plan, one set of plans and a schedule specification should be submitted in the first instance.

**Note:** Specification should cover types, grading, spacing (Centres) and sizes of materials. It is important that the position of existing foul drainage (especially gulley traps, terminal vent, etc.) should be shown on the plans.

**PERMIT MAY BE WITHHELD** (without further notice) until Applicant fully complies with the above requirements.

Existing  
Hay Barn



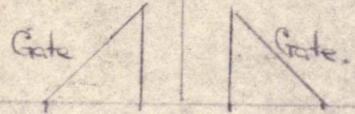
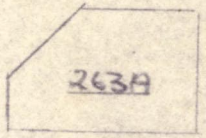
Existing  
Fence.

Scale 1" = 20'

Block 263A.

75'

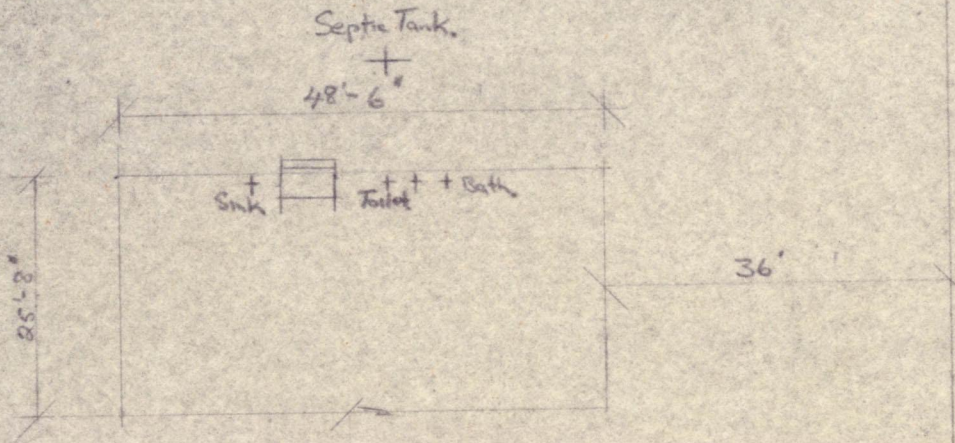
Mr. R. G. Hemming.  
Walsh Rd Whata Whata.



Walsh Rd.

*Closest Under Plan*

Existing.  
Hay Barn



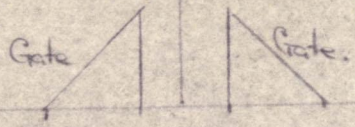
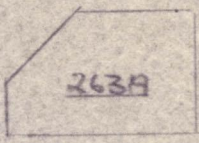
Existing.  
Fence.

Scale 1" = 20'

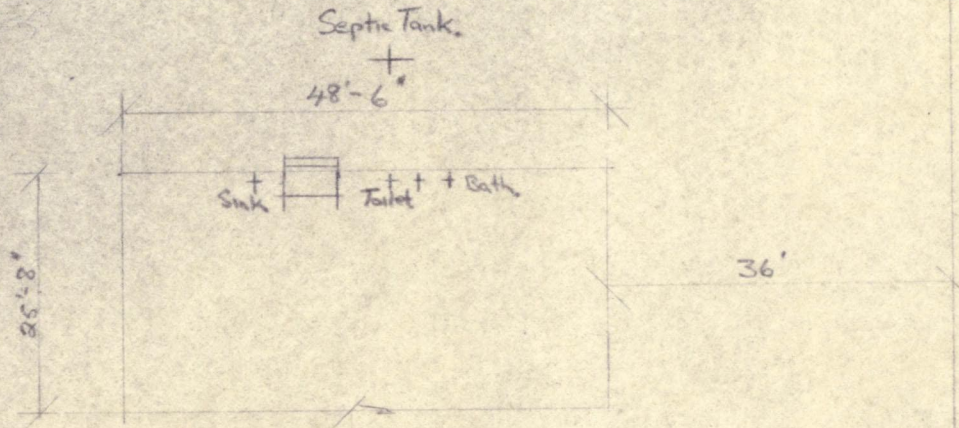
Block 263A.

Mr. R.G. Hemming.  
Walsh Rd Whata Whata.

75'



Existing.  
Hay Barn



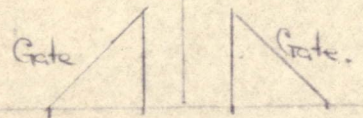
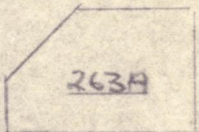
Existing.  
Fence.

Scale 1" = 20'

Block 263A.

75'

Mr. R.G. Hemming.  
Walsh Rd Whata Whata.



Walsh Rd.



O'RIGAN BROS. SAWMILL LTD 'PRE-BUILT' HOMES

STANDARD SPECIFICATIONS.

Prebuilt Specifications cover only to the contract down to the bearers.

Installation Specifications cover transportation and installation of prebuilt building.

Note:- for complete contract both specifications are required.

PREBUILT SPECIFICATIONS.

PRELIMINARY.

Extent of Work. The work shall be carried out to the true intent and meaning of the drawings and specification. Figured dimensions shall take preference over sealed dimensions. The Contractor shall provide all materials and labour, supply the necessary plant, tools, scaffolding etc. to complete the proposed work. The Contractor is to arrange for all inspections required by the Controlling Authorities and lending institutions. The Contractor shall conform with the requirements and conditions set out by such an institution if the contract is partly or wholly financed either by State Advances or by any other lending institution.

Arbitration. In any dispute arising between the Owner-Employer and Contract-Builder, not soluble by the terms of the contract such dispute shall be referred to Arbitration within the meaning of the Arbitration Act, 1908.

Progress Payments. Progress payments, unless otherwise agreed upon, will be paid monthly. The Employer shall be entitled to deduct from the payments due to the Contractor such sums as the Employer is required to retain in terms of "The Wages Protection and Contractors' Liens Act 1939" and its amendments and such monies so deducted shall be paid to the Builder immediately after the expiration of thirty-one days after the completion of the work. Unless otherwise agreed the date on which the Owner takes possession will also be the date of completion of the works.

Maintenance. Any defects or other faults which may appear and are notified to the Contractor within thirty-one days after completion of contract shall be made good by the Contractor at his own cost.

Extras. All additions, deductions, deviations or alterations must be authorised by the Owner in writing. In the absence of written authority by the Owner any variations performed by the Contractor with the oral authority of the Owner shall not debar him from claiming payment thereof.

Completion. On completion of contract, remove all plant materials and rubbish. Leave floors broom clean.

CARPENTER

General. All timber to be of the best of its respective kinds and according to the schedule, free from all defects and well seasoned. All grading of timbers must be strictly conformed to and any timber which does not meet the requirements of such grading shall be rejected and removed from the site.

Seasoning of Timbers. Before being machined, all joinery and dressing timbers shall be thoroughly air seasoned or kiln dried and before being built in, all framing timbers are to be reasonably well seasoned. All joinery kiln dried, dressed and finishing timbers, and all pre-built components shall be stacked under cover from the weather at all times prior to erection on the site. Internal finishing timbers to be machine sanded.

Paint Priming. The external face and laps of all exterior finishing timbers

external faces and rebates of window and door frames and all woodwork sashes shall be primed before being fixed.

### SCHEDULE OF TIMBERS

The sizes, quality, etc. of rough timbers, unless otherwise shown or specified are to be in accordance with the following schedule:-

<u>Designation</u>	<u>Size</u>	<u>Quality</u>	<u>Remarks.</u>
Sleeper plates	4 x 3	B.A.Ht.Rimu or Matai or treated pine.	
Floor Joists	6 x 2	B.A.Ht.Rimu or Matai or treated pine gauged.	18" centres
Bottom wall plates	4 x 2	Boric treated pine ga.	
Top wall plates	4 x 2	Boric treated pine ga.	
Studs generally	4 x 2	Boric treated pine.	18" crs.
Trimming studs to openings	4 x 2	Boric treated pine ga.	
Plates and Studs to minor partitions	3 x 2	Boric treated pine ga.	
Noggings to walls 2"x full thickness of wall stud.		Boric treated pine.	3 rows.
Braces external walls	6 x 1	Boric treated pine R.S.	
Braces internal walls	4 x 1	Boric treated pine R.S.	
Ceiling joists	4 x 2	Boric treated pine R.S.	
Ceiling Noggings	3 x 2	Boric treated pine R.S.	
Ceiling battens	2 x 1	Boric treated pine ga.	
Rafters	4 x 2	B.A.Rimu or b/t pine R.S.	30" crs.
Purlins	3 x 2	Boric treated pine R.S.	30" crs.
Collar ties	6 x 1	Boric treated pine.	Every 3rd pair rafters.
Fascia	6 x 1	D.A.Ht.Rimu or b/t Kaik.	
Flooring	4 x 1	T & G D.A.Ht.Rimu or Matai or b/t pine.	
Skirting	3 x $\frac{1}{2}$ "	D.A. C.O.B. Rimu	
Architraves	2 x $\frac{1}{2}$ "	D.A. C.O.B. Rimu	
Scriber	2 x $\frac{1}{2}$ "	D.A.Ht.Totara	
Weatherboards	6 x 1	Bevilled Back D.A.Ht. Rimu or Matai or b/t Kaik.	
Shelving	2 x 1-12 x 1	D.G.Radiata pine.	
Trusses	As alternative to ceiling joists and rafters purpose made Gang-nail trusses of b/t pine may be used.		

### BEAM SCHEDULE

Openings up to 4'6" wide	4 x 2 b/t pine.
From 4'6" to 6'8"	5 x 2 b/t pine.
From 6'8" to 8'10"	6 x 2 b/t pine.
From 8'10" to 11'0"	8 x 4 b/t pine.
Openings over 11'0" wide	10 x 4 b/t pine.

Framing. The whole of the building to be built in accordance with standard practice and shall comply with the standards as laid down in Code S.S.1900.

Flooring. Wood floors shall be laid in long lengths, cut close to all sides and angles, cramped close and double nailed. Before laying flooring, all shavings, peices of wood from all trade debris of every kind is to be removed from under the floor joists. End matching flooring can be used. If permissible by Lending Authority prelaying of flooring with application of approved sealing coat may be done. Machine sand all floors after completion.

Windows. Joinery to be constructed of approved heart or treated timber. Sills shall be double sunk, weathered and throated ex 6" x 2", jambs and heads to height as shown.

INTERIOR WALL LININGS.

Line the whole of the interior walls of all rooms and wardrobes, linen and H.W. cupboard with  $\frac{5}{8}$ " Gibraltar Board stopped flush for papered areas and battened at all joints for painted areas. Pinex may be used for ceiling.

DOOR FRAMING.

Internal Door Frames.  $1\frac{1}{2}$ " solid rebated or 1" frames with planted stops.

External Door Frames. Solid rebated stiles  $2\frac{1}{2}$ " pitched sills.

Doors Generally. External doors to be D.A.Ht. Totara, cedar or approved timber. Internal doors to be O.B. Rimu or Matai. Provide and fix doors to ceiling and base of house. Hang external doors on three galvanised butts and internal doors on three  $3\frac{1}{2}$ " butts.

Hot Water Cupboard. Cupboard shall be made to allow for removal of cylinder and to give easy access to heating element. Fix slat shelves out of 2" x 1" with  $\frac{1}{2}$ " space between.

Bathroom Cabinet. In bathroom construct a recessed shaving cabinet with mirror on door 24" x 16" overall, 4'3" from floor level.

Wardrobes. Finish wardrobes internally with a full length shelf out of 12" x 1" at a height of 5'9" and provide a  $\frac{3}{4}$ " diameter G.I. hanger rod supported at ends on neat wood fillets 2" below upper shelf.

Linen Cupboard. Provide in linen cupboard, five full depth shelves out of 1" material spaced at 12" centres and supported at ends on  $\frac{1}{2}$ " ledges.

Finish to Bath. Frame up bath on cradle of 3" x 2" timber on flat complete with 4" toe space. Provide 6" x 1" D.A.Ht. or b/t skirting scribed accurately to bath.

Ceiling Cornice. Provide wood cornice to all ceilings including cupboards to all rooms. All external corners to be mitred and internal corners to be neatly scribed.

Skirting and Architraves. All walls throughout shall be provided with skirting. Architraves shall be mitred at door and window heads and finish on to sill boards on all windows.

- - - - -

HARDWARE.

General. Provide and fix all ironmongery and metal work to complete the Contract.

Door Butts and Hinges. Fix with 1" screws. Cupboard doors generally shall be hung on 1 pair of 2" butts. Fix with  $\frac{3}{4}$ " screws.

- - - - -

PLUMBER.

General. The Contractor shall supply all materials, labour and plant necessary to complete the work in accordance with the Drawings, Specifications, Local Authority and Health Department by-laws. Give all necessary notices to the Local Authorities and arrange for the inspection and testing of the work and materials. The Contractor is to subject all water installations to a full water pressure test. All fittings and fixtures shall be tested and left in perfect order.

Flashings. In general the whole of the building shall be flashed wherever necessary to make the whole watertight. Provide and fix galv. window trays.

Spouting. Fix 24 gauge galv. iron spouting to eaves of house. All to be carried on strong brackets to suit.

Downpipes. Fix downpipes where required for satisfactory drainage.

W.C.Cistern. Shall be of approved manufacture securely fixed to wall and shall be low down cistern complete with stop-cock and ball-cock, approved flush valve and flush pipe to pan. W.C. shall be fitted up completely with necessary vent and left in working order with overflow taken outside through walls.

Water Service. All high pressure cold water shall be conveyed in 1/2" diam. P.V.C. Run branches to bath, hot water supply systems, basin, sink, wash tub, W.C., shower if required, flushing cistern and to the exterior hose taps. All branches, bends and angles, shall be made by the use of fittings. Run P.V.C. tube under floor joists and fix at 3ft centres with galvanised saddles. Hot water cylinder shall be 30 gal., constructed of copper, lagged and fitted up complete with element, thermostat and approved pressure reducing valve. Hot water service pipes to be copper and lagged.

Wastes and Traps. To bath, basin, sink and shower and tubs shall be run in P.V.C. with approved fittings to beneath floor level.

Vents. Main and terminal vents shall be placed where required.

SCHEDULE OF MATERIALS.

- Water taps.....Standard Chrome on Brass.
- Bath.....Pressed steel, white 5'6" long.
- Basin.....Vitreous enamel 22" x 16".
- Tub.....Stainless Steel

- - - - -

ELECTRIAN.

All work and material shall be in strict accordance with the latest electrical wiring regulations and carried out to the requirements of the Local Authority.

Switchboard and Meter Cabinet. Provide metal box of necessary size to be located by builder on or adjacent to rear porch, recessed into studs or veneer.

Cylinder. Allow for wiring the hot water cylinder. The plumber will supply the element and thermostat.

Electric Range. Allow the sum of \$170 for the cost only of a range. Provide for complete fixing with a minimum of 3'0" of wiring protected with flexible covering between wall and range.

Lights. Allow for 10 light points. Batten type lampholders complying with N.Z.S.S. and of P.D.L. or other approved manufacture having external parts finished ivory shall be used for all lighting points. Finish all lights with ivory conical plastic shades.

Switches. All lights shall be independantly switched unless otherwise directed. Wall type flush S.W. units complying with N.Z.S.S. and of P.D.L. or other approved manufacture with ivory finish. Locate switches 4'6" above floor.

Power Points. Allow for power points. Sockets shall be 10 amp. with 3 pin receptacle complying with N.Z.S.S. and P.D.L. or other approved manufacture. Finish with flush ivory plates similar to light switches.

- - - - -

PAINTER & PAPERHANGER.

Materials. All materials shall be of approved brand delivered in unbroken packages, bearing the makers name and brand complete. Material to comply with N.Z. standard specification.

Protection of Work. The Contractor is to take adequate precautions during and after painting operations both inside and out, to protect his work from dust, dirt or any disfigurement whatsoever.

External Work. The whole of the external woodwork usuall painted, whether particularly mentioned or not, and including joinery, both sides of doors and sashes and woodwork of porches shall be treated as follows:-

Firstly. Before erection, prime all exterior finishing timbers all window frames and sashes, including rebates before glazing, all frames and finishing woodwork which comes into contact with concrete, brickwork etc. with 1 coat of approved priming.

