

OFFICE USE ONLY

Application Number:

2004 / 10575

Valuation Number: parcel

4299220

Hamilton City Council Application for...

Project information memorandum and building consent together

Project information memorandum only

Building consent only (in accordance with project information memorandum) Number

See Note

Project location:

New dwg with detached garage.

Street Number 4

Street Name ROSE STREET, HAMILTON

See Note

LOT(S) 2

SITE AREA 420 <sup>426 m<sup>2</sup></sup> ha /          m<sup>2</sup>

DPS 89430

4.2

INTENDED LIFE:

Indefinite but not less than 50 years

Specified as          years

PROJECT: 4.1

Floor area (m<sup>2</sup>)

121

New building

Alteration/addition

Relocation

Demolition

Other         

4.3

Description of work:

4 BEDROOM SEPARATE GARAGE

4.4

Intended uses:

DOMESTIC USE

4.5

Estimated value (incl GST): \$

\$125,000

OWNER 5

Name GREG THOMSON

Postal Address         

Phone (daytime)         

Cellphone         

Fax         

Email         

CONTACT (if not owner): 6

Name PARADISE HOMES LTD

Postal Address PO BOX 12268

CHARTWELL

Phone (daytime) 07 855 5821

Cellphone 027 292 8032

Fax 07 855 5604

Email jasons@paradisehomes.co.nz

DECLARATION: Signed for or on behalf of the owner

Print name Jason Schriener

Signature Jason Schriener

HAMILTON CITY COUNCIL Date 19/8/12

Duplicate

APPROVED

SUBJECT TO CONDITIONS TO BE KEPT ON SITE



FOR OFFICE USE ONLY

FEES PAYABLE:

Building Consent	\$ 1045
Project Information Memorandum	100
Code Compliance Certificate	55
BRANZ Levy	125
BIA Levy	81.25
Photocopying	
Microfilming	81.50
Structural Check	
External Consultants Check	
Crossing Administration	120
Planning Bond	
Reserves Contribution (Residential)	
Reserves Contribution (Commercial)	
Water Main Connection	
Water Connection (Nearside)	
Water Connection (Farside)	
Water Connection (Rural)	
Water Disconnection	
Backflow Device	
Backflow Inspect/Permit Fee	
Sanitary Connection	
Stormwater Connection	
Sanitary Disconnection	
Stormwater Disconnection	
CCTV Survey Sanitary	
CCTV Survey Stormwater	
Kerb & Channel Connection	
Cellar Indemnity	
Compliance Schedule	

Total Fees (including GST). \$ 1607.75

BUILDER:

[Empty box for Builder Name]

Address: \_\_\_\_\_

Fax: \_\_\_\_\_

Phone - day: \_\_\_\_\_

Cellphone: \_\_\_\_\_

PLUMBER:

[Empty box for Plumber Name]

Address: \_\_\_\_\_

Fax: \_\_\_\_\_

Phone - day: \_\_\_\_\_

Cellphone: \_\_\_\_\_

Reg # \_\_\_\_\_

DRAINLAYER:

[Empty box for Drainlayer Name]

Address: \_\_\_\_\_

Fax: \_\_\_\_\_

Phone - day: \_\_\_\_\_

Cellphone: \_\_\_\_\_

Reg # \_\_\_\_\_

OFFICE USE ONLY

Receipt # 777886

Date of issue 05.10.04

Authorised by [Signature]

Date authorised 17/9/04

REFERRALS:

	Sent	Returned
Structural		

CONFIDENTIALITY

You have the option to request confidentiality for reasons of building security and copyright. Please ask the Building Review Officer you are dealing with for further information.



CORRESPONDENCE

I/we, the applicant, acknowledge that all correspondence is to be directed to:

- Myself/ourselves
- My/our agent whose responsibility it is to

forward all council documentation as received appropriate.

BA F Ver May ATTACH-1 TAB CODE: AA108 PH: 9816 6908 FAX: 9816 0208

Consent Reference:

Project Address:

Issue Date:

2004/ 10575

4 Rose ST

5-Oct-04

Owner:

Patricia Joy Thomson

Builder:

Paradise Homes Ltd

COMPLETED

Description of Work: New dwelling and separate garage

Property Reference: LOT: 2 DP: S89430

TR /

BUILDING INSPECTIONS

PLUMBING & DRAINAGE INSPECTIONS

	SIGN	APPROVED		DATE		SIGN	APPROVED		DATE
		Yes	No				Yes	No	
Siting	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	14.10.04	Concrete Floor	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Garage	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	15.12.04					
Foundation	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	14.10.04	Prelining	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	9/11/04
Bond Beam					Waste & Soil				
Concrete Floor	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	22.12.04	Foulwater	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	2.12.04
Tilt Slab					Stormwater	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	2.12.04
Pest wire	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	15.11.04	Chimney/Heater				
Prelining	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	9/11/04	Other				
Fire protection									
Crossing									
Crossing Final									
Other									

Producer Statement	Requested	Received	Producer Statement	Requested	Received
Driven Piles			Pressure Test	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Engineers			As Laid Drainage Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Automatic Sprinklers			Back Flow Prevention Device		
Fire Alarm			DRAINLAYER:	<i>B Donlon</i>	
Emergency Lighting			PLUMBER:	<i>C F Noogo</i>	
Lifts, Escalators					
Mechanical Ventilation					

INTERIM CODE COMPLIANCE CERT. ISSUED	YES	NO	COMPLETION SIGN	<i>[Signature]</i>	DATE	7/9/5
COMPLETION SIGN	<i>[Signature]</i>	DATE	7/9/5	COMMENTS:		

COMMENTS: SITING OF GARAGE OKAY 22.12.04 A.M.

**Code Compliance Certificate**

**No 2004/10575**

Section 43(3), Building Act 1991

Private Bag 3010  
Hamilton  
New Zealand

**Issued by Hamilton City Council**

**Building Consent ref:** 2004/10575

**Historic ref:**

Phone 07 838 6699  
Fax 07 838 6599

info@hcc.govt.nz  
www.hcc.govt.nz

**Date:** 8 September 2005

**Applicant:** Greg Thompson  
**Mailing Address:** C/O Paradise Homes  
P O Box 12268  
Chartwell

**Application Lodged:** 03/09/2004

**Project:**  
**Application Description:** New dwelling and seperate garage  
**Intended Use:** Detached Dwelling - Live As A Family  
**Work Type:** New Construction  
**Intended Life:** >50 years  
**Value of Work:** \$125000

**Property:**  
**Address:** 4 Rose Street HAMILTON 2001  
**Property Reference:** LOT: 2 DP: S89430

This is:

- (X) A final code compliance certificate issued in respect of the building work under the above building consent.
- ( ) An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ( ) This Certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No. 2004/10575" (being this certificate)

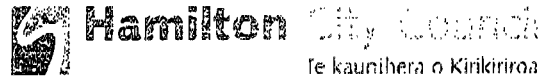
Signed for and on behalf of the Hamilton City Council: *Marta*

Name: ..... *8/9/2005* .....

Position: Authorised Officer

Building Control Unit





Te kaunihera o Kirikiriroa

# REGULATORY BUILDING CONTROL

Private Bag 3010  
Hamilton  
New Zealand

Phone 07 838 6699  
www.hcc.govt.nz

## PRODUCER STATEMENT

### PLUMBING SYSTEM PRESSURE TEST

Owner.....Thomson.....

Property Address.....4 Rose Street, Hamilton.....

Lot.....DPS.....Consent No.....10575.....

To The Hamilton City Council:

**C.F. REESE (1996) LTD**

*Please be advised that our company* .....

*Has completed a pressure test on the plumbing system in the building at the above address. We certify that the system was tested to 1500kpa for a period of 30 minutes and in accordance with manufacturer recommendations and complies with the provisions of the New Zealand Building Code Approved Solution G12 and A53500 as appropriate.*

*We advise that we have current public liability insurance to the value of at least \$500,000 and have approved quality control measures in place.*

*We understand that the Hamilton City Council will conduct random audits of our work where a producer statement has been used and if a workmanship or technical fault is detected from these audits then we undertake to carry out all appropriate remedial work as necessary.*

**C.F. REESE (1996) LTD**

Issued By.....

Address.....52 King St, Hamilton.....

Contact Phone Number.....8479115.....

Signature.....[Signature].....

Date.....16/12/2004..... Registration Number.....13665.....

# Electrical Certificate of Compliance

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).  
**To be completed whether or not an inspection is required.**

No. 1735704

No. of attachments

### CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer PARADISE HOMES

Phone:

Address of installation 4 ROSE STREET HAMILTON

Postal address of customer (if not as above)

### WORK DETAILS

<u>16</u> No. of lighting outlets	<u>2</u> No. of ranges
<u>21</u> No. of socket outlets	<u>1</u> No. of water heaters

Was any installation work carried out by the homeowner?  Yes  No

Please tick (✓) as appropriate where work includes:

<input checked="" type="checkbox"/> Mains	<input checked="" type="checkbox"/> Main earthing system
<input checked="" type="checkbox"/> Switchboard	<input checked="" type="checkbox"/> Electric lines

Description PREWIRE AND FIT OFF  
INSTALLATION  
SUBMAIN 2c 16.0mm<sup>2</sup> TPS  
N/A PWT 2.5mm<sup>2</sup> 1c TPS RED  
EARTH 6.0mm<sup>2</sup> CRN 1c.

1x16 NIS mains TO  
New House

It is recommended that test results be recorded here:

Visual Examination	<input checked="" type="checkbox"/>
Earth Continuity	<input checked="" type="checkbox"/> 0.2 Ω
Bonding	<input checked="" type="checkbox"/> 0.2 Ω - 0.5 Ω
Polarity	<input checked="" type="checkbox"/>
Insulation Resistance	<u>200+</u> Mohm
Other	_____

If necessary attach any pages with sketches of work done

### CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

### ELECTRICAL WORKER DETAILS

Name CURT ROBINSON

Registration no. E241535

Company LASER HUNTLY

Signature C. Robinson

Date 9/11/04

Contact Ph No. 021 744 614

### CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name Bruce Clotwe

Registration no. I2758

Company I+S

Signature B. Clotwe

Date 9-12-04

Contact Ph No. 8554315

### INSPECTION DETAILS Electrical work requiring inspection by a registered electrical inspector

New mains  Switchboard  Earthing system  Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name Ain Manley

Signature A. Manley

Registration no. I2980

Date 10-12-04

Contact Ph No. 021 2896099

PROPERTY ADDRESS: 4 Ross St

LOT: 2 DP/S: 891430

CONSENT NO: 2004/10575

- Approved Building Consent documents on site
- Check street number on letter box
- Ensure plumbers and drainlayers name are recorded
- As-laid drainage plan on request
- Pressure test Producer Statement if required
- Relevant inspections have been called for
- If cross lease/subdivision ensure all drainage requirements have been met
- Trade waste application approved if applicable
- Gully dishes correct height
- Ensure overflow gully minimum 150mm below lowest fixture
- Waste pipes sealed at point of entry into rear of gully dishes as per G13
- Terminal vent position, flashings, cowls fitted
- Downpipes clipped and connected to stormwater drainage **K&C**
- If timber floor check wastepipe clipping complies
- Novaflow drainage is through sump
- Site drainage
- Stormwater to correct outfall
- Valves, fixings of external cylinder

- Drain and expansion valve drains have been installed and conveyed to the exterior
- All wastes are vented if greater than 3.5m and have acceptable falls
- General workmanship of all flashings and roof penetrations
- Back flow prevention devices where required
- Septic tank installation, has been installed as per engineers report

**INTERIOR**

- Water hammer
- Toilet cisterns screwed to wall securely
- Hot water cylinder for correct type and position of valves and seismic restraints provided
- Cylinder safe tray if required
- Cylinder drain/valve pipes
- Terminal vents continuous in ceiling space
- Position of vent valves
- Insulation of pipes in ceiling space
- Traps fitted and holding seals
- Venting required to waste or soil pipes is correctly installed
- Tub fixed in position
- Water temperature = 85 Celsius
- Gas certificate provided

COMMENTS: ASLAIN FOR STORMWATER. PER PLANS,  
SECURE INSPECTION MATCH TO SUB FLOOR  
PRESSURE TEST PRODUCER STATEMENT.

Further Inspection Required       Approved      Date 06/07/05

Inspector [Signature]      Checked 07/09/05

Inspected       Failed       Not Applicable

**NOTE TO BUILDERS/SUB CONTRACTOR/OWNER:** Please check that you have completed all items as listed and ticked the appropriate boxes before arranging for an inspection. This form needs to be shown to the inspector at the time of inspection.