Secondly After foregoing, stop all nail holes and defects solid with best linseed putty and apply 1 coat of approved brand ready mixed undercoat.

Thirdly. Apply 1 approved brand of ready mixed finishing paint colour to be selected by Owner.

Fibrolite.All fkbrolite surfaces to be given two coats of latex paint or similar.

Internal Work.Materials to comply with N.Z.Standard Soecifications. No less than 3 coats to be applied to all woodwork.Kitchen, laundry,toilet and bathroom to be finished in enamel. Add suitable fugicide to sealers and wallpaper paste. Skirtings,architraves and interior window trims to be painted unless otherwise specified.

Ceilings. All ceilings with the exception of wardrobe ceilings to have two coats of approved flat paint.

Varnish Finish.All doors to papered rooms shall be varnished.

Paperhanger.Paper for whole as scheduled below:-

Lounge,dinette,halls, Bedrooms 1,2 & 3 & 4 @ \$1.30 per roll.

Note: Paperhanging to be done after house is installed.

Workmanship. All work to be done by experienced workmen. All paper to be hung true,plumb,free from surface blemishes or other defects to be properly matched and fitted neatly into corners and trimmed to woodwork. All papers to be close butted at joints. Paste to be of approved manufacture with an incorporate fungicide. All paste droppings to be removed from floor. All glass to be cleaned on completion.

Schedule of finish required other than specified:-

- - - - -

GLAZING. Glazing generally shall conform to the manufacturers recommendations with regard to thickness and weight. Here area of glass daes not exceed 3.5 sq.ft. use 18 ox. From 3.5 to 7 sq.ft. use 24 oz. Larger sashes to be 32 oz. Fixed glazing of larger areas to be 1/4" drawn plate.

- - - - -

GALVANISED IRON ROOF. Cover roof with 26 s.w.g. galv. corrugated iron, with 1 1/2 corrugations as side lap and 9" end lap, secured at every purlin with lead nails. Ridging and laps must be primed before fixing. Alternatively,long run iron may be used.Before fixing, cover purlins with 3" netting and building paper.

Schedule of Alternative Roofing.

- - - - -

WAIPA COUNTY COUNCIL

P.O. Box 12,  
TE AWAMUTU

20th April, 1972.  
.....

Owner/Builder,  
Mr. O'REGAN BROS. SAWMILL LTD.,  
.....  
P.O. BOX 911, .....  
.....  
HAMILTON .....

Dear Sir,

RE: ERECT DWELLING ..... / ..... WALSH ..... Road,  
Owner: R.G. HEMMING .....

Your application for a Building Permit for the above has been considered and on receipt of fees as required by the By-laws, the permit may be uplifted subject to the conditions noted below.

The Permit must be obtained before any work is commenced and the fees and charges payable are \$ 27.50 ..... This amount is made up as follows:-

- \$ 4.50 ..... Building Research Levy
- \$ 5.00 ..... Building Fee.
- \$ 8.00 ..... Plumbing & Drainage Fee.
- \$ ..... Percolation Fee

Yours faithfully,

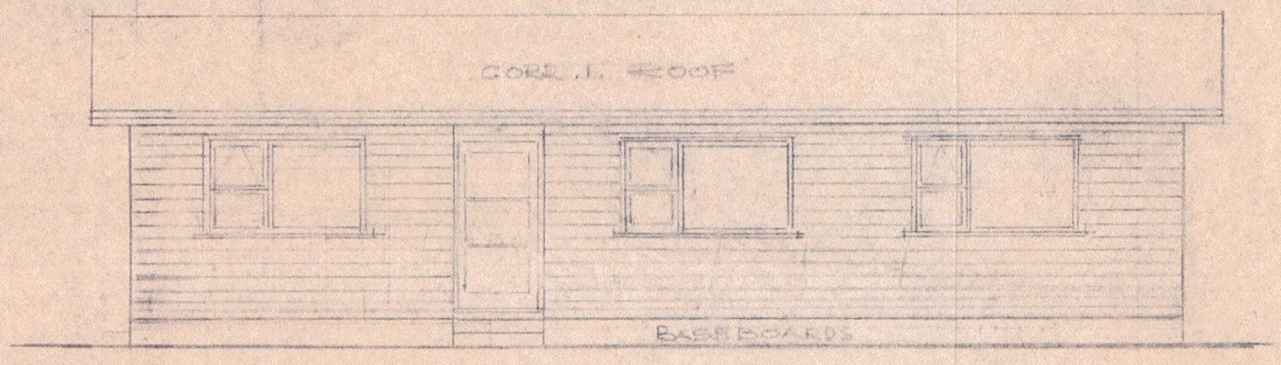


F.J. AMESS.

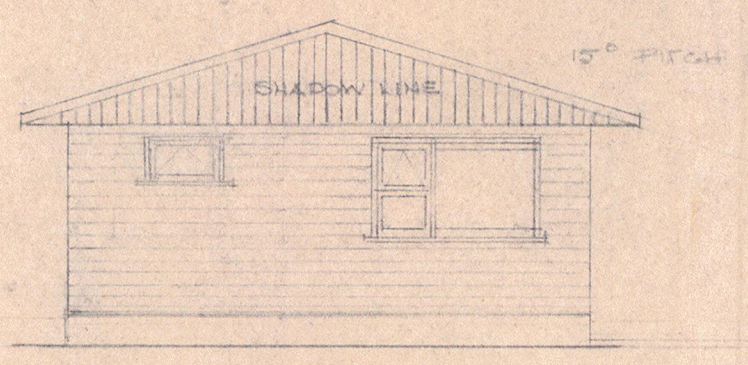
COUNTY BUILDING INSPECTOR

**Plumber and Drainlayer to uplift permit before work commences.**

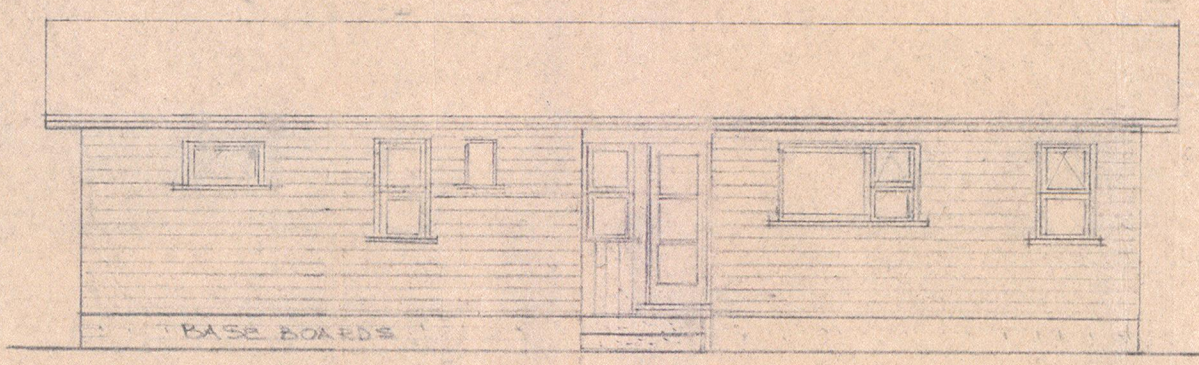
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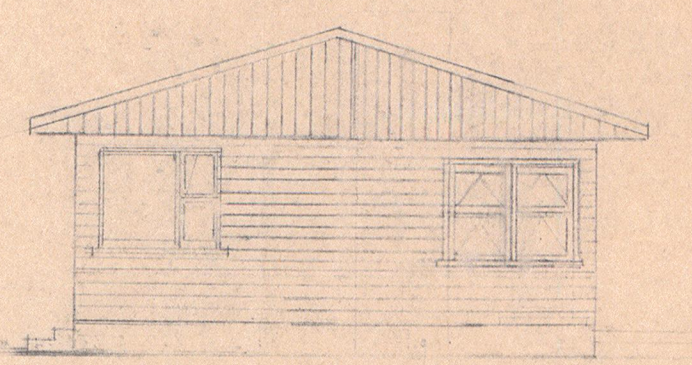
BACK ELEVATION



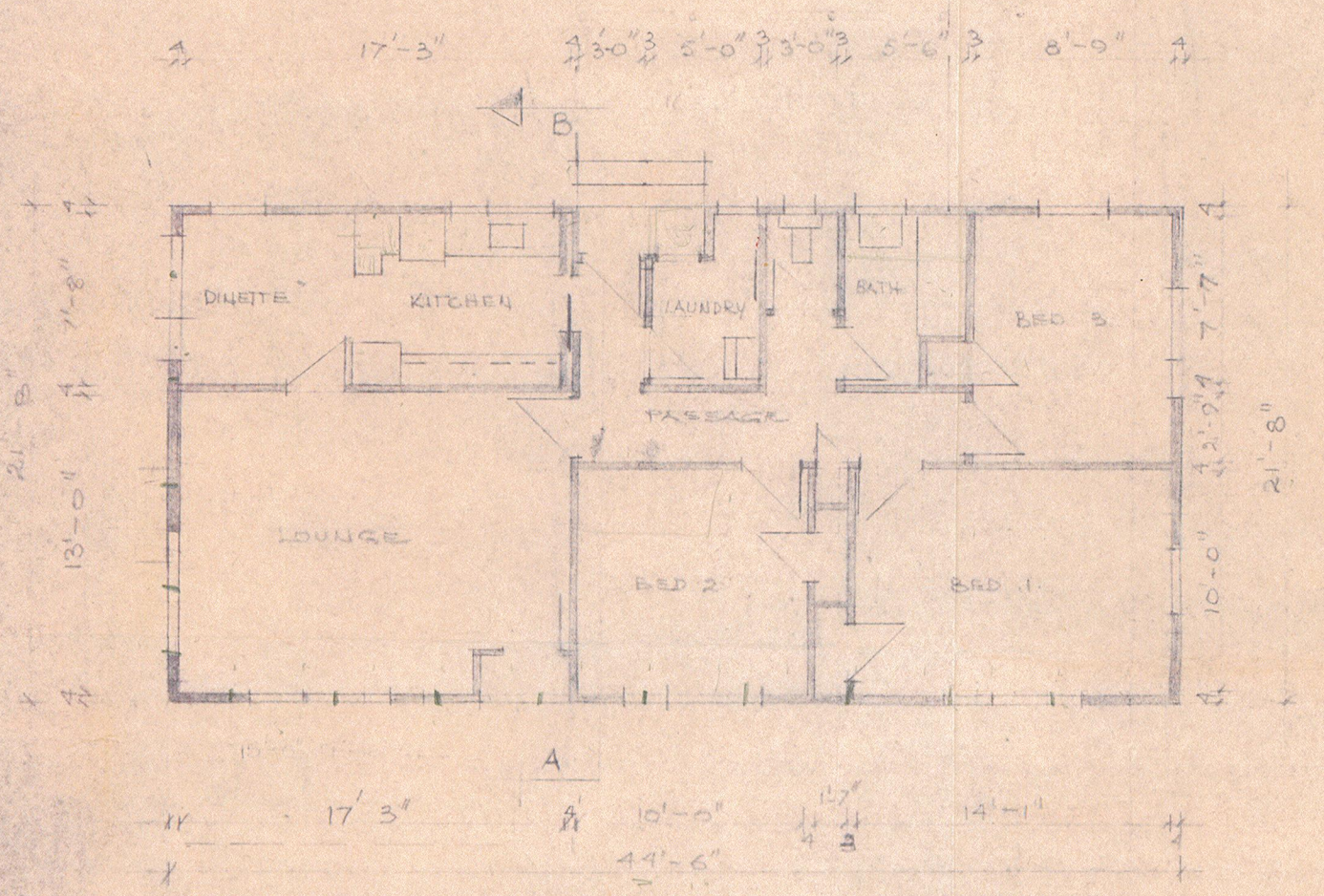
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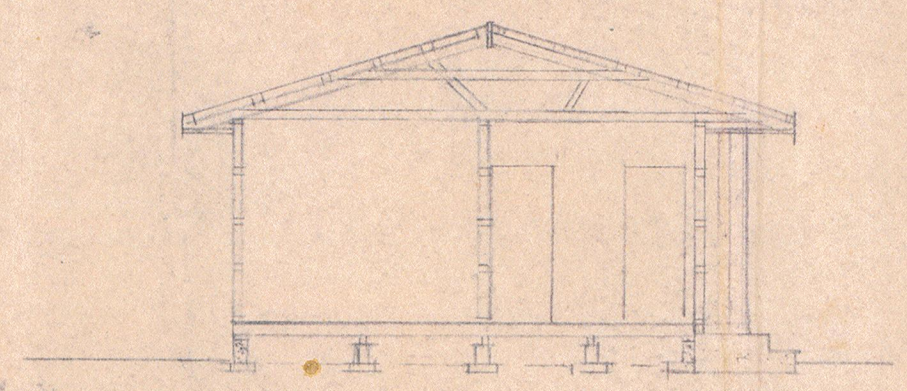
FRONT ELEVATION



END ELEVATION



FLOOR PLAN



SECTION A-B

SCALE DRAWN BY P

PREBUILT PLAN '69  
OREGON QUALITY "PREBUILT" HOMES

PRECUT OREGON BROS. SAWMILL LTD.  
DEPT. 2 RD. NGAHINEPOURI OHARU

Inspector M \_\_\_\_\_ File No. \_\_\_\_\_

Receipt No. **16051**

**11 DEC 1991**

Date Permit Issued **10 / 12 / 91**

**OWNER**

Name **J FREEMAN**

Mailing Address **R D 10**  
**WALSH ROAD**  
**FRANKTON**

**BUILDER**

Name **B PARK**

Mailing Address **BELLS ROAD**  
**WHATAWHATA**

**FILE**

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

**SITE**

Street No. \_\_\_\_\_

Street Name **WALSH ROAD**

Town/District **FRANKTON**

Riding **NEWCASTLE**

**LEGAL DESCRIPTION**

Valuation Roll No. **4420/176/00**

Lot **263B PUKETE D.P. PSH BLK IV ALEXANDRA SD**

Section \_\_\_\_\_ Block \_\_\_\_\_

Survey District \_\_\_\_\_

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

**ADDITION**

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	<b>121</b>	Number Erected	

ESTIMATED VALUES			
Building	}	<b>11500</b>	<b>00</b>
Plumbing			
Drainage			
G.S.T.			
<b>TOTAL</b>		<b>11500</b>	<b>00</b>

**NATURE OF PERMIT (TICK BOX)**

NEW BUILDING  
— exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED  
— include installation of heating appliances

NEW CONSTRUCTION OTHER THAN BUILDINGS — include demolitions

DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ <b>213 00</b>	Water Connection	\$ _____
Street Damage Deposit	\$ _____		\$ _____
Building Research Levy	\$ _____		\$ _____
Plumbing	\$ _____		\$ _____
Drainage	\$ _____		\$ _____
Sewer Connection	\$ _____		\$ _____
Vehicle Crossing Levy	\$ _____	G.S.T.	\$ _____
M.S. Plumbing	\$ _____	<b>TOTAL:</b>	\$ <b>213 00</b>

Receipt No. **16051**

Date of Payment **09 / 12 / 91**

Authorised Officer *J. Park*

Special Conditions:

- 24 HOURS NOTICE REQUIRED FOR ALL MANDATORY INSPECTIONS INCLUDING:**
  - FOUNDATION (PRIOR TO POURING CONCRETE)**
  - PRELINING**
  - INSULATION**

(OWNER OR BUILDER TO BE ON SITE AT TIME OF INSPECTION).
- WEATHERBOARDS TO COMPLY WITH NZS 3602.**
- STORMWATER TO BE DISPOSED OF IN AN APPROVED MANNER.**

Date Inspected	REMARKS (e.g. stage reached with work)
<b>16-12-91</b>	<i>Footings insp - Siting O.K. - ground O.K. Anchor pile system approved.</i>
<b>29-12-91</b>	<i>Pre-frame insp - Structure O.K.</i>



additional bracing & sheet bracing  
to be fitted. Owners on site  
& advised accordingly, require  
insulation imp floor to flooring  
bracing

18-3-92 Insulation imp to walls only  
o.k. to live.

10-12-92 Owners advised ceiling insulation  
put in on 8<sup>th</sup> 12-92. Now structurally  
complete  
S. S. 12

COMPLETED (Signature) \_\_\_\_\_ Date \_\_\_\_ / \_\_\_\_ / \_\_\_\_

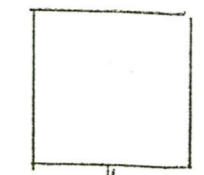
JEFFREY FREEMAN  
 RD 10 WALSH Rd  
 FRANKTON 829826



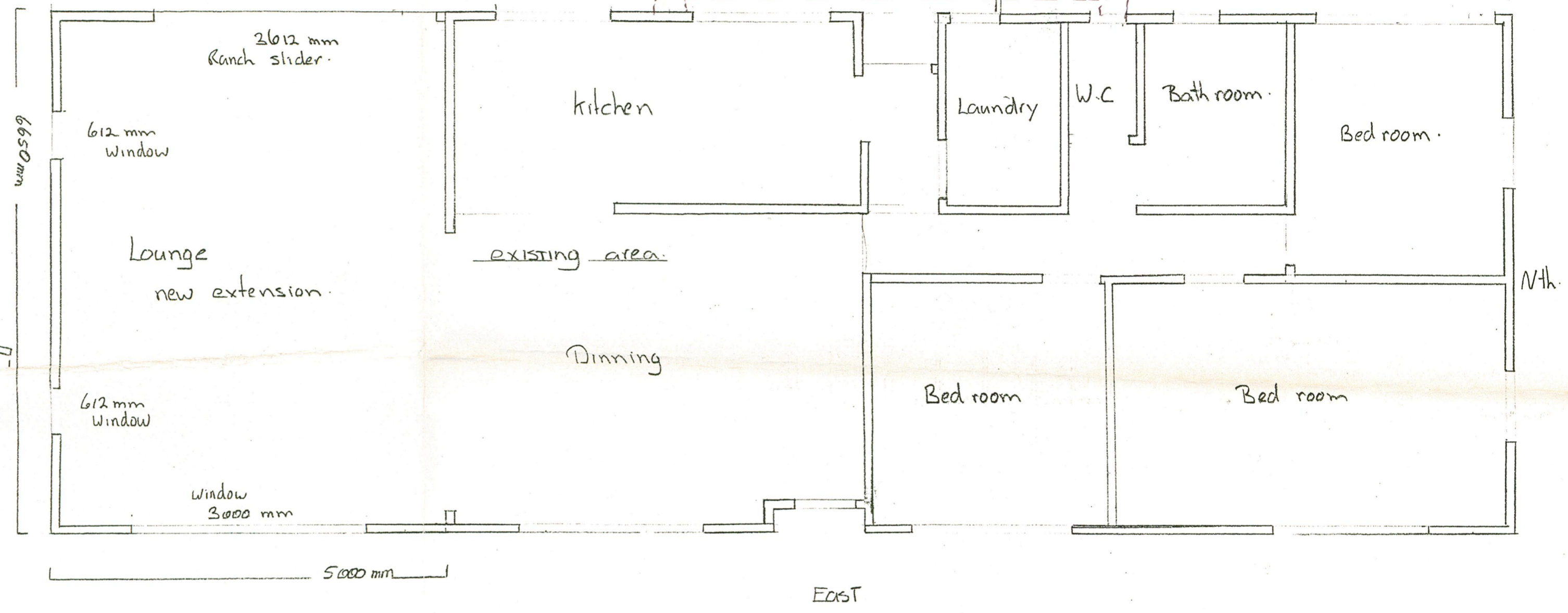
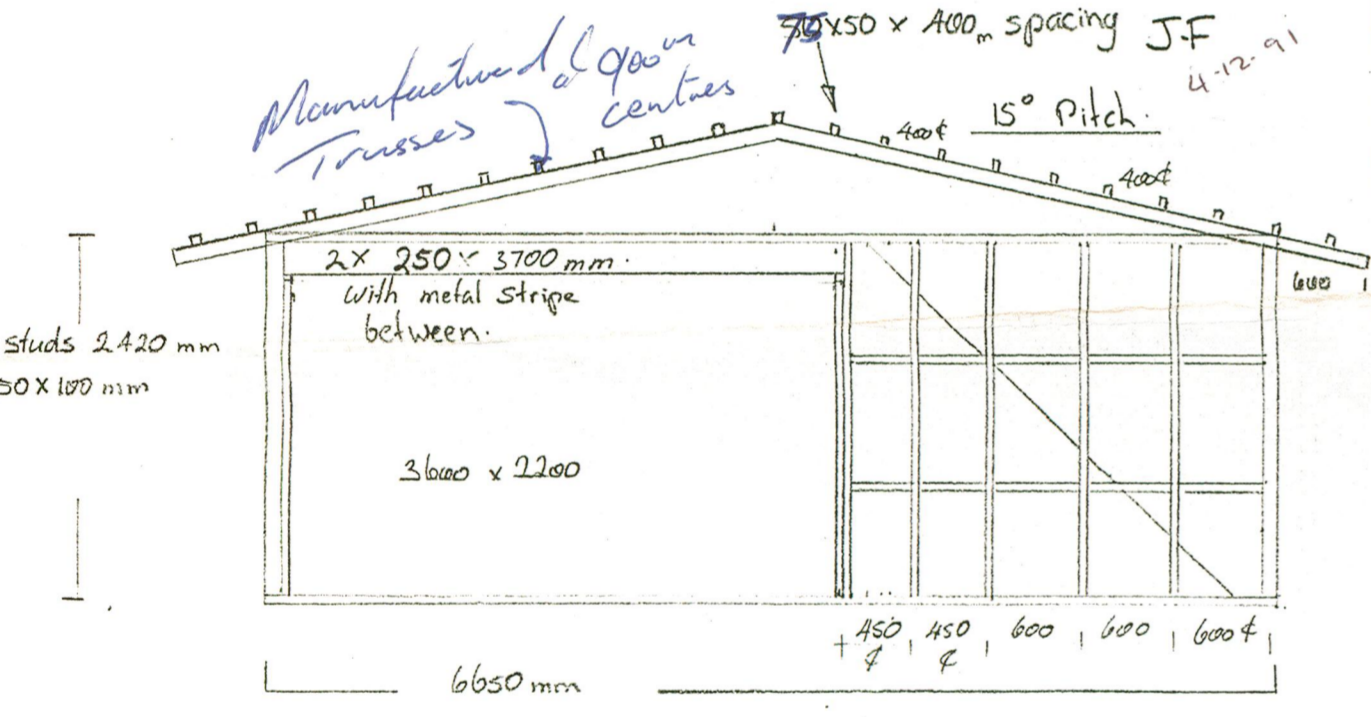
Roofing material Decra Bond metal tiles and roofing paper.  
 exterior wall cladding 125x25 weather board  
 and Building paper  
 Insulation Roc wool walls and ceiling

All window framing - Aluminium  
 Interior wall cladding GIB board 9.5 mm  
 Ceiling cladding GIB board

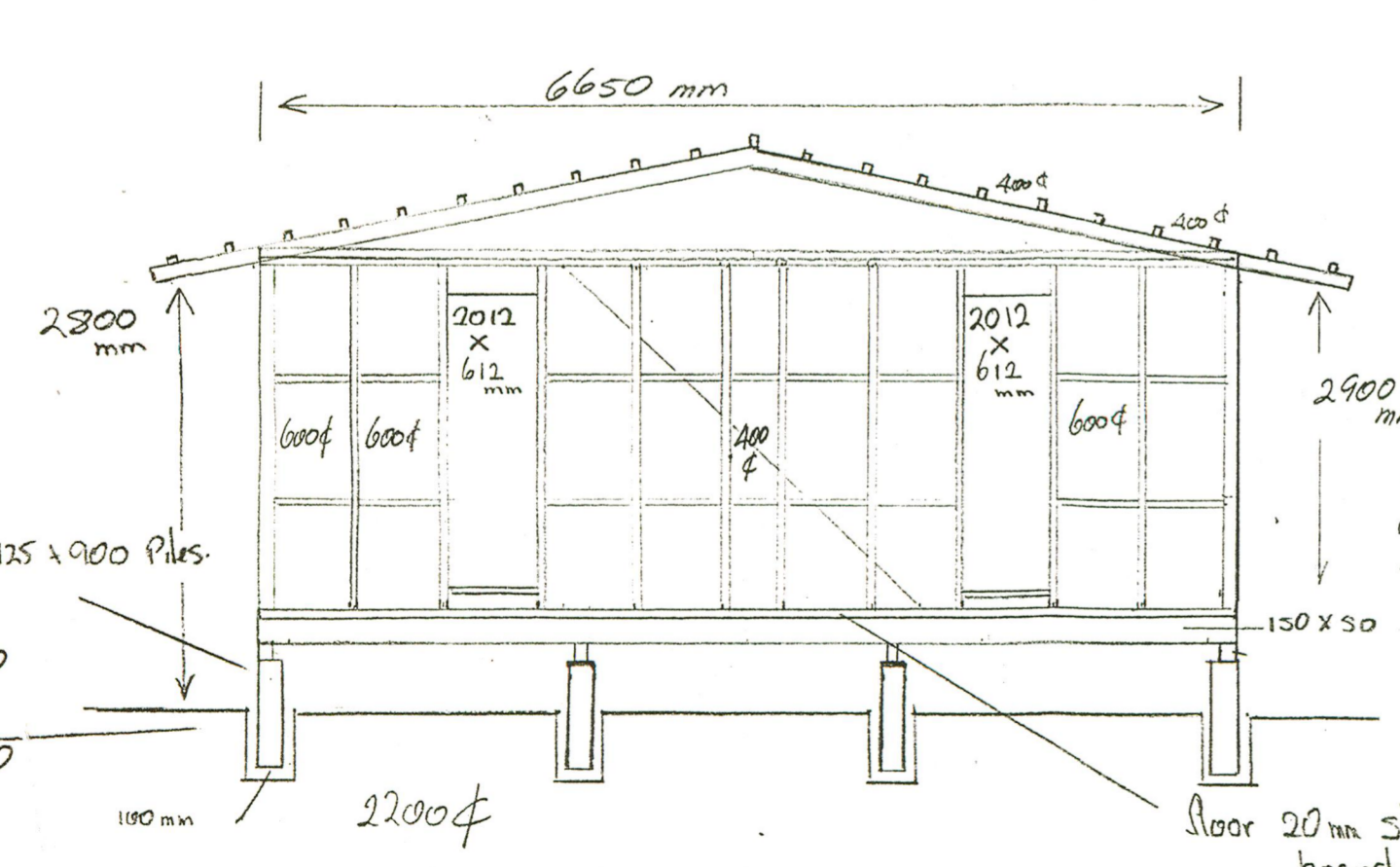
Direction of drainage



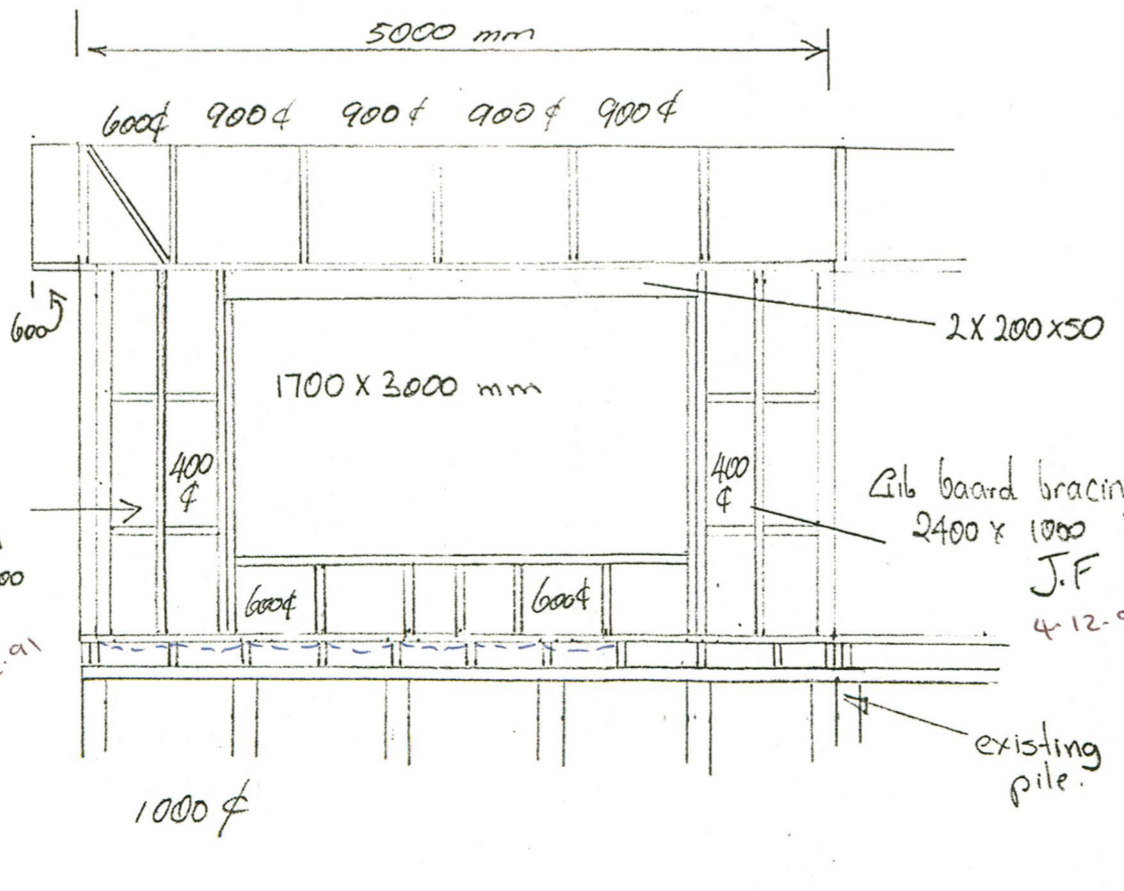
Septic Tank



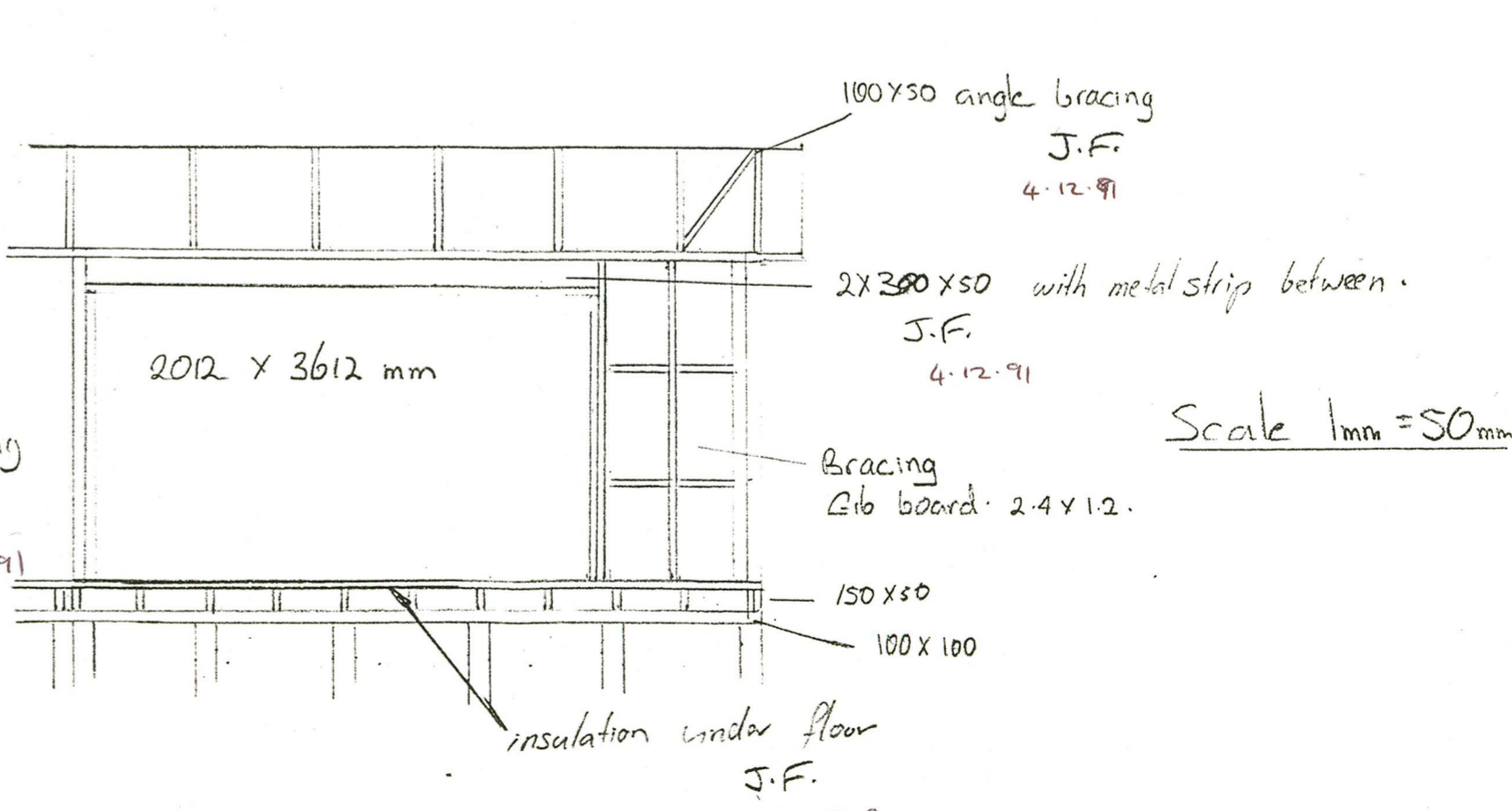
North wall (interior)