**Inspected**



**Failed**



**Not Applicable**

PROPERTY ADDRESS:

4 ROSE ST.

LOT:

2

DP/S:

89430

CONSENT NO:

20054 / 10575

Builder/Sub-Contractor/Owner  
 Inspector

Check you are on correct site  
 Check street number on letter box  
 Approved Building Consent documents on site  
 Check Conditions

**EXTERIOR**

External envelope complete and weatherproof  
 Flashings/sealants complete  
 Wet area/kitchen vents  
 Safety glass  
 Ground/paving heights  
 Crossing and footpath for damage  
 Brick veneer weep and ventilation holes  
 Exterior decorated  
 Weathering of penetrations  
 Construction of decks/steps/handrails/timber treatment  
 Barrier heights and construction/timber treatment  
 Sub floor access/ponding/ventilation/insulation  
 Roof cladding/flushing fixings/roof penetrations  
 Landscaping complete – retaining walls  
 Roof pitch for cladding used  
 Wall cladding fixings/soakers/scribers etc  
 Fire ratings

**INTERIOR**

Ceiling and wall insulation in place  
 Fire ratings stopped  
 Correct installation of shower/bath linings, splash boards etc  
 Safety glass  
 Shower curtain/screen  
 Wet areas completed, walls, ceilings, floors sealed  
 Bathroom, ensuite, wc, laundry, kitchen vents ducted to exterior  
 Heights of window sashes  
 Heights of barriers and handrails/details  
 All inspections have been completed  
 All certificates have been received  
 Smoke Alarms Fitted

Builder/Sub-Contractor/Owner  
 Inspector

Energy Certificates Provided  
 Acoustic Engineers Certificate Provided

**COMMERCIAL**

Surface finishes, smoke development and spread of flame for ceilings, walls, floor coverings  
 Stopping of fire walls and penetrations  
 Penetrations/light fittings/fire collars etc  
 Means of escape, door hardware, signage  
 Fire ratings  
 Fire and smoke doors: hardware, tags, self closers/magnetic hold open device and signage  
 Signage: fire alarm  
 Check off Compliance Schedule checklist in consent jobcard and request certificates for all features

**ACCESSIBILITY**

ACCESSIBLE CARPARK easy to see, marked out, close to entrance, surfaces non slip  
 FOOTPATH RAMPS non slip, width, length, upstands, handrails, kerb ramps 1000 wide  
 ENTRANCE signage, threshold, width, floor surfaces  
 PUBLIC RECEPTION counters or desks  
 LIFT sizes, controls, handrails, lobby width  
 STAIRS width, handrails, landings, risers, treads, nosings  
 DOORWAYS/CORRIDORS Clear width, glazing, colour contrasted, projections into corridors  
 ALERTING DEVICES audible and visual signal  
 TOILET size, controls, doors, wash hand basin, taps  
 SHOWERS size, controls, door/s  
 LAUNDERING size and turning circle  
 SIGNAGE entrance doors, information board and facilities signage  
 SURFACE FINISHES stable firm and non slip  
 Sound system, stage podium access, listening system  
 SIGNAGE for listening system  
 ACCESSIBLE ROUTE car parks, identifiable route from street to and through building, surface finishes stable firm and non slip

Name of Builder/Sub-Contractor/Owner Completing Check List:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Comments Memo No: \_\_\_\_\_ Notice to Fix No: \_\_\_\_\_

Further Inspection Required  Approved  Inspector *[Signature]*

Date of Inspection *06/07/05* Auditor *[Signature]* Date \_\_\_\_\_



PROPERTY ADDRESS: 4 ROSS ST

LOT: 2 DP/S: 89430 CONSENT NO: 2004/10575

Approved Building Consent documents on site

Check street number on letter box

**SITING**

Locate boundary pegs – where required

Lot number on pegs

Dimensions between pegs

Measure distance from project to boundary conforms to site plan

Dimensions of building

Profile height in relation to floor heights

Building height in relation to boundary

Excavations, safe slopes, hoarding, shoring, underpinning and barriers for site safety

Drains under building

Siting by surveyor, to provide letter

**DESIGN**

Engineers designed foundation

Request engineers letter of supervision

Foundation to NZS 3604

**PILED/DRILLED FOUNDATIONS**

Height of profile in relation to top of piles

Correct size and treatment of piles

Pile spacing for bearers/joists

Floor heights conform to bracing elements provided

Height for 450mm crawl space

Layout of subfloor bracing

Pile heights correct for type of bracing element i.e. anchor or braced pile

Pile depths into cleared ground

100kpa or greater bearing capacity

Holes clean and sides vertical

Confirm types of pile bearer/floor joist fixing to be used and level of protection required, i.e. galvanized/stainless steel

**DRIVEN PILES**

Request engineers confirmation of supervision and report on length of piles and sets achieved

**CONCRETE FOUNDATIONS**

Foundation dimensions and minimum depth into cleared ground

Foundation clean, square and level

100 kpa bearing capacity

Discuss floor height to proposed finished ground levels

Manufacture of steel, type, size, spacing, laps and ties

Steel is clean

Cover and height pegs

Fire wall. Foundation and reinforcement

COMMENTS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Further Inspection Required       Approved      Date 22/2/07

Inspector [Signature]      Checked \_\_\_\_\_

Inspected       Failed       Not Applicable

Brebner Print





Garage

PROPERTY ADDRESS: 4 Rose St

LOT: 2 DP/S: 8 P4430

CONSENT NO: 2004 / 10575

Approved Building Consent documents on site

Check street number on letter box

**SITING**

Locate boundary pegs - where required

Lot number on pegs

Dimensions between pegs

Measure distance from project to boundary conforms to site plan

Dimensions of building

Profile height in relation to floor heights

Building height in relation to boundary

Excavations, safe slopes, hoarding, shoring, underpinning and barriers for site safety

Drains under building

Siting by surveyor, to provide letter

**DESIGN**

Engineers designed foundation

Request engineers letter of supervision

Foundation to NZS 3604

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Height of profile in relation to top of piles

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**CONCRETE FOUNDATIONS**

Foundation dimensions and minimum depth into cleared ground

Foundation clean, square and level

100 kpa bearing capacity

Discuss floor height to proposed finished ground levels

Manufacture of steel, type, size, spacing, laps and ties

Steel is clean

Cover and height pegs

Fire wall. Foundation and reinforcement

COMMENTS: LOCATE BOUNDARY

Further Inspection Required  Approved Date: 15/12/04

Inspector: [Signature] Checked: [ ]

Inspected  Failed  Not Applicable





PROPERTY ADDRESS:

*A Lee St*

LOT:

*2*

DP/S:

*89480*

CONSENT NO:

*Case 10575*

- Approved Building Consent documents on site
- Check street number on letter box

**SITING**

- Locate boundary pegs – where required
- Lot number on pegs
- Dimensions between pegs
- Measure distance from project to boundary conforms to site plan
- Dimensions of building
- Profile height in relation to floor heights
- Building height in relation to boundary
- Excavations, safe slopes, boarding, shoring, underpinning and barriers for site safety
- Drains under building
- Siting by surveyor, to provide letter

**DESIGN**

- Engineers designed foundation
- Request engineers letter of supervision
- Foundation to NZS 3604

**PILED/DRILLED FOUNDATIONS**

- Height of profile in relation to top of piles
- Correct size and treatment of piles
- Pile spacing for bearers/joists

- Floor heights conform to bracing elements provided
- Height for 450mm crawl space
- Layout of subfloor bracing
- Pile heights correct for type of bracing element i.e. anchor or braced pile
- Pile depths into cleared ground
- 100kpa or greater bearing capacity
- Holes clean and sides vertical
- Confirm types of pile bearer/floor joist fixing to be used and level of protection required, i.e. galvanized/stainless steel

**DRIVEN PILES**

- Request engineers confirmation of supervision and report on length of piles and sets achieved

**CONCRETE FOUNDATIONS**

- Foundation dimensions and minimum depth into cleared ground
- Foundation clean, square and level
- 100 kpa bearing capacity
- Discuss floor height to proposed finished ground levels
- Manufacture of steel, type, size, spacing, laps and ties
- Steel is clean
- Cover and height pegs
- Fire wall, Foundation and reinforcement

COMMENTS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

<input type="checkbox"/> Further Inspection Required	<input checked="" type="checkbox"/> Approved	Date <i>11.10.04</i>
Inspector _____	Checked _____	
<input checked="" type="checkbox"/> Inspected	<input type="checkbox"/> Failed	<input type="checkbox"/> Not Applicable

PROPERTY ADDRESS:

*4 Rose St*

LOT:

*2*

DP/S:

*89430*

CONSENT NO:

*Local 10575*

- Approved Building Consent on site
- Checklist for previous comments
- Floor/Ceiling nailed off as diaphragm
- Position of sheet bracing
- Fixing of sheet bracing
- Holes in sheet braces
- Safety glass
- Type of wall claddings used: i.e. Fyreline, Noiseline, Aqualine, Brucelene, etc
- ~~SIC Rating Requirements~~
- ~~Stopping and penetrations, light switches, power points etc to fire walls~~
- Window joinery provides correct lighting and ventilation to each room
- Window sash heights above floor
- Post/Beam connections
- Roof for nailing and flashings
- ~~Producer statement requirements/as-laid drainage plan and discuss with builder~~

**COMMERCIAL**

- Fire philosophy
- Compliance schedule for features
- Fire rating

- Stopping of fire rating
- Penetrations
- Discuss Compliance Schedule features and request producer Statements for completion

**ACCESSIBILITY CHECKLIST/DISCUSS**

- Accessible Carpark
- Footpath Ramps
- Entrance
- Public Reception Area
- Lifts
- Stairs
- Doorways, Corridors
- Controls
- Alerting Devices
- Toilets
- Showers
- Laundering
- Food Preparation
- Signage
- Surface Finishes
- Accessible Route

COMMENTS:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<input type="checkbox"/> Further Inspection Required	<input checked="" type="checkbox"/> Approved	Date	<i>15.11.04</i>
Inspector	<i>[Signature]</i>	Checked	<i>[Signature]</i>
<input type="checkbox"/> Inspected	<input type="checkbox"/> Failed	<input type="checkbox"/> Not Applicable	



PROPERTY ADDRESS:

4 Rose St

LOT:

DP/S:

CONSENT NO:

2004/10575

Approved Building Consent documents on site

**SUBFLOOR**

- Bearer/joist sizes
- Bearer/joist spans
- Bracing/brace piles/anchor piles
- Bracing/pile connections
- Solid blocking to joists
- Insulation
- Subfloor ventilation
- Crawl space
- Water ponding under floor
- Polythene on ground
- Nailing general

**EXTERIOR**

- Building paper
- Panel sizes, brick veneer cavities for services, number and fixing of ties. Cavity sealed from roof space
- Cladding system, type, nailing, flashings, soakers
- Producer statement where applicable
- Bottom of cladding provides weathering to bottom plates, floor joists and behind decking
- Construction of decks, bracing, hangers etc
- Verandah post connections
- Roof cladding type, flashings, nailing
- Fire ratings
- Remind builder of ground levels and cladding heights above ground

**INTERIOR**

- Bottom plate fixings
- Framing height
- Lintel sizes
- Timber treatment

- Top plate for roof support, truss, beams, bracing lines
- Noggings for vertical cladding
- Moisture content (timber) =  %
- Insulation/moisture content
- Floor nailed off (diaphragm)
- Holes and notches in framing
- Wall bracing, fixings
- Nailing general
- Upper floor joists, joist hangers, holes
- Safety glass
- STC ratings
- Fire ratings, penetrations
- Joinery provides correct lighting, ventilation to each room
- Window sash heights above floor
- Post/beam connections
- Engineers design eg. beams, lintel, fixings/connections, bracing etc
- Discuss smoke alarm requirements

**ROOF**

- Bracing, dragon ties etc
- Roof underlay grade, netting
- Roof correct pitch for material used
- Correct trusses for roof material used and spacing
- Joist hangers to intersecting trusses onto girder trusses
- Support of girder trusses
- Z nails connecting trusses to top plates
- Truss fixing to design requirements
- Strutting beam and ceiling runner sizes to close coupled roofs
- Rafter spans, collar ties, cleats and under purlin sizes to close couple roofs
- Ceiling batten sizes, correct spans and nailing
- Ceiling diaphragms



- Vapour barrier for skillion roofs
- Insulation to ceiling, incorrect position
- Nailing general

#### GENERAL

- Stair rail openings
- Configuration of stair/type
- Width between rails
- Heights of barriers and ballustrading to landings, decks and stairs
- Glazing requirements

#### COMMERCIAL

- Fire philosophy
- Compliance Schedule for features
- Discuss fire ratings
- Discuss Compliance Schedule features and request producer statements for completion
- Fire collars/penetrations through fire ratings
- Request post lining inspection if required

#### ACCESSIBILITY CHECKLIST / DISCUSS

- Accessible carparks
- Footpath ramps
- Entrance
- Public reception
- Lifts
- Stairs
- Doorways, corridors
- Controls
- Alerting devices
- Toilets
- Showers
- Laundering
- Food preparation
- Signage
- Surface finishes
- Place of assembly
- Accessible route

**COMMENTS:** check units for Base B1 can  
change from Gib 1 to Gib 2

<input type="checkbox"/> Further Inspection Required	<input checked="" type="checkbox"/> Approved	Date	9/11/04
Inspector	<i>ASL</i>	Checked	
<input checked="" type="checkbox"/> Inspected	<input checked="" type="checkbox"/> Failed	<input type="checkbox"/> Not Applicable	

Brebner Print

**Building Consent No: 2004/10575**

Section 35, Building Act 1991

**Issued by Hamilton City Council**

**Date:** 20-Sep-2004

**Applicant:** Greg Thompson  
**Mailing Address:** C/O Paradise Homes  
P O Box 12268  
Chartwell

**Application Lodged:** 03/09/2004

**Project:**  
**Application Description:** New dwelling and seperate garage  
**Intended Use:** Detached Dwelling - Live As A Family  
**Work Type:** New Construction  
**Intended Life:** >50 years  
**Value of Work:** \$125000

**Property:**  
**Address:** 4 Rose Street HAMILTON 2001  
**Property Reference:** LOT: 2 DP: S89430

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in Building Consent:  
**2004/10575**

Signed for and on behalf of the Hamilton City Council:

Name: ..... *MAAR* ..... *21.09.04*

Position: Authorised Officer

Building Control Unit

Building



20 September 2004

Paradise Homes Ltd  
P O BOX 12268  
HAMILTON 2030

Dear Sir/Madam

**Consent Number:** 2004/10575  
**Project:** New dwelling and seperate garage  
**Project Address:** 4 Rose Street HAMILTON 2001  
**Legal Description:** LOT: 2 DP: S89430

Thank you for the application for Project Information Memorandum. We are pleased to advise that this consent has been processed and is included in this letter.

Your next steps are:

1. PIM only:
  - Read carefully the Project Information Memorandum comments on page 2 of this letter. This information may be important to you during the construction process.
  - When you have completed the design and have all the documentation, please lodge your consent application with us. If you have carefully followed this PIM, then this should make the consent application process a lot quicker and easier for you.
2. PIM/Consent application:
  - Read carefully the Project Information Memorandum comments on page 2 of this letter. This information may be important to you during the construction process.

Good luck with your building project and we look forward to our staff assisting you with the consent and any future building work.

Yours faithfully



Rebecca Hurrell  
Council Building  
Garden Place, Hamilton  
Phone 07 838 6706

## **This is your Project Information Memorandum**

This describes (if relevant) any special features of the land, Information of other Acts relating to the land or buildings, Details of waste and storm water systems and confirmation that the works will comply with the Building Act subject to the requirements of the building consent.

### **Planning**

- (1) Please note that the section dimensions on the site plan do not match the title plan for Lot 2 DPS 89430. Please clarify and amend your site plan.

### **Building**

- (1) Please ensure boundary pegs and boundary lines are clearly defined to check siting of building.
- (2) All work to comply with the New Zealand Building Code.
- (3) Wind zone is rated as low.
- (4) The Earthquake Zone for your area is designated as B.
- (5) All foul water and storm water drains to be laid by registered drainlayer in accordance with the New Zealand Building Code Documents E1 and/or G13 and/or AS/NZS 3500..
- (6) Please ensure compliance with G12 and H1 of the Building Code Hot Water Supplies.

Please check with your Local Network Utilities Operator as to where your services are located, ie Telecom, WEL Energy and the Gas Centre.