South end exterior



East end exterior

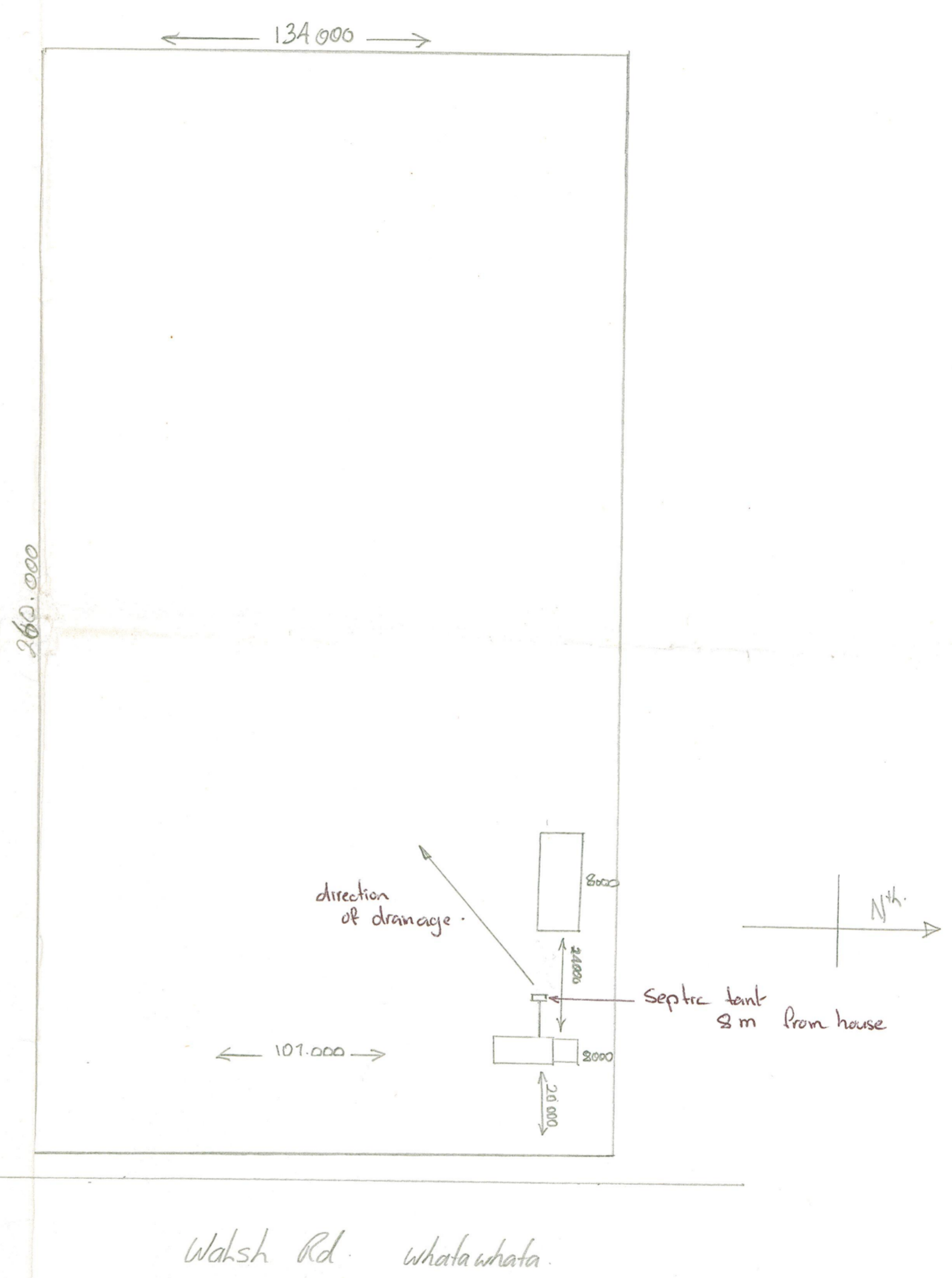
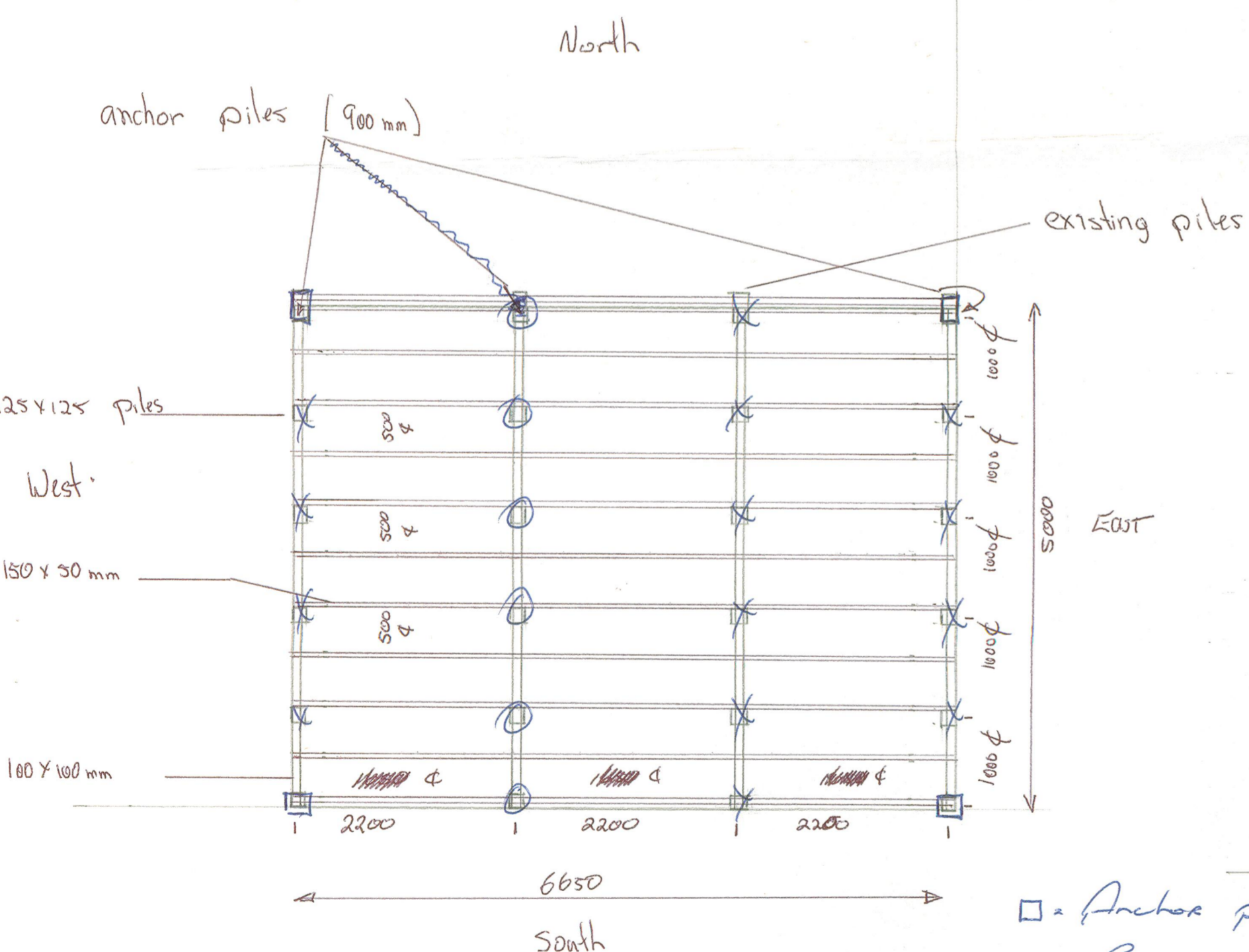


West end exterior

Scale 1mm = 50mm



10125368



- = Anchor pile = 900<sup>mm</sup> deep.
- = Cantelene pile = 450 deep
- x = Ordinary Piles = 300 deep

scale 1:1000

Inspector: M \_\_\_\_\_ File No. **IN COMPUTER**  
Receipt No. **47892** **30 NOV 1992** Date Permit Issued **01 / 12 / 92**

**OWNER**

Name **J & S FRESMAN**

Mailing Address **WALSH ROAD**  
**R D 10**  
**HAMILTON**

**BUILDER**

Name **J ZAMMIT**

Mailing Address **81 KILLARNEY ROAD**  
**HAMILTON**

**FILE**

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

**SITE**

Street No. \_\_\_\_\_

Street Name **WALSH ROAD**

Town/District \_\_\_\_\_

Ward **NEWCASTLE**

**LEGAL DESCRIPTION**

Valuation Roll No. **4420/176**

Lot **263B** D.P. **PUKETE PSH BLK IV**

Section \_\_\_\_\_ Block \_\_\_\_\_

Survey District \_\_\_\_\_

**DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE**

**HEATER**

**FLOOR AREA** Whole Sq. Metres

**DWELLING UNITS** Number Erected

ESTIMATED VALUES \$	Building	<b>1775 00</b>
	Plumbing	
	Drainage	
	G.S.T.	
<b>TOTAL</b>		<b>1775 00</b>

**NATURE OF PERMIT (TICK BOX)**

NEW BUILDING  
- exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED  
- include installation of heating appliances

NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions

DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

**FEES APPLICABLE**

Building Permit	\$ <b>90 00</b>	Water Connection	\$ _____
Street Damage Deposit	\$ _____		\$ _____
Building Research Levy	\$ _____		\$ _____
Plumbing	\$ _____		\$ _____
Drainage	\$ _____		\$ _____
Sewer Connection	\$ _____		\$ _____
Vehicle Crossing Levy	\$ _____	G.S.T.	\$ _____
M.S. Plumbing	\$ _____	TOTAL:	\$ <b>90 00</b>

Receipt No. **48892**

Date of Payment **20 / 07 / 92**

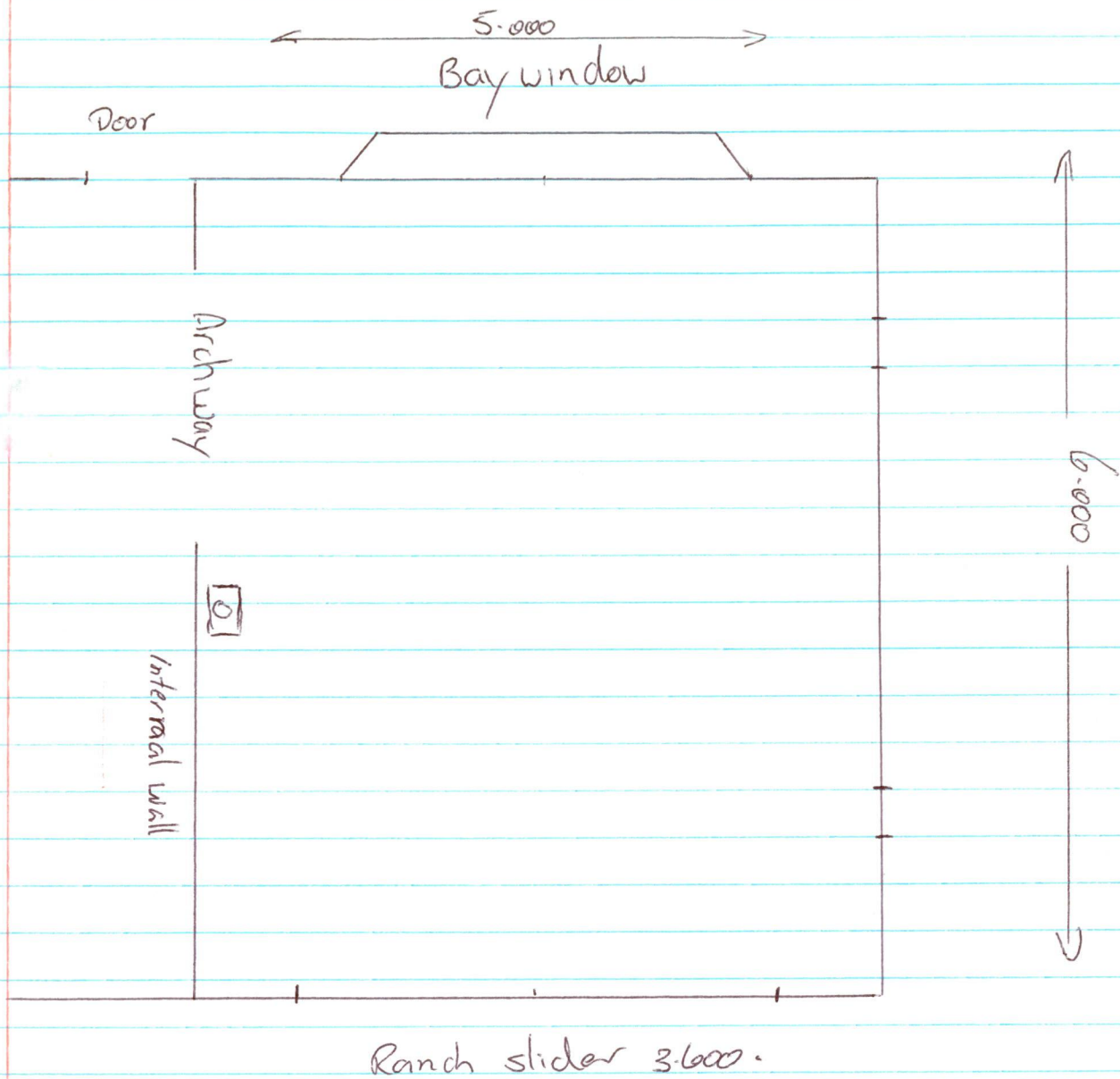
Authorised Officer *J. [Signature]*

Special Conditions: \_\_\_\_\_

- HEATER TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.**
- COUNCIL IS TO BE CALLED TO INSPECT APPLIANCE PRIOR TO IT BEING USED.**
- THE CEILING PLATE IS NOT TO BE FIXED UNTIL APPLIANCE HAS BEEN INSPECTED.**
- WHERE HEAT SHIELDS ARE REQUIRED, SPACERS ARE TO BE OF NON-COMBUSTIBLE MATERIAL EG. NOT TIMBER.**
- WETBACK INSTALLATION NOT COVERED BY THIS APPLICATION.**

Date Inspected	REMARKS (e.g. stage reached with work)
<b>10.12.92</b>	<i>Flow complete</i>