## Project Information Memorandum

**No: 8.2004.10575.1**

**Section 43(3), Building Act 1991**

**Issued by the Hamilton City Council**

**Date:** 20 September 2004

**Applicant:** Greg Thompson

**Mailing Address:** C/O Paradise Homes  
P O Box 12268  
Chartwell

**Application Lodged:** 03/09/2004

### **Project**

**Application Description:** New dwelling and separate garage

**Stage:**

**Intended Use:** Detached Dwelling - Live As A Family

**Work Type:** New Construction

**Intended Life:** >50 years

**Value of Work:** \$125000

### **Property**

**Address:** 4 Rose Street HAMILTON 2001

**Property Reference:** LOT: 2 DP: S89430

This is:

Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.

- ( ) Not yet applied for.  
(  ) No.: **8.2004.10575.1** attached.  
( ) Not yet issued.  
or  
( ) Notification that other authorisations must be obtained before a building consent will be issued.  
or  
( ) Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.

*This project information memorandum includes (cross each applicable box, attach relevant documents, and send a copy to any relevant network utility operators and organisations having the power to classify land and buildings):*

- ( ) Information identifying relevant special features of the land concerned. Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.  
( ) Details of relevant utility systems.  
( ) Details of authorisations which have been granted.  
( ) Details of authorisations which must be obtained before a building consent will be issued.  
( ) Details of authorisations which have been refused.

Signed for and on behalf of the Hamilton City Council:

Name:     R. Hurvell         20, 9, 04    

Position: Authorised Officer  
Building Control Unit

Buildings

20 September 2004

Paradise Homes Ltd  
P O BOX 12268  
HAMILTON 2030

Dear Sir/Madam

**Consent Number:** 2004/10575

**Project:** New dwelling and separate garage

**Project Address:** 4 Rose Street HAMILTON 2001

**Legal Description:** LOT: 2 DP: S89430

Thank you for the application for building consent. We are pleased to advise that this consent has been processed and is now ready for collection.

Your next steps are:

1. If this consent has not been pre-paid, please come in, pay for, and pickup your copy of the plans.
2. Please ensure that your approved documentation is kept on the building site for the building inspector to view.
3. This Building Consent is issued subject to the conditions outlined on page 2. In particular please note the requirements for inspections. The phone number to arrange inspections is 838 6677 available from 8:00 am to 11:00 pm.
4. Your final step after the completion of the project, is to apply for the issue of a Code Compliance Certificate. Please fill out the "Advise of Completion of Building Work" form attached and we will contact you to arrange a suitable time. We have found that many people do not complete this last task with the result that legal difficulties can arise at the time of sale or with insurance companies.

It is also a legal requirement of the Building Act, therefore the keeping and processing of the Advise of Completion is very important to both yourself and Council.

Good luck with your building project and we look forward to our staff assisting you with this and any future building work.

Regards

A handwritten signature in black ink, appearing to read 'RHurrell', written in a cursive style.

Rebecca Hurrell  
Council Building  
Garden Place, Hamilton  
Phone 07 838 6444  
Fax 07 838 6445

## **These are your Building Consent Conditions.**

Please read these carefully

### **Building**

**Please be aware that if your building is being constructed using the old timber treatment rules (before 1 April 2004), these buildings will need to be completed on or before the 1st April 2005. If this is not the case, Council may be unable to issue this structure with a Code Compliance Certificate.**

- (1) Please quote building consent number when requesting an inspection.
- (2) A foundation/siting inspection required. Please provide 48 hours notice
- (3) A bond beam inspection required. Please provide 24 hours notice.
- (4) A pre-concrete floor inspection required. Please provide 24 hours notice.
- (5) A pre-lining inspection required. Please provide 24 hours notice.
- (6) Completion inspection required prior to issue of interim or final code compliance certificate. Please make application on the appropriate form, that is included in Building Consent.
- (7) Truss layout plan to be made available to building inspector at preline stage.
- (8) All solid plaster systems, unless otherwise stated by manufactures recommendations, are to finish a minimum of 150mm above unpaved or 100mm above paved ground and be provided with a drip edge.
- (9) Ground levels to comply with NZS 3604 appendix E 0.1.
- (10) Please supply electrical certificate of compliance for the electrical fire safety features. This is required prior to the issue of the Code Compliance Certificate.
- (11) A cladding inspection is required. Please provide 24 hours notice and ensure that: - brickwork is laid to no more than half the height of the wall and/or; - monolithic plaster systems are not coated but the windows and the like flashed.
- (12) A post lining inspection is required. Please provide 24 hours notice and ensure that all sheet braces are nailed off and no skirtings or cornice are fitted.
- (13) Smoke alarms shall be located on the escape routes on all levels within the household unit. On levels containing the sleeping spaces, the smoke alarms shall be located either:
  - a) In every sleeping space, or
  - b) Within 3.0m of every sleeping space door. In this case the smoke alarms must be audible to sleeping occupants on the other side of the closed doors.

Smoke alarms shall comply with at least one of the following standards:

UL 217, ULC S531, AS 3786, BS 5446 Part 1, and be fitted with a hush button.



- (14) Inspection of foul water drains required. Please give 24 hours notice. Please note: If new internal drainage runs to existing connection, depth of connection must be confirmed before drainage is laid. If new connection has be requested, no internal drainage shall be laid until new connection has been installed.
- (15) Inspection of stormwater drains required. Please provide 24 hours notice.
- (16) Preline inspection of Plumbing Installation required. Please provide 24 hours notice.
- (17) Prefloor inspection of Plumbing and Soil Waste system required. Please provide 24 hours notice.
- (18) All under floor drainage systems serving 2 or more sanitary fixtures must be: - Plugged and filled with water to test and; - Left completely exposed until approved by inspector.
- (19) Main drains laid under AS/NZS 3500 shall fall a minimum of 1:60.
- (20) Crossing to be constructed to a minimum residential crossing specification.
- (21) Please call for inspection of prepared base for crossing. Please give 24 hours notice.
- (22) Please note that the final inspection for a crossing will be carried out at Code Compliance Certificate time or when requested.
- (23) The Engineer is required to supervise that all foundation works are carried out in accordance with The Engineers specific design.

### **Water and Drainage**

nil

Please refer to PIM 2004/10575 issued for this development for any addition requirements that may effect this development.

### **Roads and Traffic**

nil

Please refer to PIM 2004/10575 issued for this development for any addition requirements that may effect this development.

### **Health**

nil

Please refer to PIM 2004/10575 issued for this development for any addition requirements that may effect this development.

## Important Notes:

1. If the work has not commenced within 6 months or if there is a lack of reasonable progress within 12 months then your building consent may lapse. Please contact the processing officer if you feel you may exceed these times and we can discuss extending the time frames.
2. The Project Information Memorandum lapses if a building Consent for the work concerned has not been issued within 24 months after the date of the issue of the Project information Memorandum.
3. Please check with your local Network Utilities Operator as to where your services are located, i.e. Telecom, Wel Energy and Gas.
4. To avoid unreasonable noise affecting neighboring properties it is requested that noisy construction activities that would cause sleep disturbance not be undertaken until after 07:30am, and not at all on Sundays and public holidays.

### 5. Berm Protection

Kerb and channel, footpaths and grassed areas must be protected whilst work is undertaken on the site. Whilst granular material is preferred for this, clean sand may be used. Other approved alternatives are timber panels and rubber matting. However the channel flow must be maintained at all times by placing a 100mm dia steel pipe in the channel through which water can freely flow.

Where catchpits or berm pits are located within 1m of the temporary crossing point, the consent holder is responsible for ensuring that the grate is kept clear at all times.

### 6. Silt Control

Where stormwater runoff from the site is flowing to the road kerb and channel, or to an adjacent waterway, the consent holder is required to provide adequate silt control measures. Where material from the site is found to be causing a hazard on a road, the consent holder is required to remove the material as soon as possible. If this is not undertaken, Council will undertake to clear the hazard, the cost of which will be sought from the Consent holder.

## Planning Guidance

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To:	Jason Paradise Homes	Fax No:	07 855 5604
From:	Rachel Maynard	Fax No:	07 838 6819
Ph. No:	07 838 6611/838 6800	Email:	rachel.maynard@hcc.govt.nz
Date:	9 September 2004	No. of pages: (incl cover)	3 File: -
Subject:	Proposed house and garage at 4 Rose Street		

---

The information contained in this fax is privileged and confidential and intended for the addressee only. If you are not the intended recipient, you are asked to respect that confidentiality and not disclose, copy or make use of its contents. If received in error you are asked to destroy this fax and contact the sender immediately.

As discussed I enclose a copy of the survey plan for the subdivision showing the dimensions as deposited on the certificate of title plan.

Please note that the northern side boundary needs to be shortened to 20.12m, and the front boundary to 19.75m. This will have the effect of reducing the distances between the proposed house and northern side and rear boundaries. Please provide an amended site plan for your building consent application.

Thank you for your co-operation.

**Rachel Maynard**  
Building Consents Planner



	W/Held	Issue																		
<p><b>Health</b>                      Yes No  <input type="checkbox"/> <input type="checkbox"/> Contaminated site</p>		✓																		
<p><b>Roads &amp; Traffic</b>                      Residential Crossing</p>		✓																		
<p><b>Water</b>  <input type="checkbox"/> <input checked="" type="checkbox"/> Water connection  <input type="checkbox"/> <input checked="" type="checkbox"/> Water disconnection  <input type="checkbox"/> <input checked="" type="checkbox"/> Backflow Device  <input type="checkbox"/> <input checked="" type="checkbox"/> Sheet filled out  <input type="checkbox"/> <input checked="" type="checkbox"/> Hydrant Coverage</p>		✓																		
<p><b>Drainage</b></p> <table border="0"> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> CCTV</td> <td><b>Yes</b></td> <td><b>No</b></td> </tr> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> Contact Drainage Connections</td> <td><input type="checkbox"/></td> <td>Disconnections</td> </tr> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> Waste water</td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/> Waste water</td> </tr> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> Storm water</td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/> Storm water</td> </tr> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> Sheet filled out</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> Kerb &amp; Channel</td> <td></td> <td></td> </tr> </table>	<input type="checkbox"/> <input checked="" type="checkbox"/> CCTV	<b>Yes</b>	<b>No</b>	<input type="checkbox"/> <input checked="" type="checkbox"/> Contact Drainage Connections	<input type="checkbox"/>	Disconnections	<input type="checkbox"/> <input checked="" type="checkbox"/> Waste water	<input type="checkbox"/>	<input checked="" type="checkbox"/> Waste water	<input type="checkbox"/> <input checked="" type="checkbox"/> Storm water	<input type="checkbox"/>	<input checked="" type="checkbox"/> Storm water	<input type="checkbox"/> <input checked="" type="checkbox"/> Sheet filled out			<input type="checkbox"/> <input checked="" type="checkbox"/> Kerb & Channel				✓
<input type="checkbox"/> <input checked="" type="checkbox"/> CCTV	<b>Yes</b>	<b>No</b>																		
<input type="checkbox"/> <input checked="" type="checkbox"/> Contact Drainage Connections	<input type="checkbox"/>	Disconnections																		
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<input type="checkbox"/> <input checked="" type="checkbox"/> Sheet filled out																				
<input type="checkbox"/> <input checked="" type="checkbox"/> Kerb & Channel																				
<p><b>Plumbing &amp; Drainage</b></p> <p><b>PIM:</b>  <b>Withheld:</b> 16, 17, 18, 19</p> <p><b>Conditions:</b> 20, 21</p>		✓																		
<p><b>Building</b></p> <p><b>PIM:</b>  <b>Withheld</b> Foundations as per engineers details.</p> <p><b>Conditions</b> 1, 2, 5, 7, 9, 10, 15                      6, 13, 15e, 15f.</p>		✓ Ret 17/9/04																		

PLANNING GUIDANCE UNIT PIM CHECKSHEET

PG M10  
Version July 2003

PIM NUMBER: 2004/10575

Resource Consent NOT Required	<input type="checkbox"/>	Resource Consent in PROCESS	<input type="checkbox"/>
Resource Consent GRANTED	<input checked="" type="checkbox"/>	Not enough info in PIM to assess District Plan requirements	<input type="checkbox"/>
File Number: <u>48/1/W/103</u>			
Resource Consent REQUIRED	<input type="checkbox"/>		
Applicant Contacted?	<input checked="" type="checkbox"/> YES	Unsuccessful Attempt Made	<input type="checkbox"/>
		Phone	<input checked="" type="checkbox"/>
		Fax	<input checked="" type="checkbox"/>
		Email	<input type="checkbox"/>
Building Officer to include attached material to PIM letter	<input type="checkbox"/> YES	<input type="checkbox"/> EPO	<input type="checkbox"/> Home Occupation
		<input type="checkbox"/> Reserve Contribution	<input type="checkbox"/> Other

**WITHHOLD BUILDING CONSENT**

Comments: Dimensions not in accordance with Subd. & C/T

Attention Building Review Officer:

Please do not release any building consent for this work until the above issues have been resolved.

Planner: [Signature]

Date: 9/9/04

**RELEASE BUILDING CONSENT**

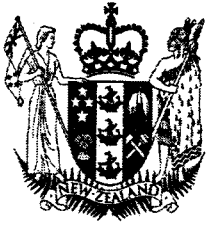
Comments: Amended plans meet C/T dimensions

Attention Building Review Officer:

Please note the above comments for the PIM letter and include any attached material with the PIM letter.

Planner: [Signature]

Date: 15/9/04



**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**



**Search Copy**

  
R.W. Muir  
Registrar-General  
of Land

**Identifier** SA70D/565  
**Land Registration District** South Auckland  
**Date Issued** 01 August 2001

**Prior References**

SA837/288 SA898/179

---

**Estate** Fee Simple  
**Area** 426 square metres more or less  
**Legal Description** Lot 2 Deposited Plan South Auckland  
89430

**Proprietors**

Gregory William Thomson, Patricia Joy Thomson and Thomas Bartholomew Wallace

---

**Interests**

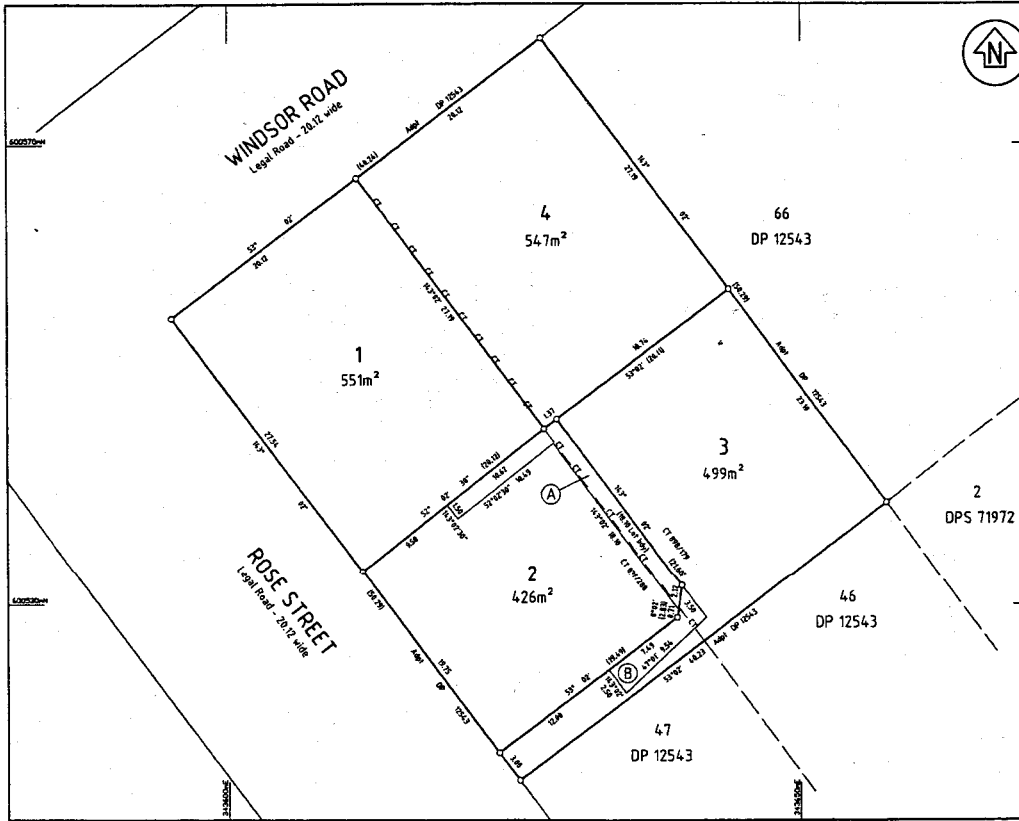
B671623.1 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 1.8.2001 at 2.45 pm

Subject to a right to drain sewage over part marked A on DPS 89430 specified in Easement Certificate B671623.7 - 1.8.2001 at 2.45 pm

The easements specified in Easement Certificate B671623.7 are subject to Section 243 (a) Resource Management Act 1991

5572050.5 Mortgage to ANZ Banking Group (New Zealand) Limited - 2.5.2003 at 9:00 am





Approvals:

*[Signature]* L. S. Jones  
*[Signature]* R. N. Collop  
 Registered Owners

I hereby certify that this plan was approved by the Hamilton City Council pursuant to section 223 of the Resource Management Act 1991 on the 11th day of August 2001, subject to the granting or reserving of the easement set out in the memorandum hereon, and for the purposes of Section 224(c) of the Resource Management Act 1991, that some of the conditions of subdivision consent have been complied with to the satisfaction of the said Council and a consent notice has been issued in respect of those conditions that have not been complied with.

*[Signature]*  
 Planning Guidance Manager  
 (Authorised Officer)  
 Your Ref: 48/1/AV/03.

MEMORANDUM OF EASEMENT			
Purpose	Serv.Tenement	Shown	Dom.Tenement
Right to drain sewage	Lot 2 hereon	(A)	Lot 1 & 4 hereon
	Lot 3 hereon	(B)	Lot 1 & 4 hereon

NEW C.T. ALLOCATED	
Lot	C.T. Reference
1	700/584
2	700/585
3	700/586
4	700/587

CLASS OF SURVEY - 1

Total Area: 2023m<sup>2</sup>

Comprised in C.T. 837/288 & 898/179

I, CHARLES JOSEPH PETER McPHERSON, being a person entitled to practice as a registered surveyor, certify that -

(a) The survey to which this document relates was conducted and was undertaken by me or under my direction in accordance with the Survey Act 1988 and Survey Regulations 1988;

(b) This document is accurate, and has been created in accordance with the Act and these Regulations.

(Signature) *[Signature]*  
 (Date) 11 AUG 2001

Field Book ..... P ..... Triangulation Station ..... P .....  
 Reference Plans: .....  
 Examined ..... Correct .....  
 Approved as to Survey *[Signature]*  
 Registrar-General of Land  
 11th day of AUGUST 2001  
 DPS 89430

LAND DISTRICT: SOUTH AUCKLAND  
 SURVEY BLK. & DIST.: XIII KOMAKORAU  
 NZMS 261 SH. RECORD MAP No. ....

LOTS 1 - 4 BEING A SUBDIVISION OF LOTS 64 AND 65 DP 12543

TERRITORIAL AUTHORITY: HAMILTON CITY  
 Surveyed by: McPHERSON GOODWIN LTD  
 Scale: 1:200 Date: AUGUST 2000

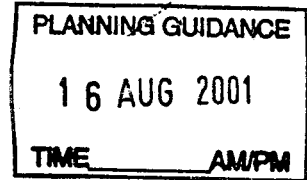
DEPOSIT NOTICE

15 August 2001

Hamilton City Council  
PRIVATE BAG  
HAMILTON  
ATTN: PRINCIPAL OFFICER



15 AUG 2001  
16 AUG 2001



DEPOSIT OF DPS89430

Plan DPS 89430 of LOTS 1-4 SBDN OF LOTS 64 & 65 DP 12543 (C.T. ref: 837/268, 898/179) lodged by C.J.P. McPherson of McPherson Goodwin Limited was deposited on 01 August 2001.

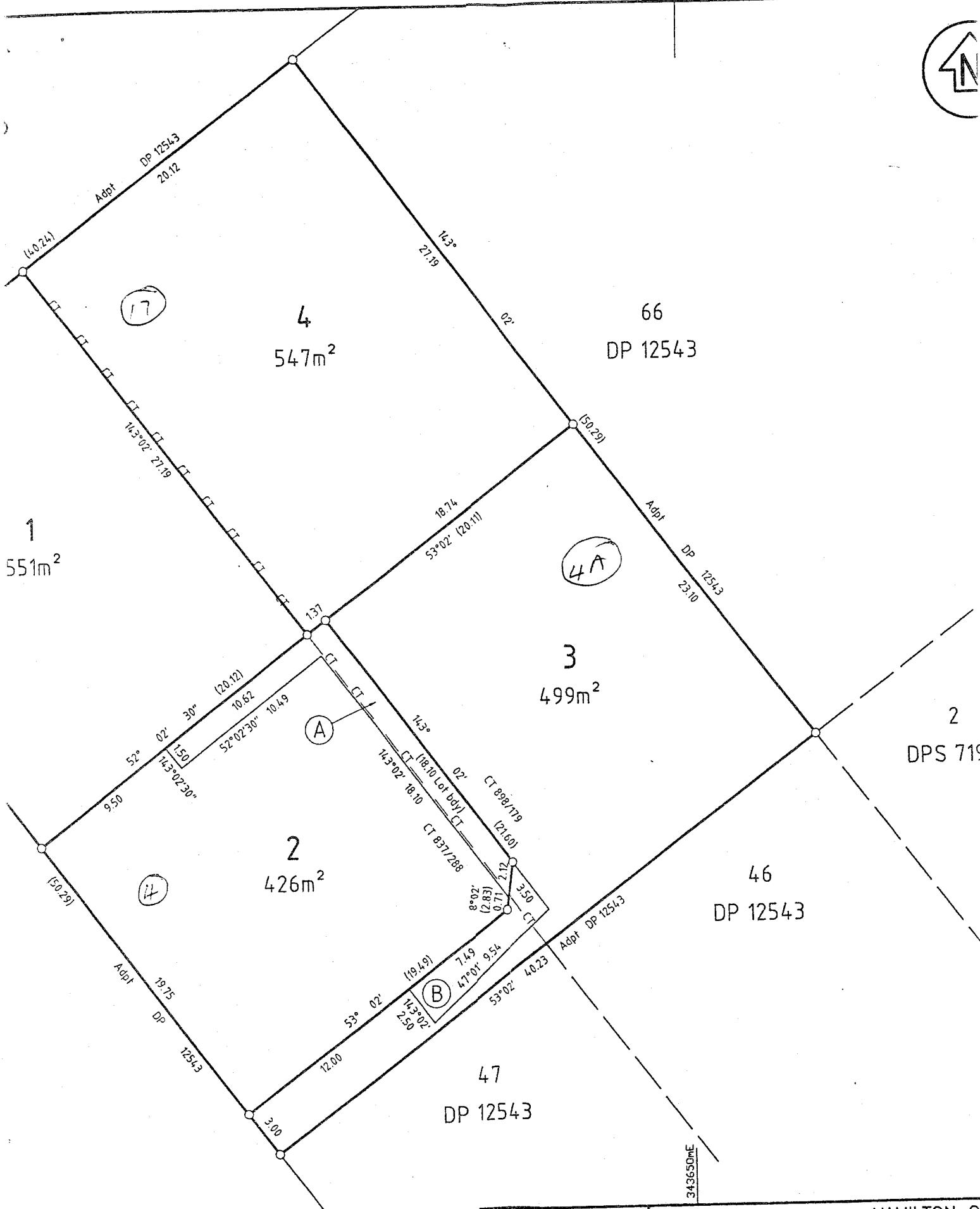
Client: JONES  
Reference: 48/1/W103  
Surveyors Reference: 12718

The following new Certificates of Title have been allocated:

LOT 1 DPS 89430	.0551 hectares	70D/564
LOT 2 DPS 89430	.0426 hectares	70D/565
LOT 3 DPS 89430	.0499 hectares	70D/566
LOT 4 DPS 89430	.0547 hectares	70D/567

Registrar-General of Land

Land Information (NZ)  
820 Victoria Street  
Private Bag 3028  
Hamilton  
Ph 07 838-2489  
Fax 07 834-6788



LOTS 1 - 4 BEING A SUBDIVISION  
OF LOTS 64 AND 65 DP 12543

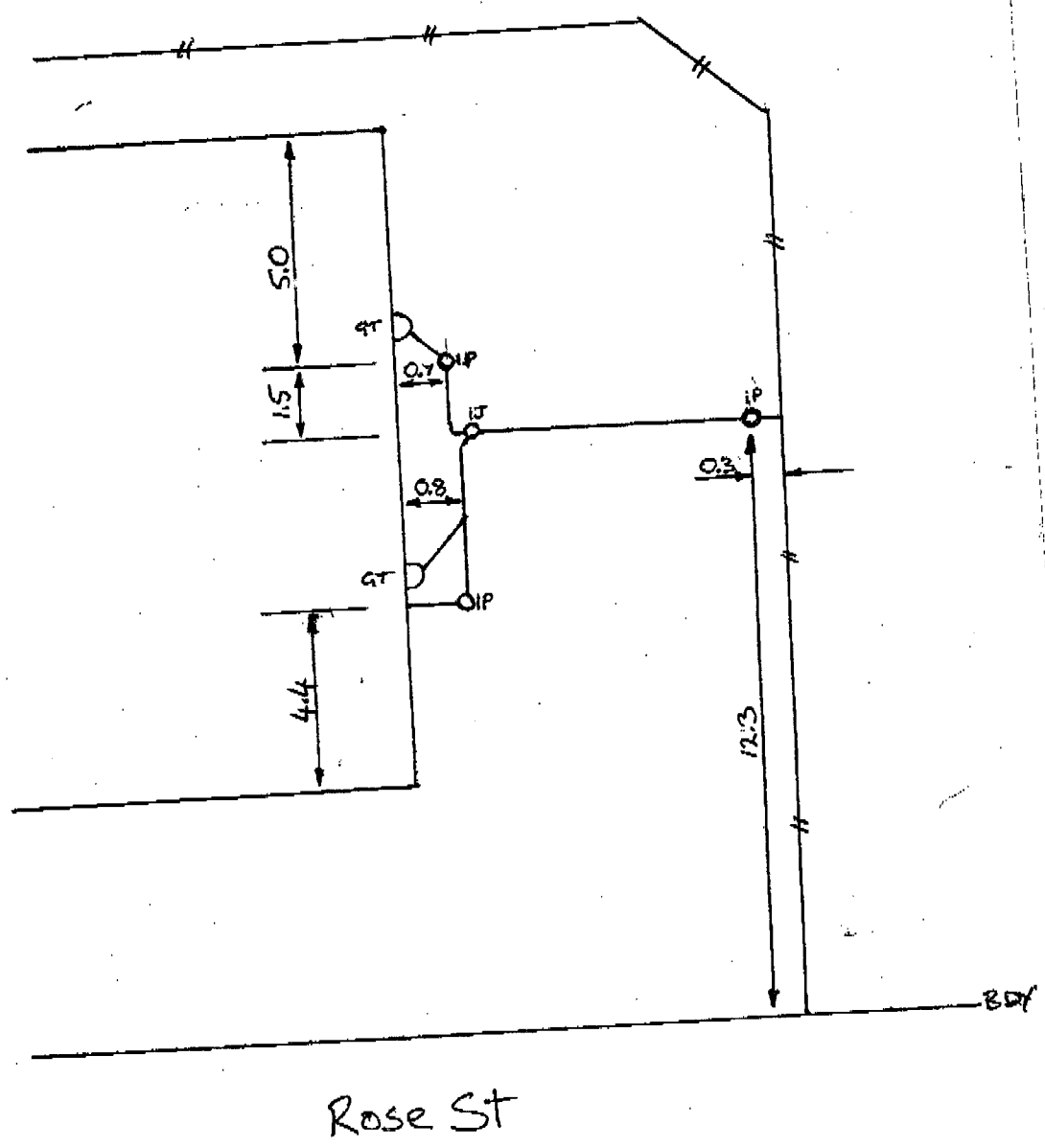
TERRITORIAL AUTHORITY..... HAMILTON C  
 Surveyed by ..... McPHERSON GOODWIN  
 Scale ..... 1:200 ..... Date ..... AUGUST 2

**Hamilton City Council**  
 Te kaunihera o Kirikiriroa  
 Private Bag 3010, Hamilton, New Zealand.  
**FAX: (07) 838 6950**

**BUILDING UNIT**  
**AS LAID DRAINAGE PLAN**

STREET: <u>Rose St</u>	No: _____	LOT: _____	DPS _____
OWNER: <u>PARADISE HOMES</u>		DRAINLAYER: <u>DENTON DRAINAGE</u>	
INSPECTOR: <u>JOHN MAH</u>		REG No: <u>07005</u>	
DATE OF INSPECTION: <u>3-12-04</u>		CONSENT No: <u>10575/2004</u>	