COMPLETED (Signature) \_\_\_\_\_ Date \_\_\_\_ / \_\_\_\_ / \_\_\_\_

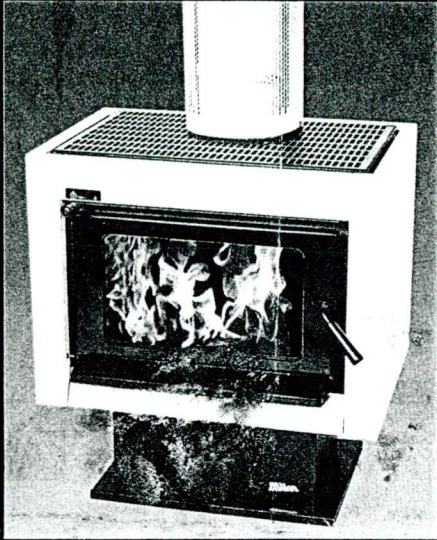


Scale. 1 = 50mm

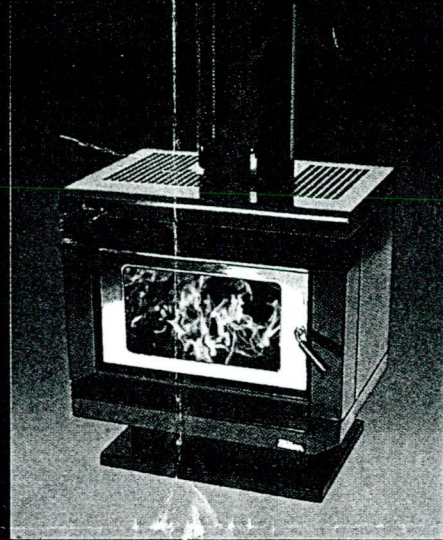
# MILAN

WOOD-BURNING FIRES

*Function with Form*



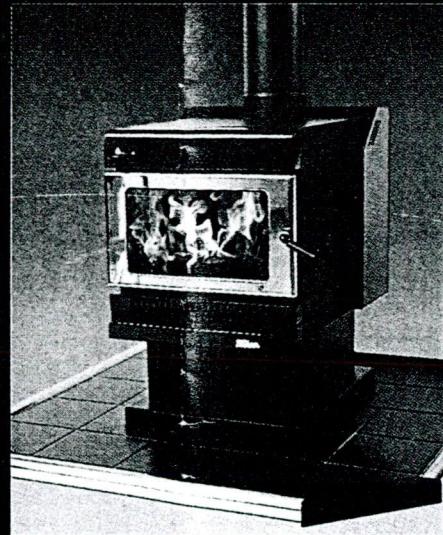
The MILAN F1-11



The MILAN PICCOLO



The MILAN INSERT



The MILAN TUSCANY

SOLID FUEL HEATING  
WAIKATO LTD.

81 KILLARNEY RD.  
FRANKTON.  
PH. (07) 847 9520

# MILAN

## WOOD-BURNERS

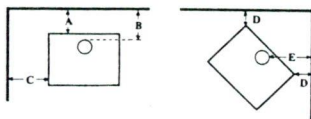
*'Function with Form'*

### THE MILAN PICCOLO

The Piccolo is, as its name suggests, the baby brother of the Milano. However, behind its elegantly designed appearance, hides a heart of heavy duty brick-lined steel, with a high energy output of 17kw. Milan makes it easy to combine all the visual appeal of the hearth of your home with a woodburner that heats the whole home.

Clearance minimum	A	B	C	D	E
Bare flue	400	465	350	245	475
Screened flue	175	240	300	100	330

TECHNICAL SPECIFICATIONS:  
 Weight ..... 80kg  
 Flue size ..... 150mm  
 Heating capacity ..... 17kw  
 Overall height height ..... 630mm  
 width ..... 600mm  
 depth ..... 490mm  
 Depth to door ..... 345mm  
 Length of log ..... 375mm



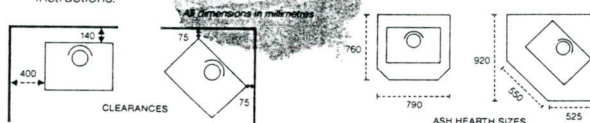
### THE MILAN F1-11

The Milan F1-11 heater and its many quality design features offer extraordinary value for money. Just compare our prices with competitors. And its simple, clean, space-saving lines mean the Milan is the ideal heater in smaller rooms and homes where a larger unit would intrude.

#### TECHNICAL SPECIFICATIONS

DIMENSIONS (mm)	With Cabinet	Without Cabinet
Overall Height	640	625
Firebox Height	600	585
Overall Width	600	520
Depth to Door	420	385
Overall Depth	480	445
Flue Diameter	150	150
Length of Log	400	400
Heat Output MAX KW	10	10

Clearances to combustible walls and ash-hearth dimension are for F1-11 with cabinet and flue shield fitted. For other configurations refer to installation instructions.

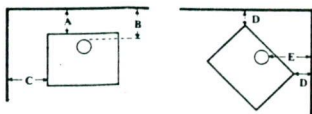


### THE MILAN TUSCANY

Inspired by rustic scenes and blended with a contemporary mood, Tuscany offers today's alternative to the pot-belly. The Tuscany represents Milan's form without frills approach to efficient home heating, in basic black or stylish grey/black. And inside, of course, all the efficient heating features of the Milan Range. It has a large flat-top suitable for cooking meals.

Clearance minimum	A	B	C	D	E
Bare flue	600	645	800	500	700
Screened flue	200	245	750	350	550

TECHNICAL SPECIFICATIONS:  
 Weight ..... 82kg  
 Flue size ..... 150mm  
 Heating capacity ..... 19kw  
 Overall height height ..... 710mm  
 width ..... 510mm  
 depth ..... 655mm  
 Depth to door ..... 525mm  
 Length of log ..... 425mm

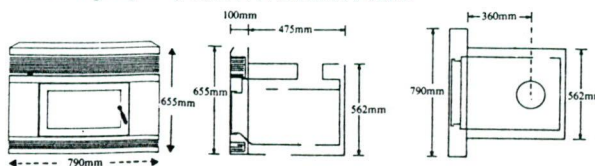


### THE MILAN INSERT

Home is where the heat is — relaxing in front of the warmth and elegance of the Milan woodheater that won the coveted Design Mark Award from the New Zealand Industrial Design Council. The Milan Insert is a high performance heater that will heat your home fast and effectively. Its superior design features make the Milan Insert an attractive, lasting addition to your home.

#### TECHNICAL SPECIFICATIONS:

Weight ..... 100kg  
 Flue size ..... 150mm  
 Heating capacity ..... 18kw



Milan Fires are manufactured and distributed by:

**MILAN HEATING SYSTEMS LTD.**

11B STONEDON DRIVE, EAST TAMAKI, P.O. BOX 58-677, GREENMOUNT  
 TELEPHONE (09) 273-9051.



FILE COPY



**FINAL CODE COMPLIANCE CERTIFICATE**

Section 43(3) Building Act 1991  
 ISSUED BY THE WAIKATO DISTRICT COUNCIL  
 BUILDING CONSENT NUMBER: 97252

APPLICANT:	PROJECT
Name & Address: D R Stuart C/- Building Innovatonz 382 Avalon Dr HAMILTON 2001	erect a garage  Intended use(s) in detail:
<b>CONTRACTOR:</b>	GARAGE
Name & Address:	Intended life: 50 Year(s)
<b>PROJECT LOCATION:</b>	Indefinite but not less than 50 years <input checked="" type="checkbox"/>
160 Walsh Road WHATAWHATA	
<b>LEGAL DESCRIPTION:</b>	
Property Number: 1005951  Valuation Roll Number: 04420/176.00  Legal Description: ALLOT 263B PUKETE PSH ML 12738	

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of Council:

Signature: *Donna Proud*

Name: Donna Proud  
 Position: **Environmental Administration**  
 Date: 06 May 2004



## BUILDING CONSENT NO. ABA 97252

Section 35, Building Act 1991

ISSUED BY: WAIKATO DISTRICT COUNCIL

APPLICANT	PROJECT
<p>Name: STUART, DAVID RALPH</p> <p>Mailing Address: C/- BUILDING INNOVATIONZ, 382 AVALON DR, HAMILTON 2001</p>	<p>All <input type="checkbox"/></p> <p>Stage No ..... of an intended ..... stages</p>
<b>PROJECT LOCATION</b>	
<p>Street Address: 160 WALSH ROAD, WHATAWHATA</p>	<p>New or <del>Relocated</del> Building <input checked="" type="checkbox"/></p> <p>Alteration/Addition <input type="checkbox"/></p> <p>Demolition <input type="checkbox"/></p>
<b>LEGAL DESCRIPTION</b>	
<p>Property Number: 1005951</p> <p>Valuation Roll No: 04420 17600</p> <p>Legal Description: ALLOT 263B PUKETE PSH BLK IV ALEXANDRA S</p>	<p>Intended Use(s) in detail: GARAGE</p> <p><b>Intended Life:</b> Indefinite, not less than 50 years <input checked="" type="checkbox"/></p> <p>Specified as ..... years <input type="checkbox"/></p> <p>Estimated Value: \$ 10000</p>
<b>COUNCIL CHARGES</b>	
<p>The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:</p> <p>Total: \$ </p> <p>ALL FEES ARE GST INCLUSIVE</p>	<p>Signed for and on behalf of the Council: Name: <u>Anne Scardell</u></p> <p>ENVIRONMENTAL ADMINISTRATION</p> <p>Date: 30/07/2003</p>

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act not permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached 2 pages headed "Conditions of Building Consent No ABA 97252"

WAIKATO DISTRICT COUNCIL  
Conditions in respect of the Building Act 1991  
Section 224, Building Act 1991

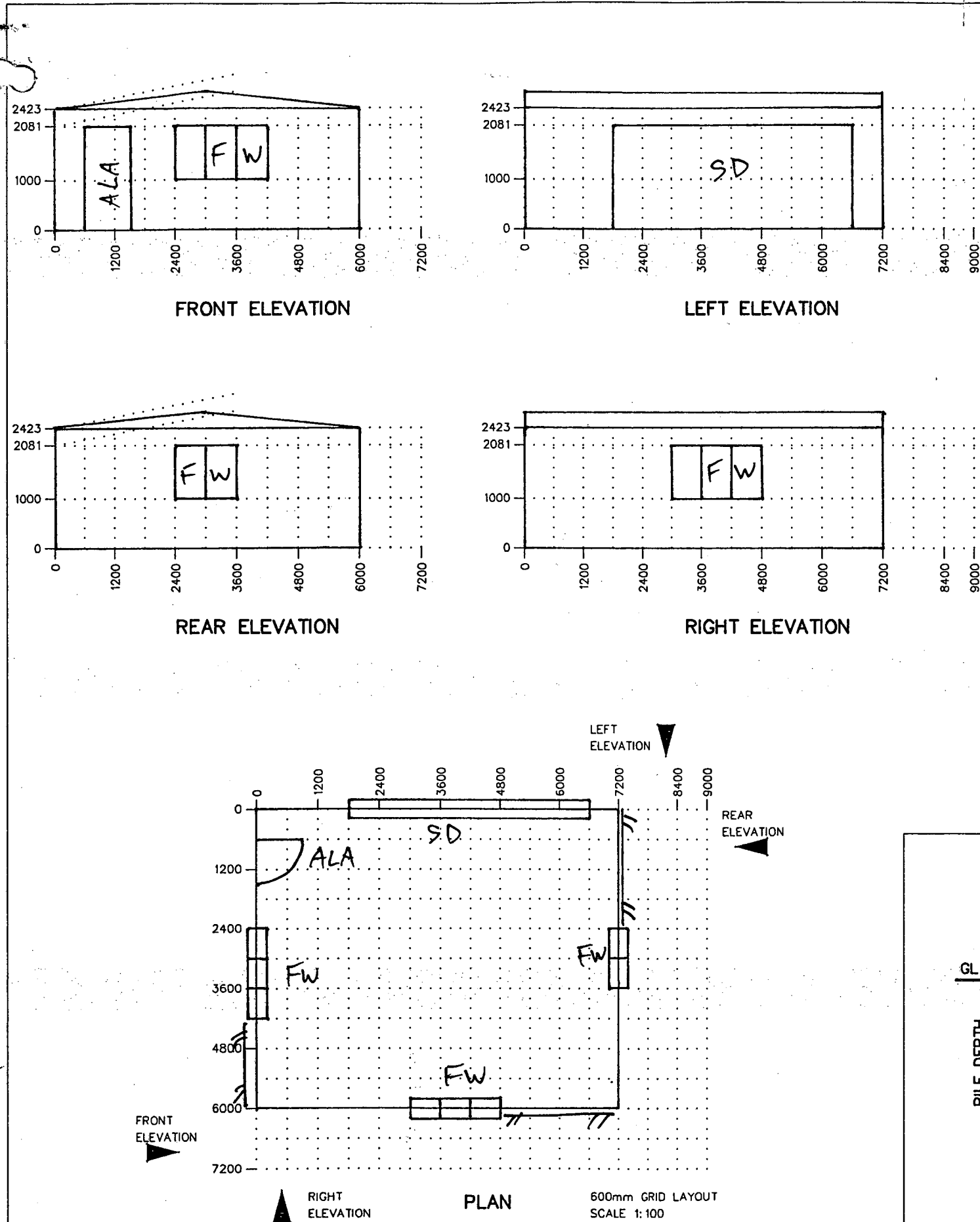
Conditions of Building ConsentNo: ABA 97252

Page: 1

- 
- 1 ) Can you please ensure that 24 hours notice is given prior to requiring the following inspections:
    - a) Foundation (prior to pouring concrete)
    - b) Floor (prior to pouring concrete)
    - c) Final inspection to be called for  
(The owner or builder shall be on site at the time of inspection)
  - 2 ) Trusses or rafters shall be fixed at tails to top plate with wire dogs at each end.
  - 3 ) Roof shall be braced to comply with Table 10.1 NZS 3604, 1999.
  - 4 ) The moisture barrier beneath the floor shall comply with the New Zealand Building Code 1991.
  - 5 ) Soils may be soft in this area.  
  
Foundations shall sit on soils capable of supporting 100kpa. If soft soils are encountered an engineer's design of the foundations will be required.
  - 6 ) All drainage and plumbing shall comply with the New Zealand Building Code 1991.
  - 7 ) At least 24 hours notice shall be required for plumbing and drainage inspections.
  - 8 ) Stormwater shall be disposed of in an approved manner.
  - 9 ) All roof trusses to be designed and fabricated by a certified manufacturer.
  - 10 ) Frame fixing to comply with table 8.14, 8.18, 10.9, 10.10 or 10.13 Figure 8.12 NZS 3604:1999.
  - 11 ) Please contact Councils Regulatory Engineer ( Roading ) regarding the location and construction of the proposed new entrance.
  - 12 ) Lapse and cancellation of building consent.  
This building consent shall lapse and be of no effect if:
    - a) The building work concerned has not been commenced within 6 calendar months after the date of issue of the consent; or
    - b) Reasonable progress on the building work has not been made within 12 calendar months after work has commenced.The Council can exercise its discretion in either case.