**DRAINLAYER PLEASE FILL IN ALL DETAILS**



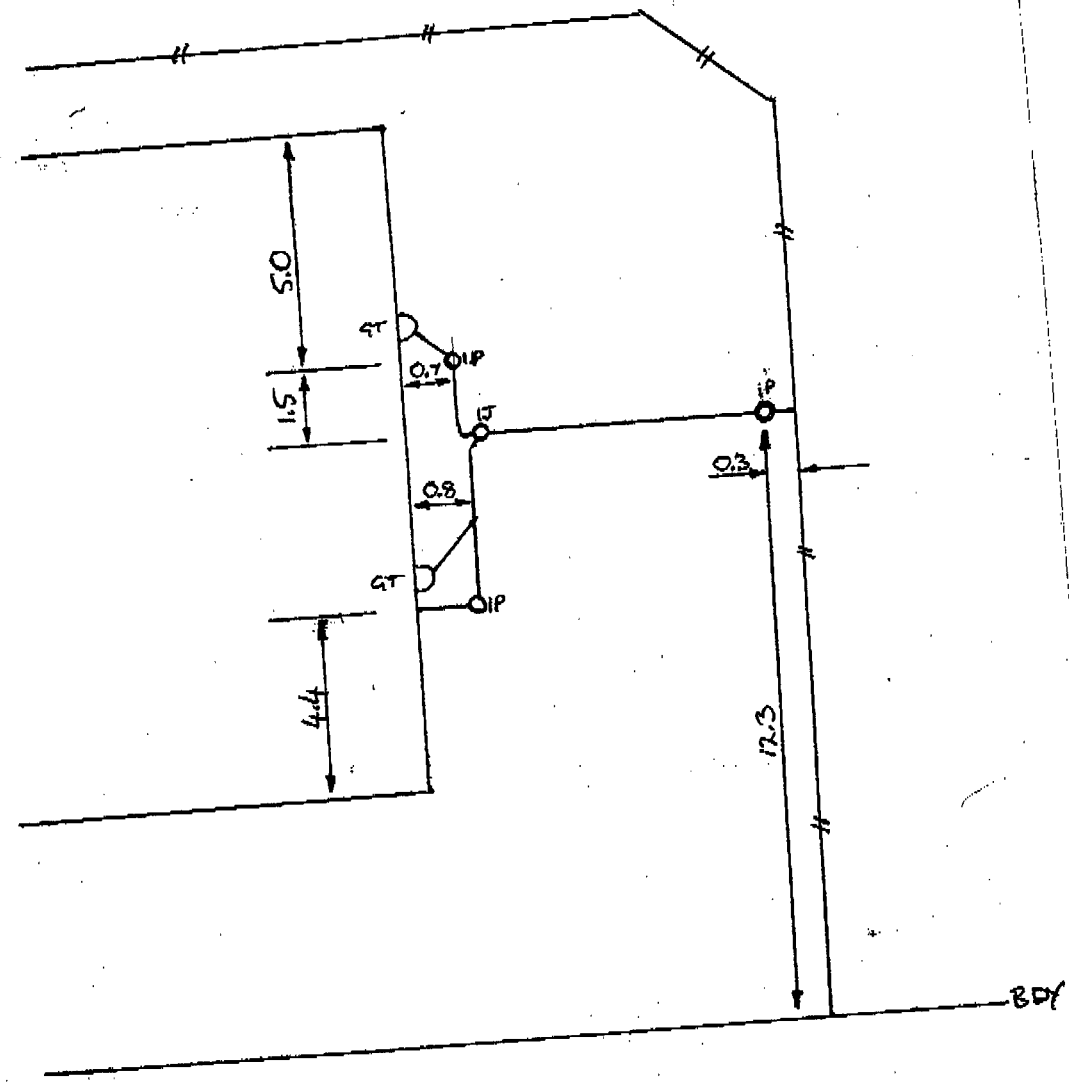
erPrint  
**DRAINLAYER'S SIGNATURE:** [Signature] **DATE:** 3-12-04  
 ALDP version 1 04/2002

**Hamilton City Council**  
 Te kaunihera o Kirikiriroa  
 Private Bag 3010, Hamilton, New Zealand.  
**FAX: (07) 838 6950**

**BUILDING UNIT**  
**AS LAID DRAINAGE PLAN**

STREET: Rose St No: \_\_\_\_\_ LOT: \_\_\_\_\_ DPS \_\_\_\_\_  
 OWNER: PARADISE HOMES DRAINLAYER: DENTON DRAINLAYS  
 INSPECTOR: JOAN MAH REG No: 07005  
 DATE OF INSPECTION: 3-12-04 CONSENT No: 10575/2004

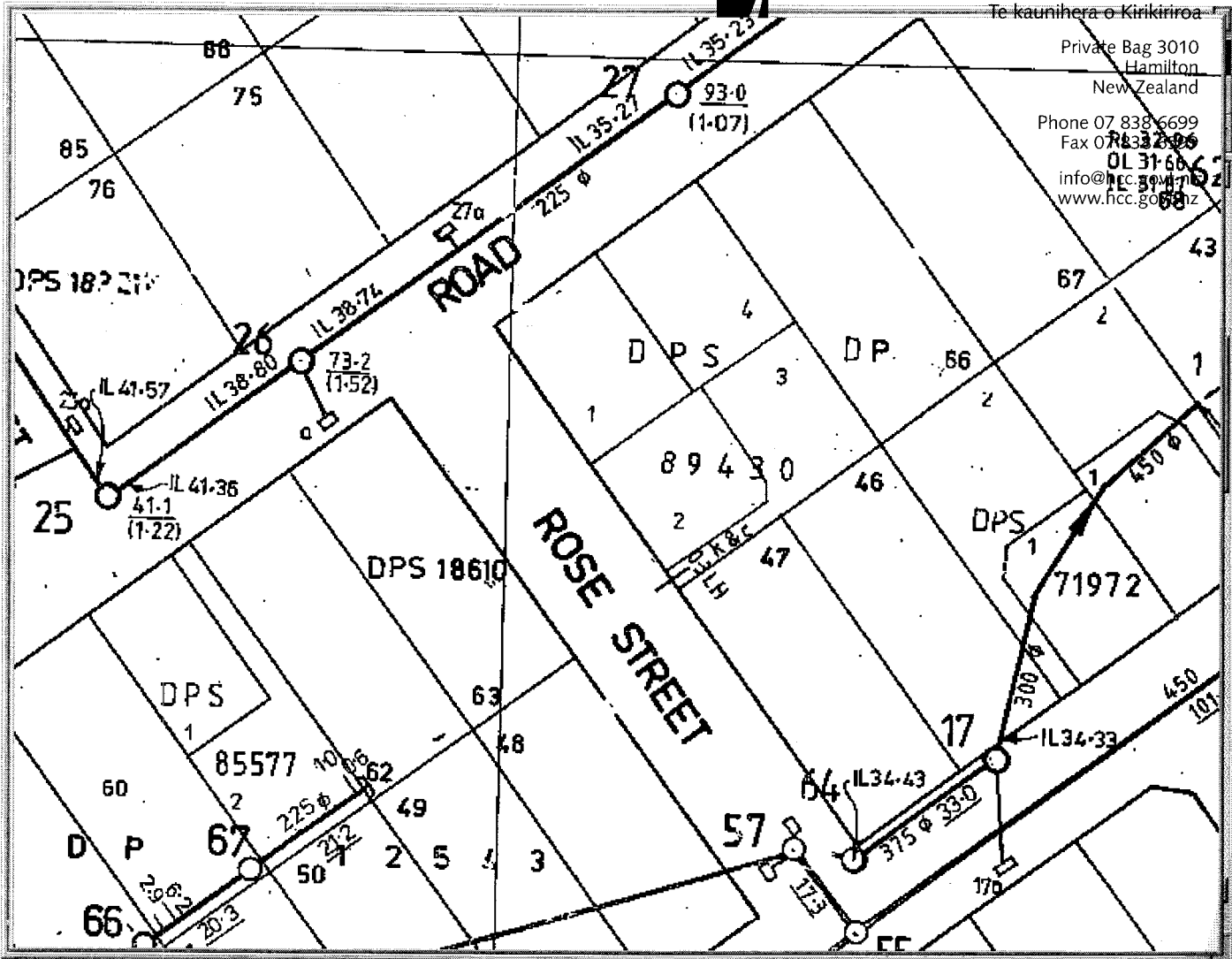
**DRAINLAYER PLEASE FILL IN ALL DETAILS**



Rose St

DRAINLAYER'S SIGNATURE: [Signature] DATE: 3-12-04  
ALDP version 1 04/2002





Stormwater

**WARNING:** Levels, locations and dimensions of drainage/water works shown on this plan may not be accurate, due to circumstances not notified to Council. A physical check should be made on all levels, locations and dimensions before starting design or works.

Contact WDR Unit, phone (07) 838 6999. COPYRIGHT HAMILTON CITY COUNCIL 1999.



# Hamilton City Council

Te kaunihera o Kirikiriroa

**BUILDING CONSENT  
ACCOUNT DUE**

Private Bag 3010 Hamilton, Phone 07 838 6699, Fax 07 838 6684  
Office Hours: Monday to Friday 8am to 4.45pm

**TAX INVOICE**  
G.S.T. REG. No. 11-174-531

PLEASE QUOTE ACCOUNT No. ON  
ALL CORRESPONDENCE

Paradise Homes Ltd  
P O BOX 12268  
HAMILTON 2030

Account No. 19812/37  
Page 01  
Date 21/09/2004  
TAX INVOICE

DATE	INVOICE No.	DETAILS	BALANCE
21/09/2004	10575	Building Industry Au	81.25
		GST \$0.00	
		Brans Levy	125.00
		GST \$0.00	
		Code Compliance Cert	55.00
		GST \$6.11	
		Building Consent	1045.00
		GST \$116.11	
		Street Crossings	120.00
		GST \$13.33	
		A4 Microfilming	81.50
		GST \$9.06	
		2004/10575 - 4 Rose Street HAMILTON	1507.75
		Invoice Total (including GST)	1507.75
			1507.75
		Total Value non-taxable supply(s)	206.25
		Total Value taxable supply(s) excluding GST	1156.89
		Total GST Payable	144.61

ALL QUERIES TO BUILDING CONSENTS

DUE DATE 21/09/2004

TOTAL DUE 1507.75

ALL FEES & CHARGES MUST BE PAID PRIOR TO THE BUILDING CONSENT BEING UPLIFTED. THIS ACCOUNT INCLUDES G.S.T.  
THE CUSTOMER WILL BE LIABLE FOR UNPAID DEBTS AS WELL AS ASSOCIATED COLLECTION COSTS.

## HAMILTON CITY COUNCIL BUILDING CONSENTS

PRIVATE BAG 3010

HAMILTON

DUE DATE

21/09/2004

TOTAL DUE

1507.75

Paradise Homes Ltd

P O BOX 12268

HAMILTON 2030

ACCOUNT No.

19812/37 10575

INVOICE

IF ADDRESS IS INCORRECT PLEASE  
COMPLETE THE FOLLOWING:

NAME: \_\_\_\_\_

THIS ACCOUNT ONLY

ADDRESS: \_\_\_\_\_

ALL COUNCIL SERVICES





# Hamilton City Council

Te kaunihera o Kirikiriroa

**BUILDING CONSENT  
ACCOUNT DUE**

**TAX INVOICE**

G.S.T. REG. No. 11-174-531

Private Bag 3010 Hamilton, Phone 07 838 6699, Fax 07 838 6684

Office Hours: Monday to Friday 8am to 4.45pm

PLEASE QUOTE ACCOUNT No. ON  
ALL CORRESPONDENCE



Greg Thompson  
C/O Paradise Homes  
P O Box 12268  
Chartwell

Account No. 67693/39  
Page 01  
Date 21/09/2004  
TAX INVOICE

DATE	INVOICE No.	DETAILS	BALANCE
21/09/2004	10575	Project Information	100.00
		GST \$11.11	
		2004/10575 - 4 Rose Street HAMILTON	100.00
		Invoice Total (including GST)	100.00
			100.00
		Total Value non-taxable supply(s)	0.00
		Total Value taxable supply(s) excluding GST	88.89
		Total GST Payable	11.11

ALL QUERIES TO BUILDING CONSENTS

DUE DATE 21/09/2004

**TOTAL DUE** 100.00

ALL FEES & CHARGES MUST BE PAID PRIOR TO THE BUILDING CONSENT BEING UPLIFTED. THIS ACCOUNT INCLUDES G.S.T.  
THE CUSTOMER WILL BE LIABLE FOR UNPAID DEBTS AS WELL AS ASSOCIATED COLLECTION COSTS.

## HAMILTON CITY COUNCIL BUILDING CONSENTS

PRIVATE BAG 3010

HAMILTON

DUE DATE

21/09/2004

TOTAL DUE

100.00

Greg Thompson  
C/O Paradise Homes  
P O Box 12268  
Chartwell

ACCOUNT No.

67693/39 10575

INVOICE

IF ADDRESS IS INCORRECT PLEASE  
COMPLETE THE FOLLOWING:

NAME: \_\_\_\_\_

THIS ACCOUNT ONLY

ADDRESS: \_\_\_\_\_

ALL COUNCIL SERVICES

204152  
3 September 2004



Paradise Homes Ltd  
P O Box 12268  
Chartwell  
Hamilton

109 ROSTREVOR STREET  
BOX 5254, HAMILTON  
NEW ZEALAND  
FACSIMILE 0-7-839 4664  
TELEPHONE 0-7-839 6300  
info@lyallgreenconsultants.co.nz

Attention: Jason Scriver

Dear Sir

**LIMITED GEOTECHNICAL ASSESSMENT  
2 ROSE STREET, HAMILTON**

Following your request we have carried out a limited geotechnical assessment of the above property.

A. Introduction  
The purpose of our investigation was to assess the bearing zone soil profile and suitability for support of a light timber framed house supported on timber piles on the property and a garage supported on concrete foundations.

B. Field Investigation  
The field investigation was limited to placement of 3 hand auger bores across the site together with insitu Scala penetrometer and shear vane tests adjacent to each borehole.

The results of this fieldwork are shown on the attached plans, R01 to R04, with the house foundation setout and details shown on the attached plans L01 and L02.

C. The Site  
The virgin soils found on the site are typical of the slightly elevated ground in the Waikato basin and are comprised of alluvial deposits known as the Hinuera formation overlying Hamilton Clay.

The borings revealed that the site is overlain with approximately 200mm to 400mm of topsoil over virgin silts, sands and clay.

Scala penetrometer tests indicate that the virgin soil has a safe working bearing strength of 100kPa at 500mm below ground level.

D. Foundations

In order to construct the single storey light weight timber framed dwelling, the foundations must be capable of providing adequate support within the inorganic soils. To this end the foundations must provide a bearing area directly in contact with the sandy silts and silty sands 500mm below ground level.

The following foundation design recommendations are based on bearers located at 2.50m maximum centers and piles at 2.00m maximum centers along each of the bearers. I.e. a maximum loaded net floor area of 5.0m<sup>2</sup> per pile:

- Install Standard piled foundations to details complying with NZS 3604 in every respect except these shall be extended to the required minimum depth of 500mm below ground level.
- Similarly install Anchor pile foundations to an to details complying with NZS 3604.
- The bottom of all Standard piles shall be at 500mm minimum below ground level and the Anchor piles shall extend to 1200mm below ground.
- All other construction shall comply with NZS 3604 and the New Zealand Building Code.

*Note: The civil engineering and geotechnical opinions and recommendations which are contained in this report are based on site conditions as they presently exist and further assume that the exploratory holes and soundings are representative of subsurface conditions throughout the site ie. inferences about the nature and continuity of the ground conditions away from the boreholes have been made in the preparation of this report. It is assumed that the subsurface conditions everywhere are not significantly different from those disclosed by the investigation.*

*Actual conditions may vary across the site however and in some locations may differ from those described on the bore logs.*

*We should be notified of any subsurface conditions which appear to be different than those disclosed by this investigation so that these conditions may be reviewed and our recommendations reconsidered where necessary.*

*This report does not cover site contamination or any issue related to health and safety or financial implication arising from the residual landfill management.*

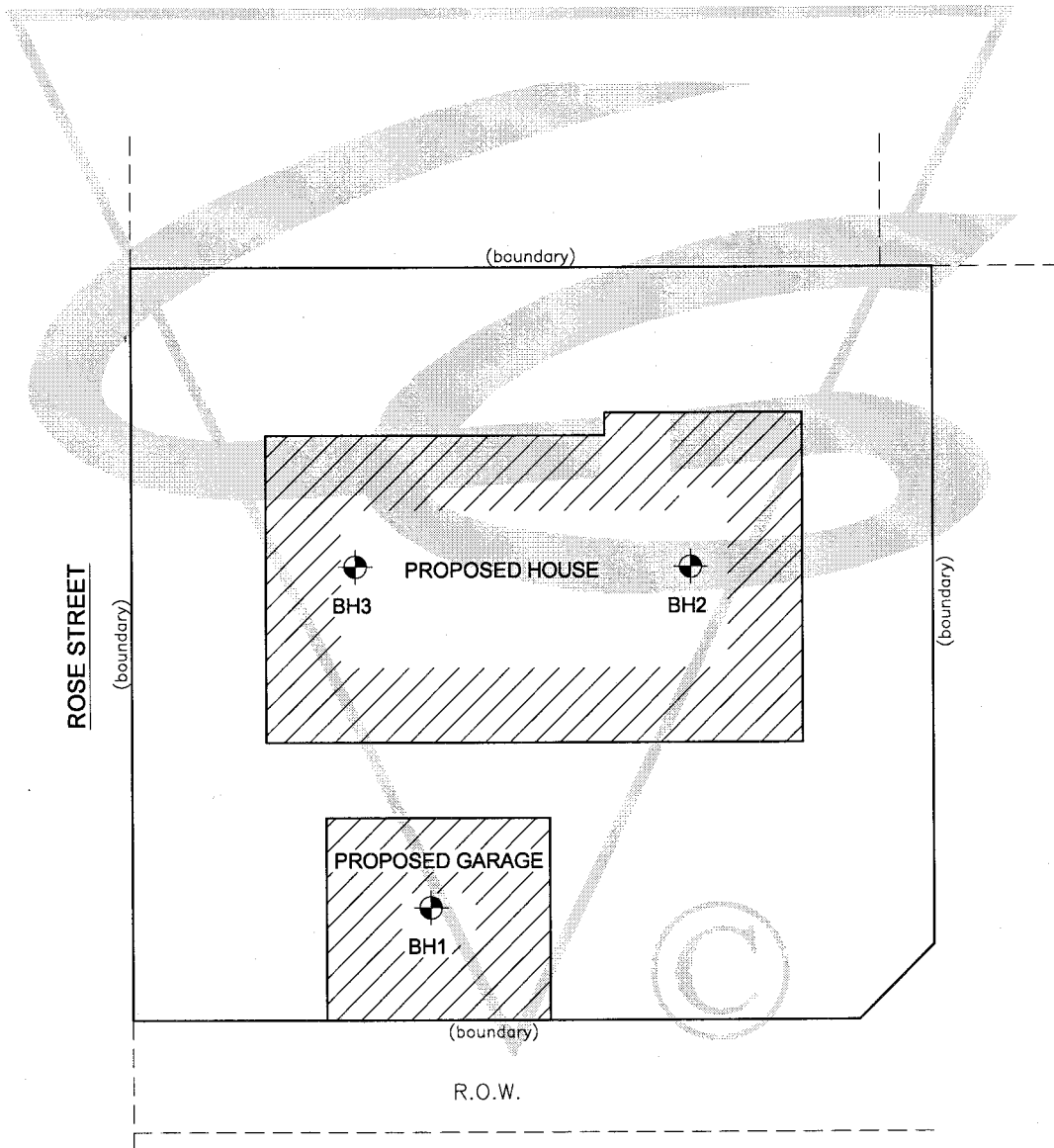
*This report has been prepared for use by Paradise Homes Ltd and the Hamilton City Council only. No responsibility will be accepted for its interpretation or use by any other person.*

Yours faithfully  
LYALL GREEN CONSULTANTS LTD

A handwritten signature in black ink, appearing to read 'L B Green', is written over the typed name.

L B GREEN  
Ref: 204152geo  
Encl.

Steven Green, Lyall Green Consultants Ltd 09/09/2004 09:41 pm204152 R01.dwg



**LYALL GREEN  
CONSULTANTS LTD**  
BUILDING CONSULTANTS  
109 ROSTREVOR STREET, P.O. BOX 5254,  
HAMILTON, NEW ZEALAND.  
ph (07) 839-6300 fax (07) 839-4664  
e-mail info@lyallgreenconsultants.co.nz

PARADISE HOMES LTD  
LOT 2, ROSE STREET  
HAMILTON

DRAWN:	S.G.
DATE:	8/2004
SCALE:	1:200
CONTRACT:	204152
DRAWING:	<b>R01</b>

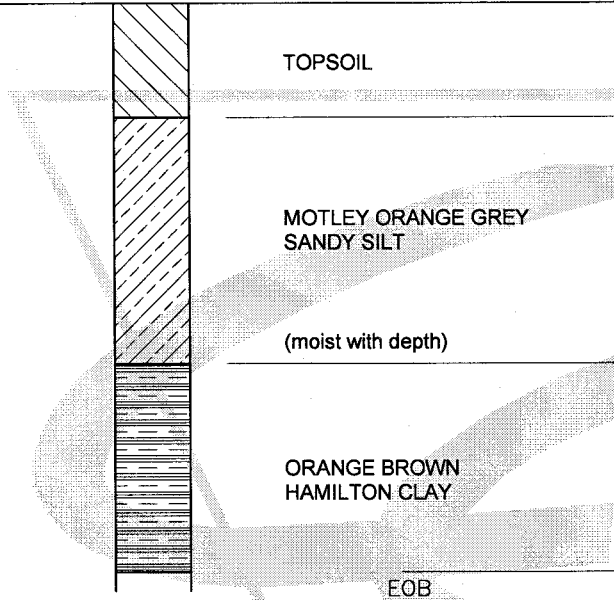
# SOIL DESCRIPTION

# FIELD TEST DATA

BORE HOLE No: 1

SURFACE ELEVATION

Depth in metres	Shear Strength (kPa)	SCALA PENETROMETER (blows per 100mm drop)																		
		1	2	3	4	5	6	7	8	9	10									
0.0 - 0.5																				
0.5 - 1.0																				
1.0 - 1.5																				
1.5 - 2.0	63																			
2.0 - 2.5																				
2.5 - 3.0																				



**Note:**

The stratification lines shown represent the approximate boundary between soil types. The transition may in fact be gradual.

Steven Green, Lyall Green Consultants Ltd 9/09/2004 09:41 p.m. 204152 R02.dwg



**LYALL GREEN CONSULTANTS LTD**  
 BUILDING CONSULTANTS  
 109 ROSTREVOR STREET, P.O. BOX 5254,  
 HAMILTON, NEW ZEALAND.  
 ph (07) 839-6300 fax (07) 839-4664  
 e-mail info@lyallgreenconsultants.co.nz

PARADISE HOMES LTD  
 LOT 2, ROSE STREET  
 HAMILTON

DRAWN:	S.G.
DATE:	8/2004
SCALE:	1:20
CONTRACT:	204152
DRAWING:	<b>R02</b>

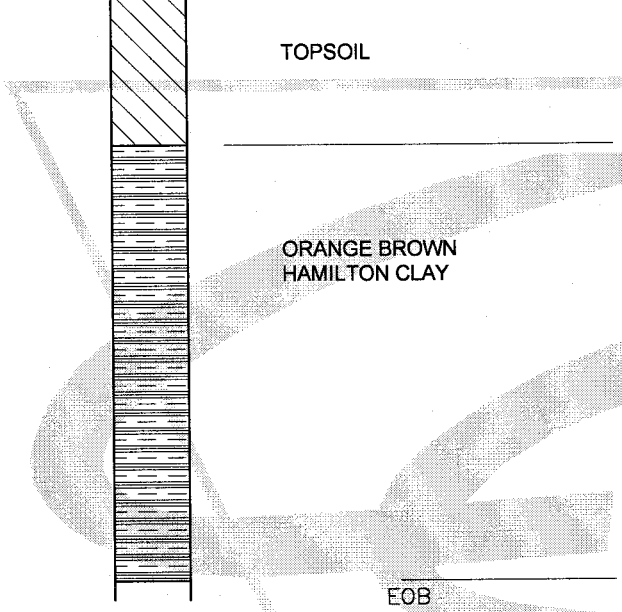
# SOIL DESCRIPTION

# FIELD TEST DATA

BORE HOLE No: 2

SURFACE ELEVATION

Depth in metres	Shear Strength (kPa)	SCALA PENETROMETER (blows per 100mm drop)																		
		1	2	3	4	5	6	7	8	9	10									
0.5	73																			
1.0																				
1.5	89																			
2.0																				
2.5																				
3.0																				



**Note:**

The stratification lines shown represent the approximate boundary between soil types. The transition may in fact be gradual.



**LYALL GREEN CONSULTANTS LTD**  
BUILDING CONSULTANTS

109 ROSTREVOR STREET, P.O. BOX 5254,  
HAMILTON, NEW ZEALAND.  
ph (07) 839-6300 fax (07) 839-4664  
e-mail info@lyallgreenconsultants.co.nz

PARADISE HOMES LTD  
LOT 2, ROSE STREET  
HAMILTON

DRAWN:	S.G.
DATE:	8/2004
SCALE:	1:20
CONTRACT:	204152
DRAWING:	<b>R03</b>

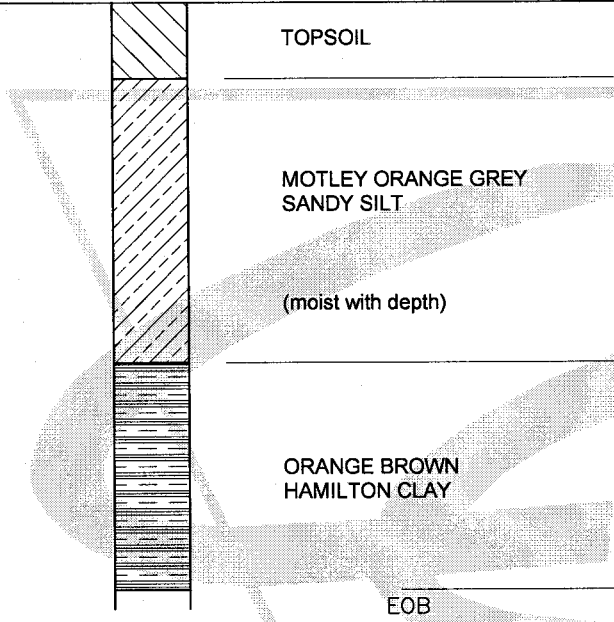
# SOIL DESCRIPTION

# FIELD TEST DATA

BORE HOLE No: 3

SURFACE ELEVATION

Depth in metres	Shear Strength (kPa)	SCALA PENETROMETER (blows per 100mm drop)												
		1	2	3	4	5	6	7	8	9	10			
0.0 - 0.1														
0.1 - 0.2														
0.2 - 0.3														
0.3 - 0.4														
0.4 - 0.5														
0.5 - 0.6														
0.6 - 0.7														
0.7 - 0.8														
0.8 - 0.9														
0.9 - 1.0														
1.0 - 1.1														
1.1 - 1.2														
1.2 - 1.3														
1.3 - 1.4														
1.4 - 1.5	104													
1.5 - 1.6														
1.6 - 1.7														
1.7 - 1.8														
1.8 - 1.9														
1.9 - 2.0														
2.0 - 2.1														
2.1 - 2.2														
2.2 - 2.3														
2.3 - 2.4														
2.4 - 2.5														
2.5 - 2.6														
2.6 - 2.7														
2.7 - 2.8														
2.8 - 2.9														
2.9 - 3.0														



**Note:**

The stratification lines shown represent the approximate boundary between soil types. The transition may in fact be gradual.