Date: 30/ 7/03

Signed: 



**LEGEND**

nb: 1.2m

INDICATES WEATHER BOARDS NAILED AT PREFERRED CENTRES. TO ACHIEVE DIAPHRAGM SHEET BRACE UNIT

- R = ROLLA DOOR
- Sd = SECTIONAL DOOR
- FW = GARAGE FIXED GLASS WINDOW
- AL = ALUMINIUM WINDOW
- ALR = ALUMINIUM RANCHSLIDER
- ALD = ALUMINIUM DOOR
- ALA = STANDARD GARAGE ACCESS DOOR
- D.P. = DOWN PIPE

DATE

LENGTH 7.2 WIDTH 6 AREA 43.2

FRAME HEIGHT 2081  2423

CLADDING ~~DELUXE COLORSTEEL / LINED DELUXE COLORSTEEL~~  
~~TRADITIONAL COLORSTEEL / TRADITIONAL ZINC~~  
 BUILDING PAPER YES / ~~NO~~  
 EXTRA BRACING REQUIRED  
 NIL  X BRACE  PLY BRACE

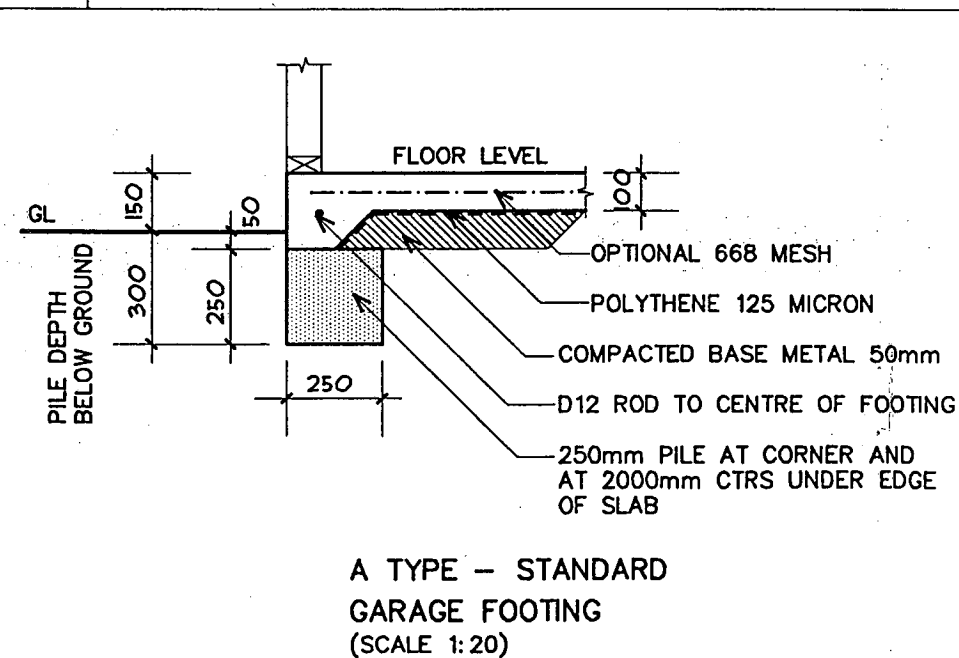
ROOF ~~METDECK / CORRUGATED~~  
~~COLORSTEEL / ZINC~~  
 PITCH DEGREES 11.9 BUILDING PAPER YES / ~~NO~~  
 BRACING REQUIRED  
 NIL  SINGLE  DOUBLE

FLOOR CONCRETE

WIND ZONE LOW / MEDIUM HIGH VERY HIGH

**SPECIFICATION FOR THRIFTY**

**FOUNDATIONS:**  
 TYPE A STANDARD  
 B, C, D, E, = (ALL ENGINEERED DESIGN) REFER MASTER DESIGN BOOKLET AND ATTACHED PRODUCER STATEMENT  
 CONCRETE FLOOR 100mm THICK 20 MPa  
 POLYTHENE / 668 MESH  
 STEEL REINFORCING REFER FOUNDATION DETAIL  
**TIMBER FRAME:** 90 x 35  
 WALL FRAMING; LASER FRAME STUDS AT 1.2m CTRS MAX  
 2.1m FRAME = ONE ROW OF NOGS/  
 2.4m FRAME = TWO ROWS OF NOGS  
 DPC TO UNDER SIDE OF BOTTOM PLATE  
 TRUSSES - PRYDA, CLAW NAIL, MADE UNDER LICENCE "IDEAL"  
 TRUSS CTRS = 2.4m MAX  
 PURLINS - 90 x 45 AT 1.5m CTRS  
**STRUCTURAL CONNECTIONS:** REFER MASTER DESIGN BOOKLET  
 WEATHERBOARD CLADDING:  
 TRADITIONAL 100mm BEVEL BACK/  
 DELUXE / LINE DELUXE / CORRUGATED METDECK  
 ZINCALUME / G2Z COLORSTEEL  
**ROOFING:**  
 0.40g CORRUGATED / 0.4g METDECK  
 ZINCALUME / G2Z COLORSTEEL  
 BUILDING PAPER - BLACK  
 RIDGING - NOTCHED / FLASHGUARD  
 BARGES - ZINC / G2Z COLORSTEEL  
 GUTTERS - ROLLFORMED - SWAGGED  
 GABLE CLADDING - VERTICAL BATTEN  
 WEATHERBOARD TO MATCH WALLS.  
 WINDOWS AND DOORS REFER LEGENDS  
 ELECTRICAL - SEE LEGEND  
 PLUMBING - SEE LEGEND  
 OTHER:



Waikato District Council  
 Mail Ref.: .....  
 Referred to: .....  
**REC'D 22 JUL 2003 REC'D**  
 Copy to: .....  
 Instructions: .....



HAMILTON: 382 AVALON DRIVE  
 HAMILTON NEW ZEALAND  
 PHONE (07) 849 1600  
 025 595 692 MOBILE

Dave Stuart  
 160 Walsh Rd  
 RD10 Hamilton

ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO IDEAL COPYRIGHT

T117

PLAN TYPE: FLOOR PLAN / ELEVATIONS  
 FOUNDATION / SECTIONS

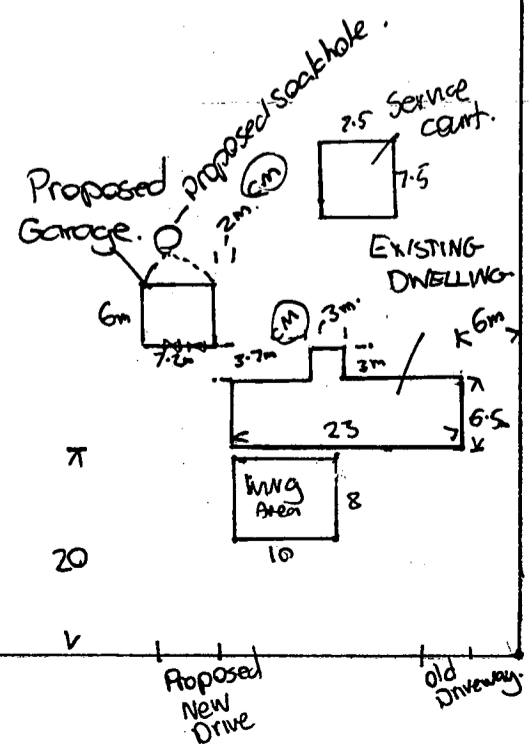
date: 14/7/03 drawn: Kane  
 SCALE:  
 COUNCIL: Waikato A01

131.38m.

272.90m

Dave STUART  
160 Walsh rd  
Allotment 263B  
Parish of Puketapu  
3.6067 hectares.  
Scale 1:750.

274.47m



132.27m.

W. J. J. J.	RECD 22 JUL 2003
Scale Ref: .....	RECD
Referred to: .....	
Copy to: .....	
Instructions: .....	



Part 1: Introduction and general provisions / How the plan works / Relationships between spatial layers

## Relationships between spatial layers [000047, 000055, 000078]

The District Plan uses a range of spatial layers that are shown on planning maps including zones, overlays, site-specific controls, development areas and designations. The function of each spatial layer is set out in the National Planning Standards, November 2019, as follows:

### *Zones*

A zone spatially identifies and manages an area with common environmental characteristics or where environmental outcomes are sought, by bundling compatible activities or effects together, and controlling those that are incompatible. The spatial area of each zone is shown on the planning maps. Every part of the district (except for roads) is in one zone and the zones do not overlap.

### *Overlays*

As well as zones, there are various overlays (such as Outstanding Natural Landscapes and Significant Natural Areas) and sites/features (such as Historic Heritage buildings). An overlay spatially identifies distinctive values, risks or other factors which require management in a different manner from underlying zone provisions.

### *Site-specific controls*

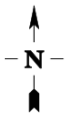
Site-specific control spatially identifies where a site or area has provisions that are different from other spatial layers or district-wide provisions that apply to that site or area.

### *Precincts*

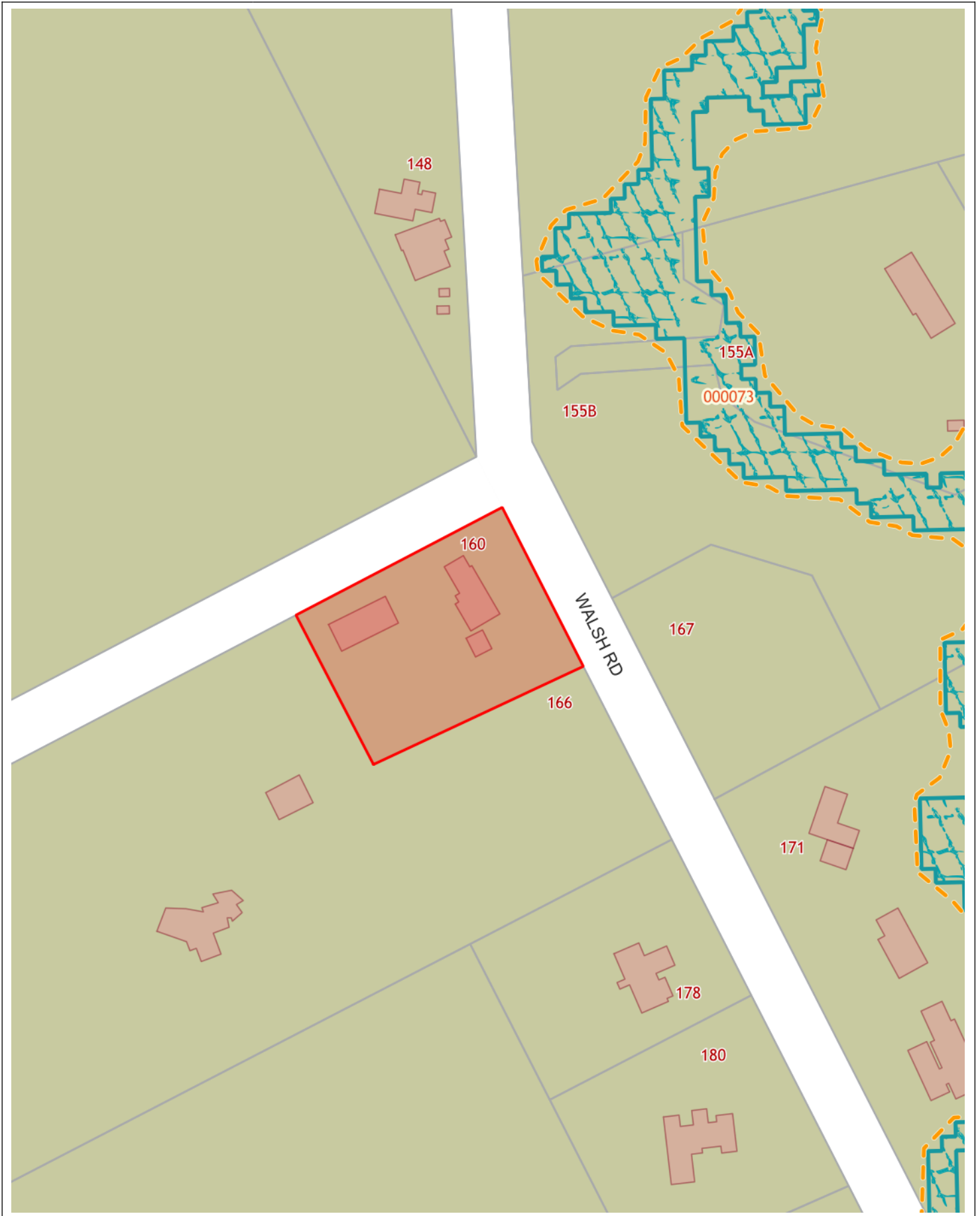
A precinct spatially identifies and manages an area where additional place-based provisions apply to modify or refine aspects of the outcomes anticipated in the underlying zone(s).

### *Designations*

A designation is a provision in a district plan for a public work or project. Only a requiring authority can give notice of a requirement for a designation.



# Waikato District Plan (Operative in Part)



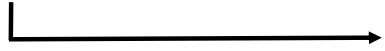





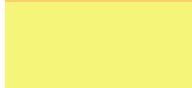

# Waikato District Plan - Operative in Part Map Legend

## OPERATIVE

### ZONES






#### Zones

-  MRZ2 - Medium density residential zone 2
-  GRZ - General residential zone
-  OHI - Ohinewai zone

### OVERLAYS








#### Precincts

-  Commercial
-  Industrial
-  Residential



#### Specific controls Residential zones

-  Geotechnical limitation area
-  Tuurangawaewae Marae surrounds
-  Tuurangawaewae Marae Outlook High Potential Effects Area
-  Tuurangawaewae Marae building Height Assessment Overlay
-  Outer intensification area

# OPERATIVE IN PART

## OVERLAYS

### District-wide matters

#### Energy, infrastructure and transport



Indicative road



Gas transmission line



National grid

#### Hazards and risks overlays



Coastal sensitivity area (erosion)



Coastal sensitivity area (inundation)