Steven Green, Lyall Green Consultants Ltd 3/09/2004 09:41 p.m. 204152 R04.dwg



**LYALL GREEN CONSULTANTS LTD**  
 BUILDING CONSULTANTS  
 109 ROSTREVOR STREET, P.O. BOX 5254,  
 HAMILTON, NEW ZEALAND.  
 ph (07) 839-6300 fax (07) 839-4664  
 e-mail info@lyallgreenconsultants.co.nz

PARADISE HOMES LTD  
 LOT 2, ROSE STREET  
 HAMILTON

DRAWN:	S.G.
DATE:	8/2004
SCALE:	1:20
CONTRACT:	204152
DRAWING:	<b>R04</b>

**WALL BRACE SHEET A**

**Name :** Thomson  
**Address :** Lot 2 - Rose Street, Hamilton

Location of Storey **Single**  
 Building Height to apex **4.9 m** Roof weight **Light**  
 Roof height above eaves **1.9 m** Cladding weight **Light**  
 Stud Height **2.4 m** Room in roof space **No**  
 Average roof pitch **23 °**

Note: When average roof pitch is over 25d, Use the eaves Length and width to determine BL and BW  
 Note: For heavy roofs use the roof plan at eaves level to determine GPA

**WIND ZONE** **Low**

**EARTHQUAKE ZONE** **b**

**BW** **8.8**      **BL** **14.4** Gross Floor Area **121 m<sup>2</sup>**

**BU's for Wind**  
**From Table:**

W Along	33				
		<b>Total Wind:</b>			
		<b>ALONG = W Along x BW</b>			
		33	x	8.8	= <b>290.4</b>
W Across	28				
		<b>ACROSS = W Across x BL</b>			
		28	x	14.4	= <b>403.2</b>

**BU's for Earthquake**  
**From Table:**

		<b>Total Earthquake: E x GPA</b>			
E	=	2.7			
			x	121	= <b>326.7</b>



**WALL BRACE SHEET B**

**ALONG**

**BRACE LINE      WALL BRACING ELEMENTS PROVIDED**

Line Label	Min B'us Req.	Brace ele No.	Type table K1	Length (m)	Eq Rating Bu's	Wind Rating Bu's	Eq Bu's Ach'd	Wind Bu's Ach'd	
A	88	a1	gib1	2.4	50	75	120	180	
							<u>Total</u>	<u>120.0</u>	<u>180.0</u>
B	70	b1	gib2	2.4	70	80	168	192	
							<u>Total</u>	<u>168.0</u>	<u>192.0</u>
C	70	c1	gib2	2.4	70	80	168	192	
		c2	gib2	1.8	60	75	108	135	
							<u>Total</u>	<u>276.0</u>	<u>327.0</u>
D	82	d1	gib2	2.4	70	80	168	192	
							<u>Total</u>	<u>168.0</u>	<u>192.0</u>
							<u>Total</u>	<u>0.0</u>	<u>0.0</u>
F									
							<u>Total</u>	<u>0.0</u>	<u>0.0</u>

**TOTAL**                      =      732.0      891.0

Units required from Sheet A      326.7      290.4

PARADISE HOMES LTD  
 Thomson - Lot 2  
 Rose Street, Hamilton

**ACROSS**

**BRACE LINE WALL BRACING ELEMENTS PROVIDED**

Line Label	Min B'us Req.	Brace ele No.	Type table K1	Length (m)	Eq Rating Bu's	Wind Rating Bu's	Eq Bu's Ach'd	Wind Bu's Ach'd
<b>M</b>	144	m1	br4	0.9	85	100	76.5	90
		m2	br4	1.2	85	100	102	120
<b>Total</b>							178.5	210.0
<b>N</b>	70	n1	gib2	2.4	70	80	168	192
		n2	gib2	2.4	70	80	168	192
<b>Total</b>							336.0	384.0
<b>O</b>	144	o1	br9	0.7	95	110	66.5	77
		o2	br4	0.9	85	100	76.5	90
<b>Total</b>							143.0	167.0
<b>P</b>								
<b>Total</b>							0.0	0.0
<b>Q</b>								
<b>Total</b>							0.0	0.0
<b>R</b>								
<b>Total</b>							0.0	0.0
<b>S</b>	42	s1	cp3	1.2	83	88	99.6	105.6
		s2	cp3	1.2	83	88	99.6	105.6
<b>Total</b>							199.2	211.2

**TOTAL** = **856.7** **972.2**

Units required from Sheet A **326.7** **403.2**



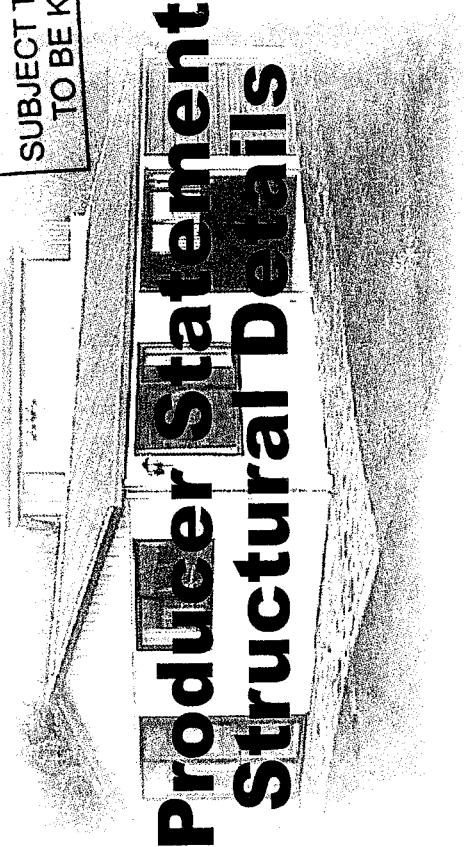
Designed by:



G R O U P L T D HAMILTON CITY COUNCIL

**APPROVED**

SUBJECT TO CONDITION  
TO BE KEPT ON SITE



**Producer's Statement  
Structural Details**

**Notes**

**Copyright:** These drawings must not be reproduced without express permission from Gang-Nail Group Ltd and Versatile Buildings Ltd.

**BRANZ Note:** Copies of Bracing Test Report for wall cladding, Test number STR346, available for inspection from Versatile Buildings Ltd, 112 Waterloo Road, Christchurch.

**Building Classification:** Buildings designed for Class 5 Category as defined in NZS4203:1992 Table 2.3.1

**Patent:** 'Flexi-Brace' subject to Patent Application No: 504428  
Gang-Nail Group Ltd.

Steel 'Stud Saver' subject to Registered Patent No's 330803 & 314494.

**Index**

Index	Cover Page
Page 1	Producer Statement: Gang-Nail Ltd- Design
Page 2	Producer Statement: Versatile Buildings/BHP - Durability
VB2000-3	Detail Index
VB2000-4	Floor slab/bolting & Size Tables/Charts
VB2000-5	Hardware Fixing Details
VB2000-6	1000 Series Wall Bracing Units (1000mm stud centers)
VB2000-7	600 Series Wall Bracing Units (600mm stud centers)
VB2000-8	Roof & Wall Bracing (2.7 & 3.0m stud)
VB2000-9	Fire-Wall Details
VB2000-10	PLY-bracing (Tilt-Door, Front and rear opening)
VB2000-11	Partition wall bracing
VB2000-12	Internal Lining details
VB2000-13	Raking Wall Brace (end wall brace) details
VB2000-14	Truss details 2.4m to 7.8m span
VB2000-15	Truss details 8.4m to 10.2m span
VB2000-16	Roof bracing (600 & 1000 series)
VB2000-17	Garaport / Verandah & Deck details

**CONVENTIONS:**

"600 series" refers to buildings with studs at 600mm centers.  
"1000 series" refers to buildings with studs at 1000mm centers.

**VB20000 SERIES**

JULY 2000 Version 1.0

B.O'Connor

**PRODUCER STATEMENT - DESIGN  
GANG-NAIL GROUP LIMITED****VB2000  
GANG-NAIL DESIGN**

The building design VB2000 sheets VB2000-3 through VB2000-17 have been compiled using sound and widely accepted engineering principles and in accordance with NZS4203:1992 and NZS3603:1993 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992.

As independent design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000 I BELIEVE ON REASONABLE GROUNDS that subject to:


1. The verification of all design assumptions detailed in the drawings and
2. All proprietary products meeting the performance specification requirements,

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.

Stephen Anthony COLL

T.M. IPENZ, MNZIOB

for GANG-NAIL GROUP LIMITED  
20 KOTZIKAS PLACE  
CHRISTCHURCH  
NEW ZEALAND



Date: 1 August, 2000





**BHP New Zealand Steel**



## **VERSATILE BUILDINGS LIMITED PRODUCER STATEMENT – DURABILITY**

The building designs VB2000 have been designed using the external metal cladding on the walls to assist in their structural stability.

To satisfy the requirements of Clause B2: "Durability" of the NZBC 1992 and to ensure the cladding material meets a 50-year durability life the following provisions must apply:

### **Range of Product and Use**

- Specification: AS1397: 1994
- Coating Type: Zinalume & G2z
- Steel thickness range: 0.35mm – 0.95mm BMT
- Steel grade range: G300 – G550
- Application: Standard Versatile Walls on Class V Building category as per NZS4203: 1992
- Fasteners: Heavy Zinc or Zinc-tin coated clouts to comply with AS3566 Classes 3 & 4.  
Aluminium rivets for all BHP Cladding products.

### **Requirements, Limitations and Exclusions**

- Applicable to buildings in Coastal Very Severe, Coastal Severe, Coastal Moderate and Inland Moderate environments as described in BHP New Zealand Steel Environment Categories March 2000.
- Fixing and installation of the cladding must be done exactly in accordance with Versatile Buildings Fixing Guide – VB2000
- Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

### **Regular Maintenance**

- **Moderate Marine Environment**  
Rain washing only required on exposed sections, sheltered or protected areas require washing every 3 months.
- **Severe and Very Severe Environment**  
Rain-washing only required on exposed areas. Sheltered and protected areas require washing down every month and whenever corrosive salts are present.

### **Extended Maintenance, Painting or Repainting**

- **Extended Durability**  
Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufactures recommendations are to be followed for surface preparation and paint type to be used.
- **Evident Corrosion**  
Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required.  
Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.  
If evident corrosion is not treated quickly rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

### **References**

1. BHP New Zealand Steel  
"Environmental Categories" March 2000
2. Versatile Buildings Assembly Instructions for Standard Garages
3. New Zealand Building Code 1992

Brett Waterfield

for Versatile Buildings Ltd  
112 Waterloo Road  
Christchurch

NEW ZEALAND

Gary Bonniface

for BHP New Zealand Steel  
Private Bag 92121  
Auckland

NEW ZEALAND

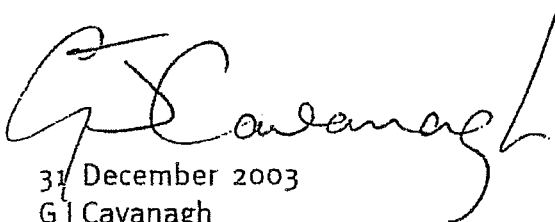
Dated: 1<sup>st</sup> July 2000

Producer Statement – Manufacture  
Versatile Buildings Ltd

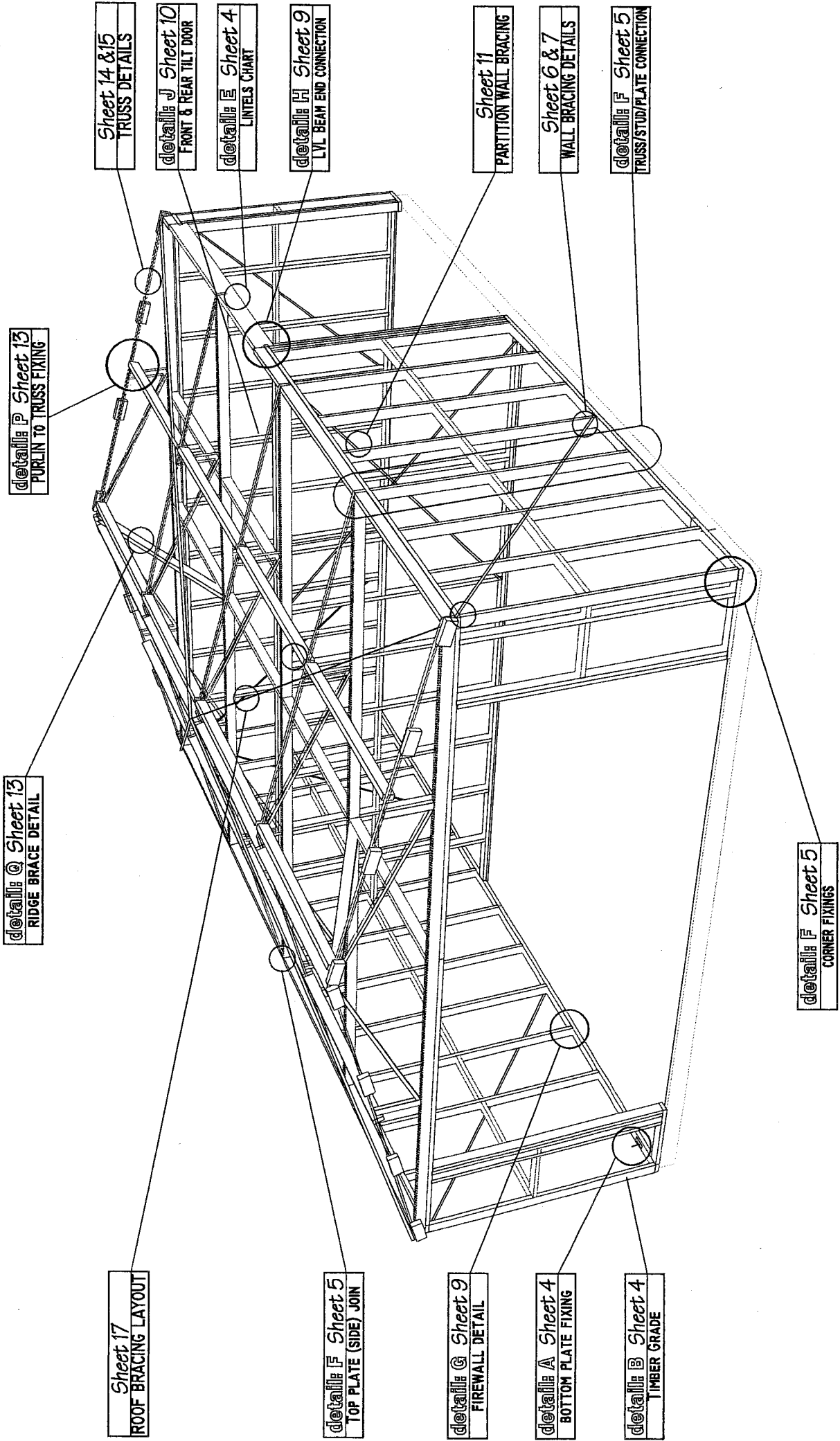
This is to certify that 90x35 Laserframe MGP Timber Framing produced by Carter Holt Harvey and supplied to Versatile Buildings Ltd for their VB2000 Series buildings and specified for building work in relation to the performance requirements of the NZ Building Code will be fit for purpose and meets the objectives of Clause B1 Structure subject to:

1. The design being properly completed in accordance with:
  - a) NZS 3603 : 1993 Timber Design Code.
  - b) Laserframe Product Information sheet dated November 1997.
  
2. The Laserframe framing work being properly completed in accordance with the drawings and specifications of Versatile Buildings Ltd. for the VB2000 Series buildings.

I, Guy John Cavanagh being a professional engineer experienced in timber products development, specification and design, have taken all reasonable steps to verify that Laserframe structural timber for residential and non-residential framing will comply with the strength and serviceability performance requirements of the NZ Building Code clause B1 Structure.