Defended area



Flood plain management area



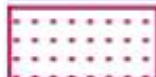
Flood ponding area



High risk coastal erosion area



High risk coastal inundation area



High risk flood area



Mine subsidence risk area

#### Historical and cultural values overlays



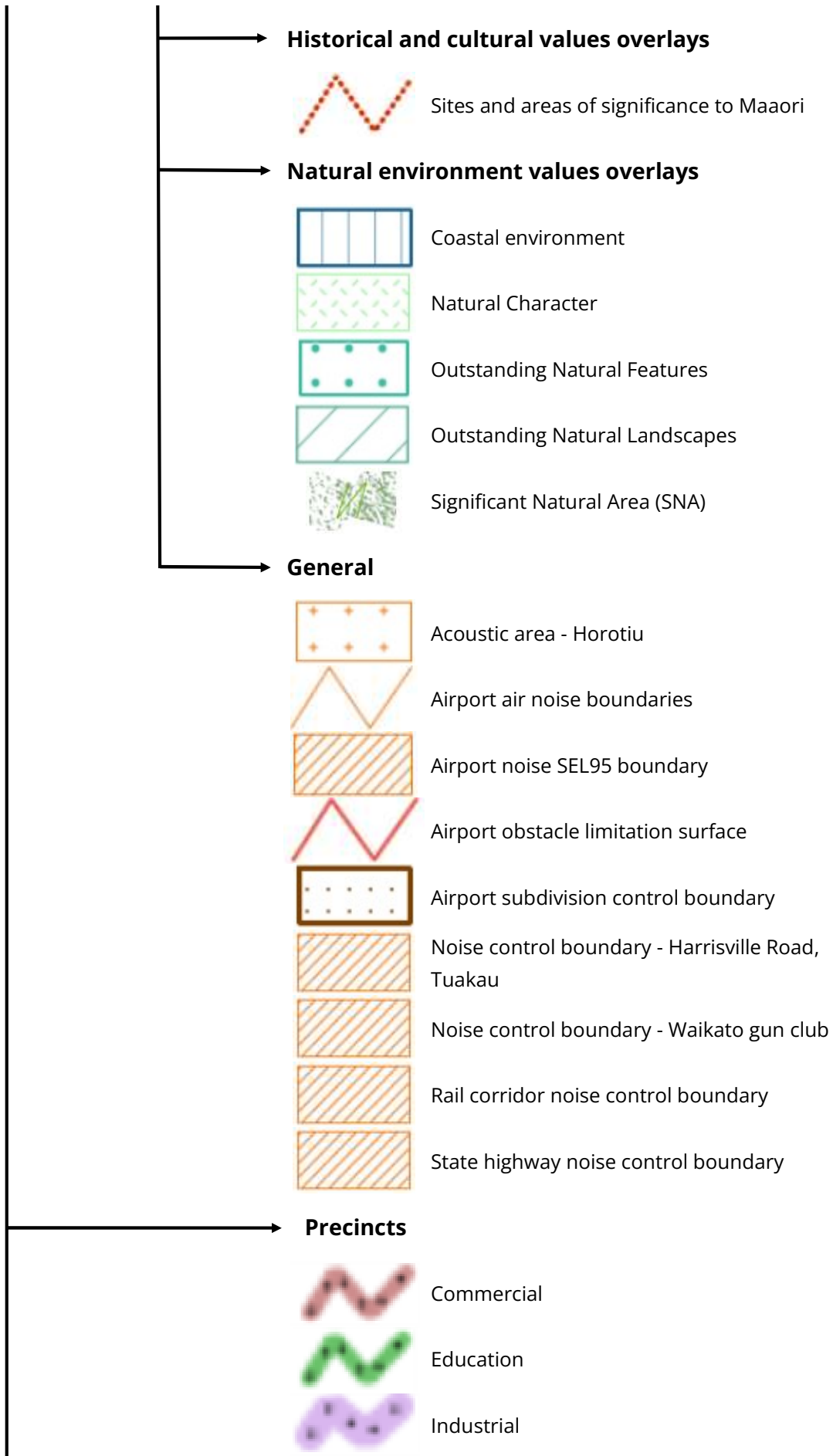
Historic heritage item

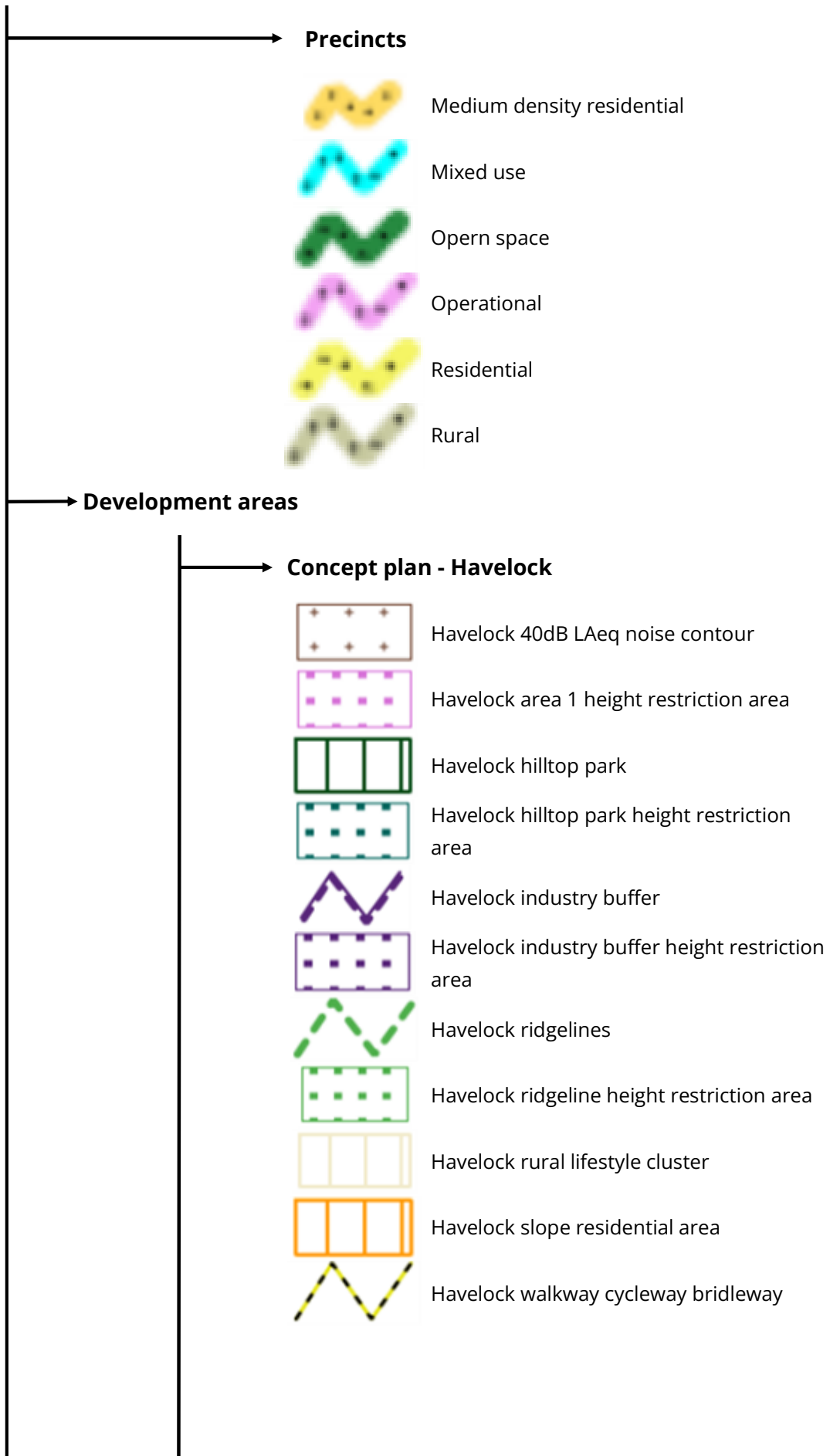


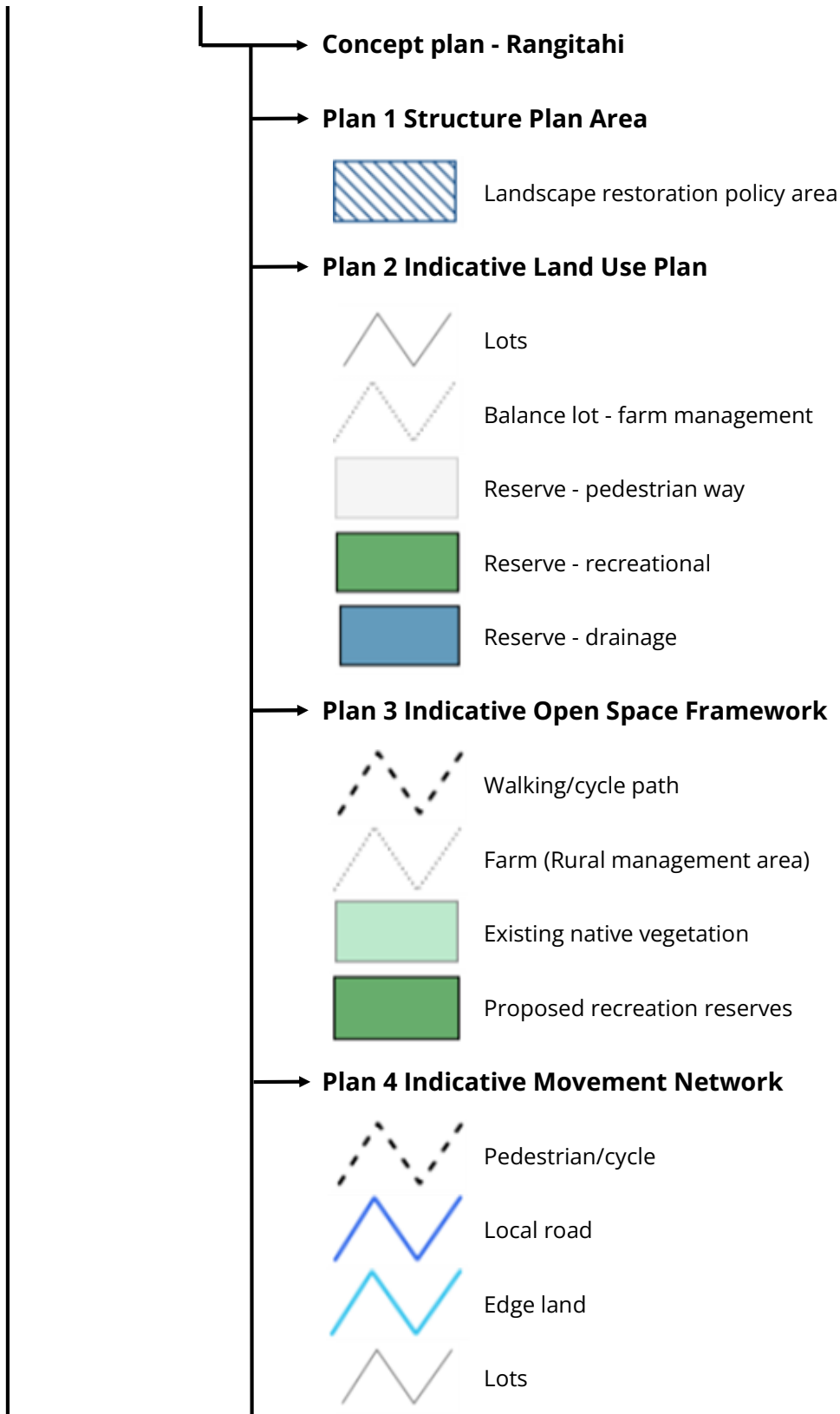
Extent of setting

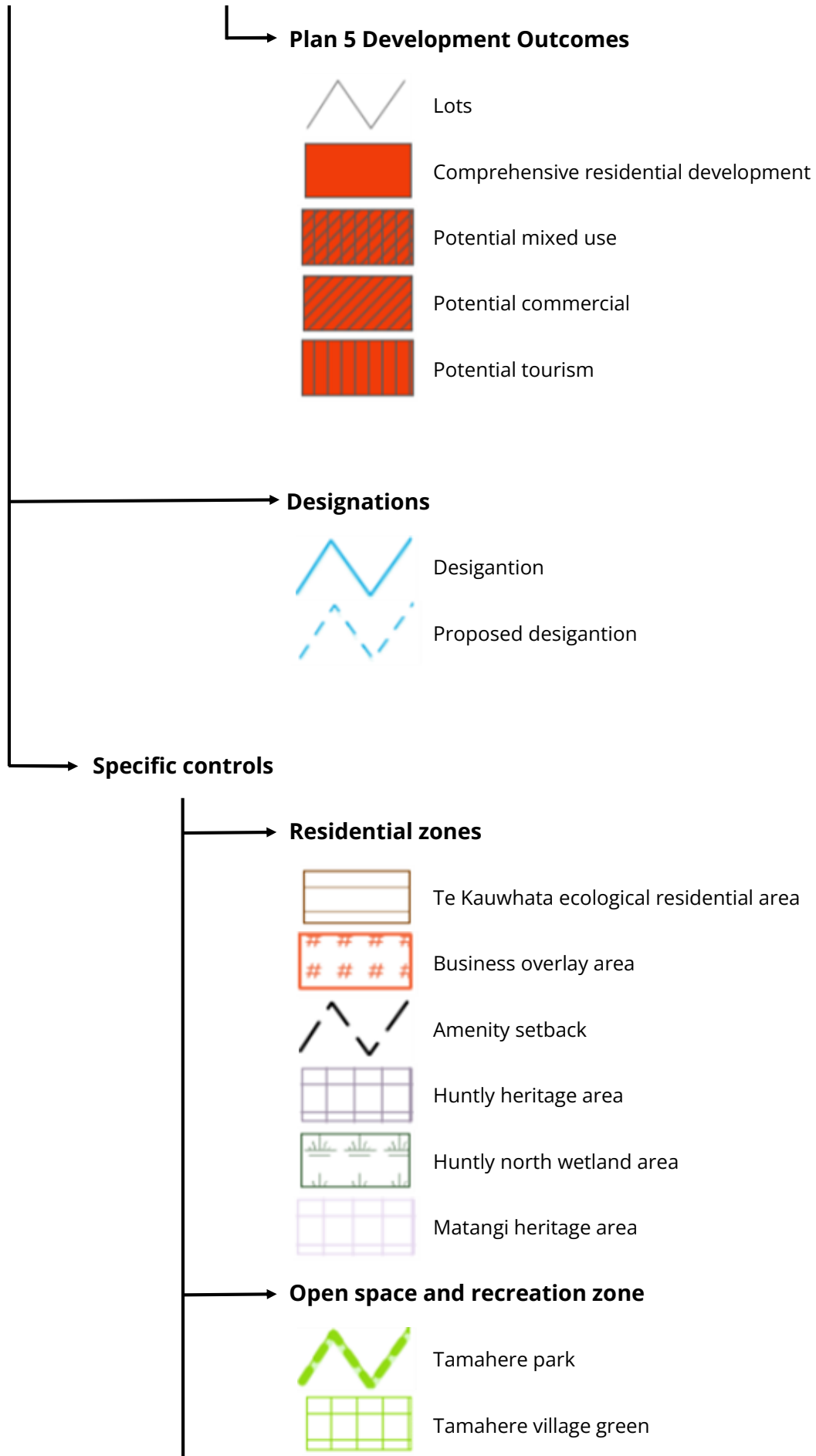


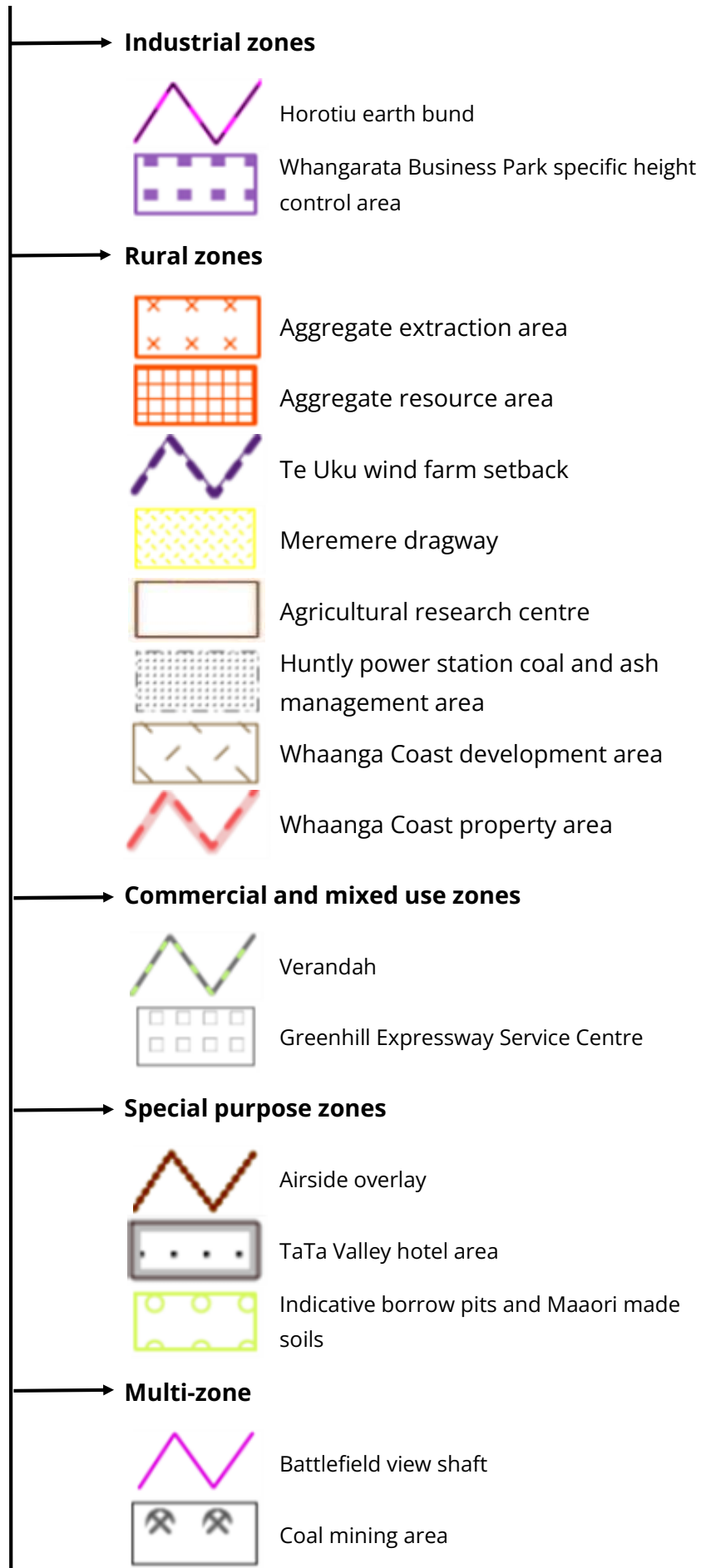
Notable tree

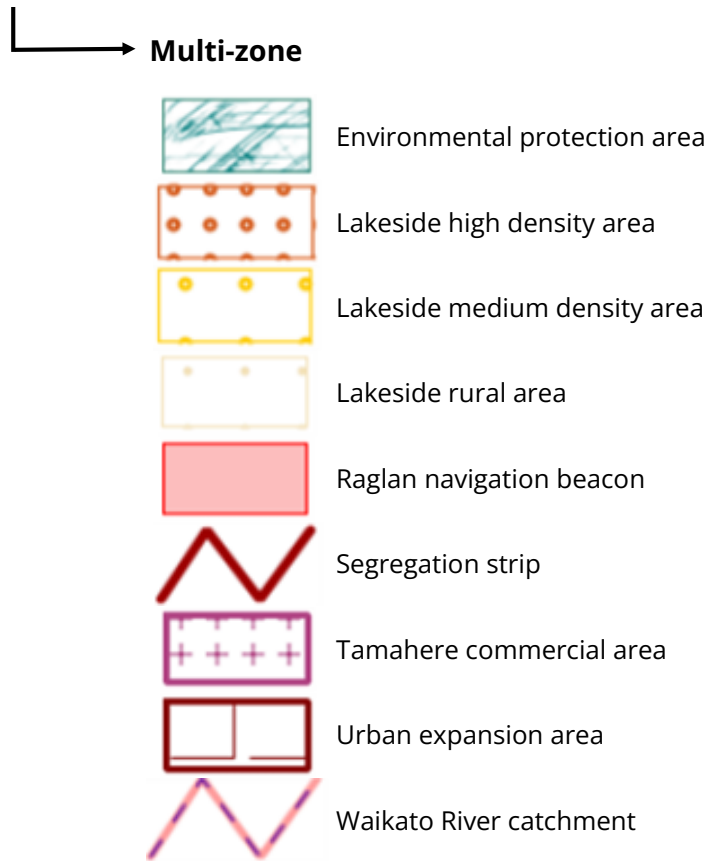






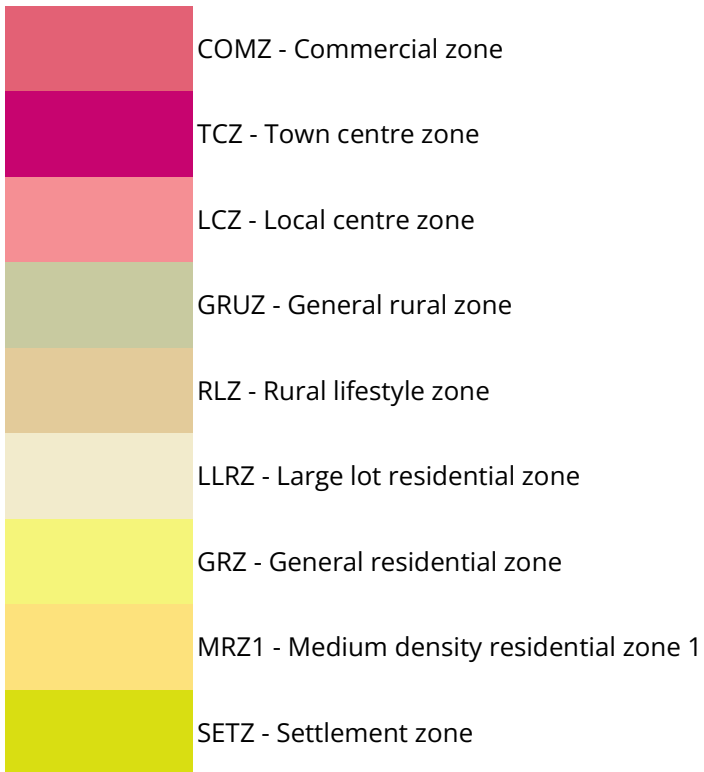









# ZONES

## Zones






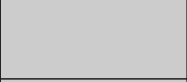
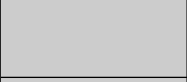
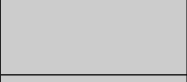







### Zones

	OSZ - Open space zone
	HIZ - Heavy industrial zone
	GIZ - General industrial zone

### Special purpose zones

	MAZ - Mercer airport zone
	MSRZ - Motorsport and recreation zone
	CORZ - Corrections zone
	BTZ - Business Tamahere zone
	HOPZ - Hopuhopu zone
	RPZ - Rangitahi Peninsula zone
	TKAZ - Te Kowhai airpark zone
	FUZ - Future urban zone
	MTZ - Matangi zone
	TTZ - TaTa Valley zone
	KLZ - Kimihia lakes zone

## APPEALS

### Appeals



## ADDITIONAL INFORMATION

### Additional Information



Mystery Creek noise boundary



Fonterra noise control boundary

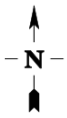


Rail corridor noise alert area

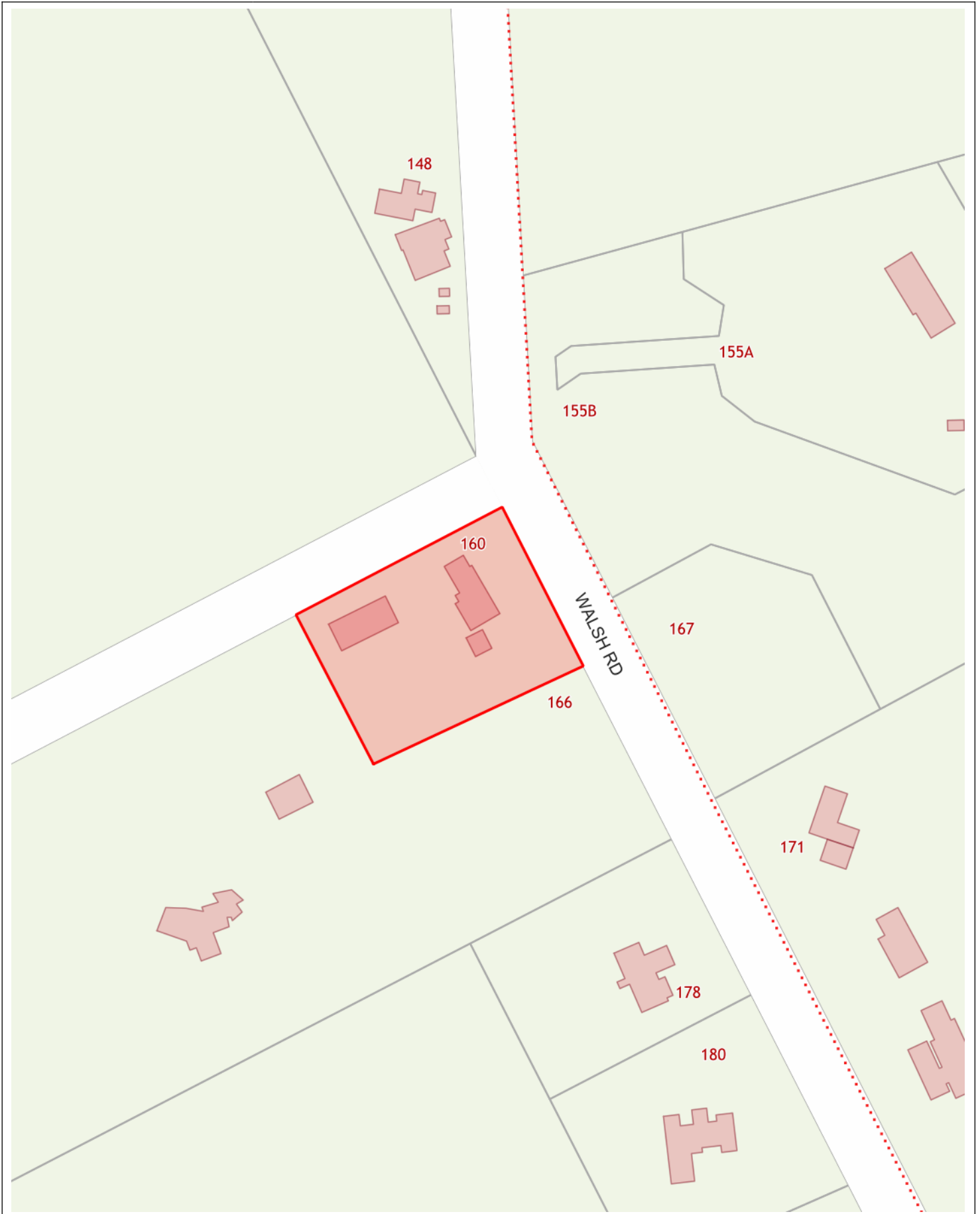


Rail corridor vibration alert area

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# Waikato District Plan



# Legend

<p><b>Context</b></p> <ul style="list-style-type: none"> <li>Plan Section Divide</li> <li>State Highway</li> <li>Rail</li> <li>Land Parcel</li> <li>Water Body</li> <li>Reserve</li> </ul>	<p><b>Infrastructure</b></p> <ul style="list-style-type: none"> <li>Designation</li> <li>Proposed designation</li> <li>Gas Line</li> <li>Transmission Line</li> <li>Indicative Road Intent Important Local A</li> <li>Indicative Road Intent Important Local B</li> <li>Indicative Road Location Important Collector</li> <li>Indicative Road Location Important Service Lane</li> <li>National Walkway</li> <li>Raglan Navigation Beacon</li> <li>Segregation Strip</li> <li>Walkway Cycleway Brideway</li> </ul>	<p><b>Minerals Mining</b></p> <ul style="list-style-type: none"> <li>Aggregate Extraction Policy Area</li> <li>Aggregate Resource Policy Area</li> <li>Coal Mine Policy Area</li> </ul>
<p><b>Building Construction</b></p> <ul style="list-style-type: none"> <li>Airport Inner Noise Control Boundary</li> <li>Airport Outer Noise Control Boundary</li> <li>Airport SEL 95 Noise Control Boundary</li> <li>Background Noise Area</li> <li>High Background Noise Area</li> <li>Noise Control Boundary</li> <li>Noise Boundary Distance (m)</li> </ul>	<p><b>Natural Environment</b></p> <ul style="list-style-type: none"> <li>Coastal Marine Area</li> <li>Conservation Policy Area</li> <li>Ecological Corridor</li> <li>Environmental Enhancement Overlay Area</li> <li>Environmental Protection Policy Area</li> <li>Gully Area</li> <li>Hauraki Gulf Catchment Area</li> <li>Identified Significant Natural Feature</li> <li>Landscape Policy Area</li> <li>Management Area</li> <li>Proposed Esplanade Reserve</li> <li>Ridgeline Policy Area</li> <li>Schedule 5A Site of Special Wildlife Interest</li> <li>Threatened Species Serious Decline</li> <li>Threatened Species Gradual Decline</li> <li>Whaanga Coast Policy Area</li> </ul>	<p><b>Zones</b></p> <p><b>Commercial</b></p> <ul style="list-style-type: none"> <li>Village Business (Franklin)</li> <li>Business (Waikato)</li> <li>Business (Franklin)</li> </ul> <p><b>Open Space</b></p> <ul style="list-style-type: none"> <li>Forest Conservation (Franklin)</li> <li>Queen's Redoubt Heritage (Franklin)</li> <li>Recreation (Franklin)</li> <li>Wetland Conservation (Franklin)</li> <li>Recreation (Waikato)</li> </ul> <p><b>Industrial</b></p> <ul style="list-style-type: none"> <li>Heavy Industrial (Waikato)</li> <li>Industrial 2 (Franklin)</li> <li>Industrial Services (Franklin)</li> <li>Light Industrial (Franklin)</li> <li>Industrial Park (Waikato)</li> <li>Light Industrial (Waikato)</li> <li>Industrial (Franklin)</li> <li>Maioiro Mining (Franklin)</li> <li>Aggregate Extraction (Franklin)</li> <li>Timber Processing (Franklin)</li> </ul> <p><b>Cultural</b></p> <ul style="list-style-type: none"> <li>Pa (Waikato)</li> </ul> <p><b>Residential</b></p> <ul style="list-style-type: none"> <li>Residential (Franklin)</li> <li>Living (Waikato)</li> <li>Residential 2 (Franklin)</li> <li>New Residential (Waikato)</li> <li>Living Zone Te Kauwhata Ecological (Waikato)</li> <li>Living Zone Te Kauwhata West (Waikato)</li> <li>Village (Franklin)</li> <li>Rural-Residential (Franklin)</li> <li>Country Living (Waikato)</li> <li>Coastal (Franklin)</li> <li>Coastal (Waikato)</li> <li>Rural (Franklin)</li> <li>Rural (Waikato)</li> </ul>
<p><b>Commercial</b></p> <ul style="list-style-type: none"> <li>Airport Obstacle Limitation Surface</li> <li>Area A and B (Pokeno)</li> <li>Area of Interest / Scheduled Area</li> <li>Business Centre Classification</li> <li>Housing Restriction Area</li> <li>Front Yard Control Line</li> <li>Main Frontage Control Line</li> <li>Mixed Use Policy Area</li> <li>Tamahere Commercial Area</li> <li>Town Centre</li> <li>Town Centre Overlay Area</li> <li>Verandah</li> </ul>	<p><b>Urban Environment</b></p> <ul style="list-style-type: none"> <li>Amenity Planting Requirement</li> <li>Anticipated Dwelling Number</li> <li>Concept Plan</li> <li>Papakanga Policy Area</li> <li>Residential Large Lot Overlay Area</li> <li>Residential Medium Lot Overlay Area</li> <li>Structure Plan Area</li> <li>Urban Expansion Policy Area</li> <li>Village Growth Area</li> </ul>	<p><b>Agriculture Production</b></p> <ul style="list-style-type: none"> <li>Rural (Franklin)</li> <li>Rural (Waikato)</li> </ul>
<p><b>Hazard Policies</b></p> <ul style="list-style-type: none"> <li>Catchment Management Plan Area</li> <li>1% Design Flood Level</li> <li>Flood Limit</li> <li>Flood Risk</li> <li>Huntly East Mine Subsidence</li> <li>Huntly South Assessment I</li> <li>Land Stability Policy Area</li> <li>Remediation Policy Area</li> <li>River Stability Policy Area</li> </ul>	<p><b>Map Information</b></p> <p>Copyright &amp; Disclaimer - Cadastre boundaries sourced from Land Information New Zealand under CC-BY. Graphical representations of the District Plan rules have been derived from various sources; the representations are to the best of knowledge. Exact boundaries may require further investigation, please direct enquiries to the Planning and Strategy Team, districtplan@waikato.govt.nz</p> <p>Map Coordinates - the grid coordinates, provided as easting and northing values, measured in metres, use the New Zealand Transverse Mercator 2000 projection grid coordinates. Eastings are labelled on the top and bottom margins, their values increase towards the east. Northings are labelled on the lateral margin. Their values increase towards the north. For example, the value 5884321 is read as 5884 km and 321 m. 1:50 000 maps are marked at 4 km intervals, the area of a grid is 16 square km or 1600 hectares.</p> <p>On the overview map the following town abbreviations have been used; Pokeno as Pok, Te Kauwhata as TeK, Huntly as Hun, Ngaruawahia as Nga and Raglan as Rag</p>	
<p><b>Culture &amp; Heritage</b></p> <ul style="list-style-type: none"> <li>Battlefield View Shaft</li> <li>Heritage Area</li> <li>Heritage Item</li> <li>Notable Tree</li> <li>Schedule 8A</li> <li>Site of Significance</li> <li>Urupa</li> <li>Waikato River Catchment</li> </ul>		



**A4 Service Plan**

**160 Walsh Road WHATAWHATA - LOT 1 DP 36667 BLK IV ALEXANDRA SD SUBJ TO & INT IN ESMTS**

Scale: 1:1129  
 Print Date: 05/02/2025  
 Projection: NZ Transverse Mercator  
 Datum: NZ Geodetic Datum 2000

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Storm Water Point			Waste Water Point			Water Supply Point				
○ Fitting	● Other	~ Pipe	○ Fitting	● Other	~ Gravity Main	◇ Backflow	● Other	⊕ Hydrant	~ Main	~ Rider Main
⊙ Manhole	□ Sump	~ Drain	~ Misc	⊙ Manhole	⊗ Valve	~ Other	~ Service	⊙ Fitting/Node	⊗ Valve	⊙ Meter
								~ Raw Water Main	~ Rising Main	~ Service