31 December 2003  
G J Cavanagh  
BE MICE  
Registered Engineer No 5282



DESIGN: S.A. Cull  
DRAWING: YB L14  
DATE: YB2000-3 Feb 04

DRAWING TITLE:  
**Detail Index**

SHEET: **3** OF SHEET: **18**

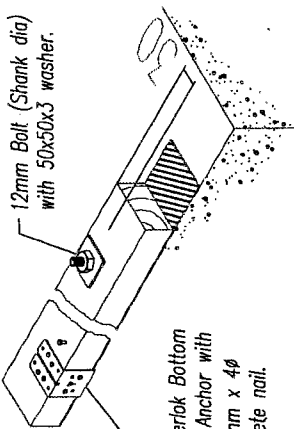
**VERSATILE BUILDINGS LTD**  
Construction Details



**VERSATILE BUILDINGS**  
112 WATERLOO ROAD, HOBSONVILLE  
AUCKLAND  
PH: (09) 344-9222 FAX: (09) 344-9226

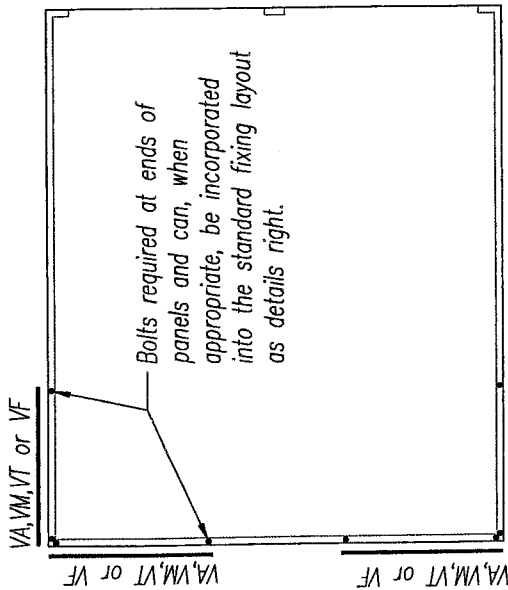
Wind Load	Max. Truss Span or Building Width
Low	12000
Medium	10600
High	9600
Very High	8400

NOTE: For fastener spacing @ 900 crs, truss spans building width can be increased by 25%.



### Detail A Bottom plate fixing

### 2.7 & 3.0m stud plate fixing Detail C

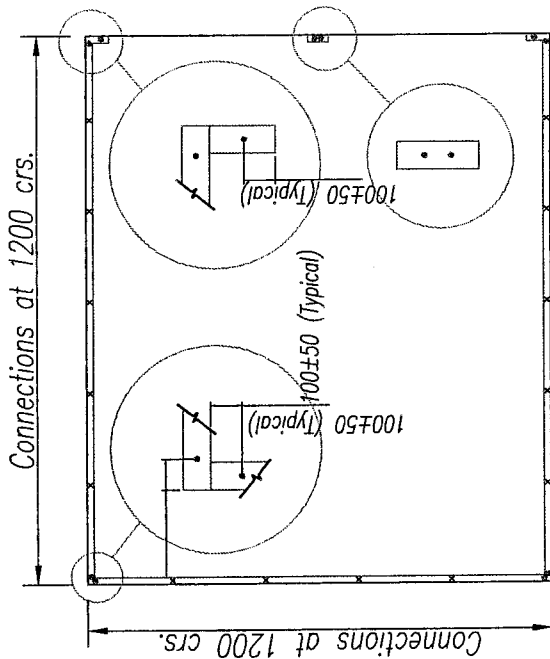


### TIMBER GRADES:

LOCATION	STUD	Low / Med. & High Wind	V. High Wind (600 series only)
90x35 STUDS (Machine Stress Graded)	2.1 to 3.0m stud	MGP10	2.1m to 2.7m stud: MGP10 3.0m stud: MGP10 @ 30mm SPACINGS
90x35 PLATES (Machine Stress graded)	MGP10	MGP10	MGP10
90x45 PURLINS (Machine Stress Graded)	MGP10	MGP10	MGP10

### Detail B Timber grades

### Detail D 2.1 & 2.4m stud plate fixing



### NOTE:

- Connections must be applied at all corners and door openings shown; and then spaced, as per layout above, between these points.

### Lintel charts Detail E

### SIDE ENTRY: ALUMINIUM JOINERY

2.1m stud height

Opening Width	Bldg Width	Lintel Size
865mm clear span	up to 9.0m	190x45 + 90x45
1165mm clear span	up to 9.0m	190x45 + 90x45
1765mm clear span	up to 9.0m	190x45 + 90x45
2365mm clear span	up to 9.0m	190x45 + 90x45

2.4m-3.0m stud height

Opening Width	Bldg Width	Lintel Size
865mm clear span	up to 9.0m	2x 90x45
1165mm clear span	up to 9.0m	2x 90x45
1765mm clear span	up to 9.0m	2x 140x45
2365mm clear span	up to 9.0m	190x45 + 90x45

### SIDE ENTRY: TILT-DOORS

2.7m wide opening

Bldg Width	Low / Med	High
6.0m	170x45 LVL	170x45 LVL
6.6m & 7.2m	170x45 LVL	170x45 LVL
7.8m to 9.0m	2x 170x45 LVL	2x 170x45 LVL

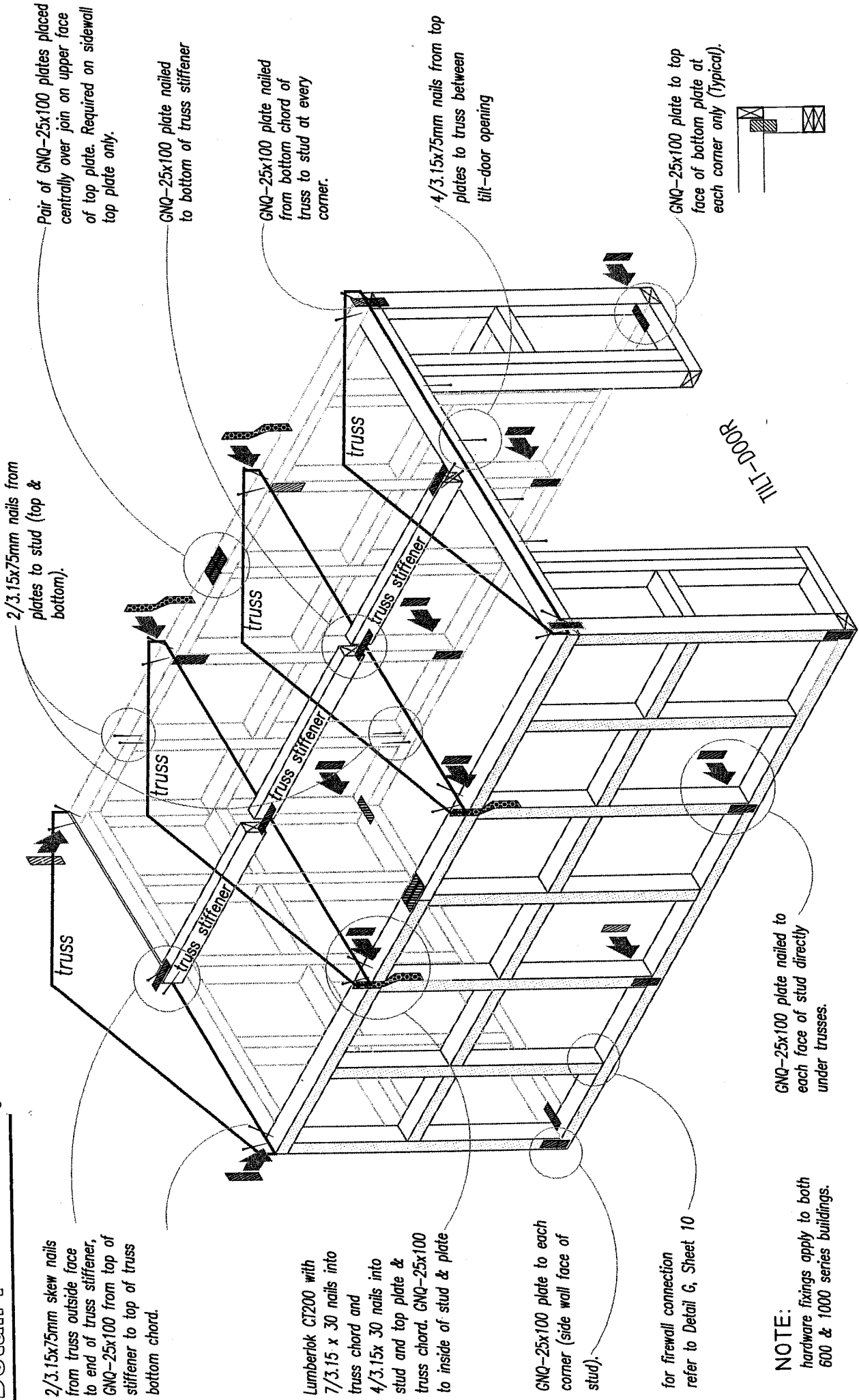
3.0m-4.5m wide opening

Bldg Width	Low / Med	High
6.0m	240x45 LVL	2x 240x45 LVL
6.6m & 7.2m	240x45 LVL	2x 240x45 LVL
7.8m to 9.0m	2x 240x45 LVL	2x 240x45 LVL

DESIGN NOTES: Dead load: 0.20kPa  
Live Load: 0.25kPa, Snow Load: 0.50 kPa  
Max. long term deflection: L/300 or 15mm) max  
Wind Load in accordance with NZS 3604:1999



# Detail F Hardware Fixing Locations



2/3.15x75mm skew nails from truss outside face to end of truss stiffener. GNQ-25x100 from top of stiffener to top of truss bottom chord.

Lumberlok C1200 with 7/3.15 x 30 nails into truss chord and 4/3.15x 30 nails into stud and top plate & truss chord. GNQ-25x100 to inside of stud & plate

GNQ-25x100 plate to each corner (side wall face of stud).

for firewall connection refer to Detail G, Sheet 10

**NOTE:**  
hardware fixings apply to both 600 & 1000 series buildings.

2/3.15x75mm nails from plates to stud (top & bottom).

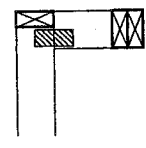
Pair of GNQ-25x100 plates placed centrally over join on upper face of top plate. Required on sidewall top plate only.

GNQ-25x100 plate nailed to bottom of truss stiffener

GNQ-25x100 plate nailed from bottom chord of truss to stud at every corner.

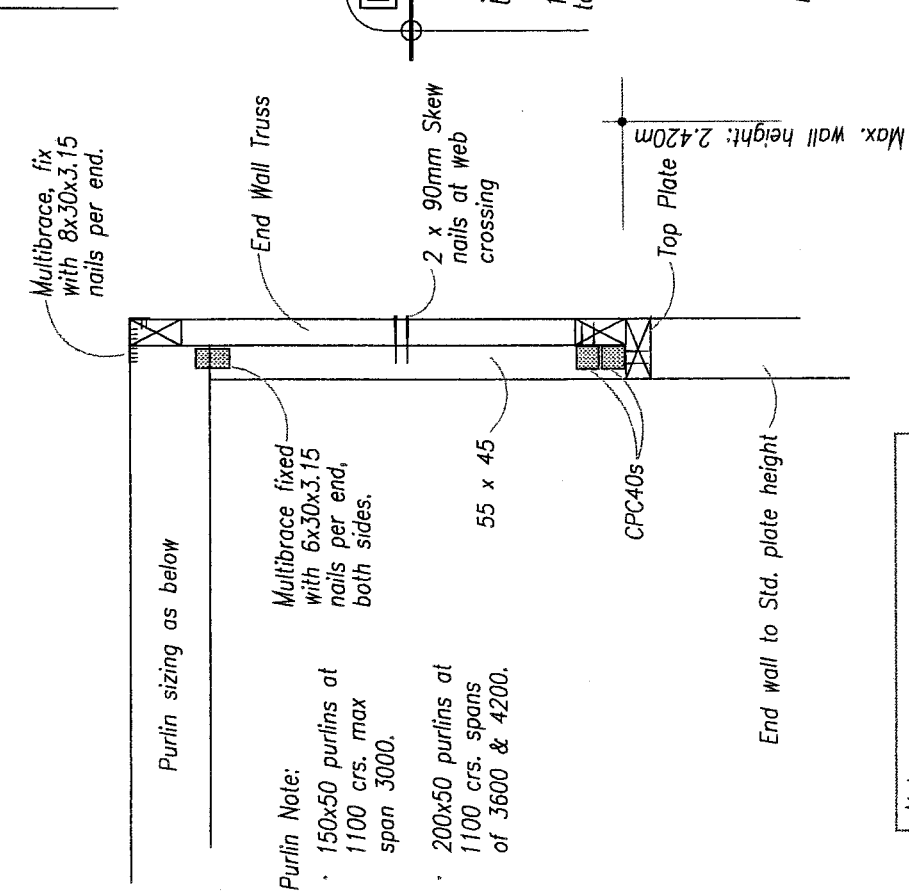
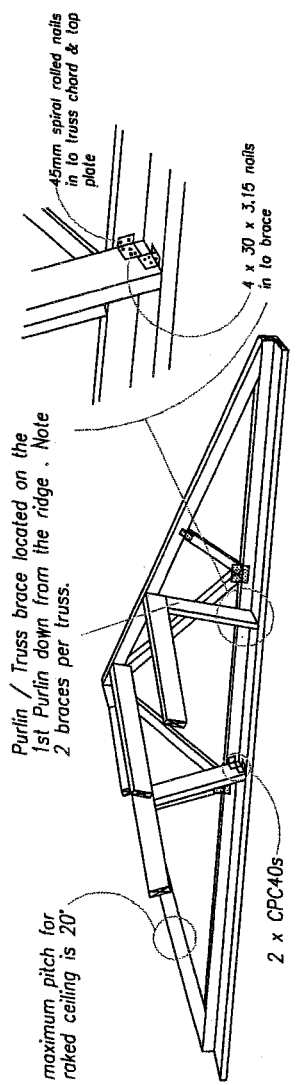
4/3.15x75mm nails from top plates to truss between tilt-door opening

GNQ-25x100 plate to top face of bottom plate at each corner only (Typical).



**Detail N** Cross section - raking ceiling end wall

**Detail O** Purlin / truss brace - end wall

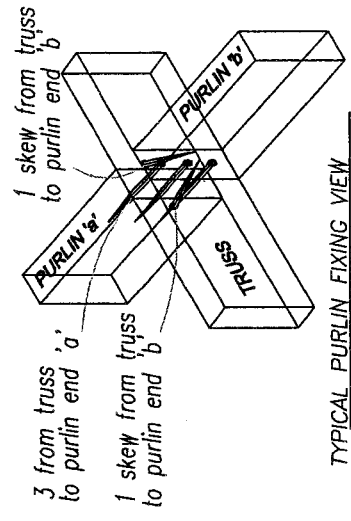


**Purlin Note:**

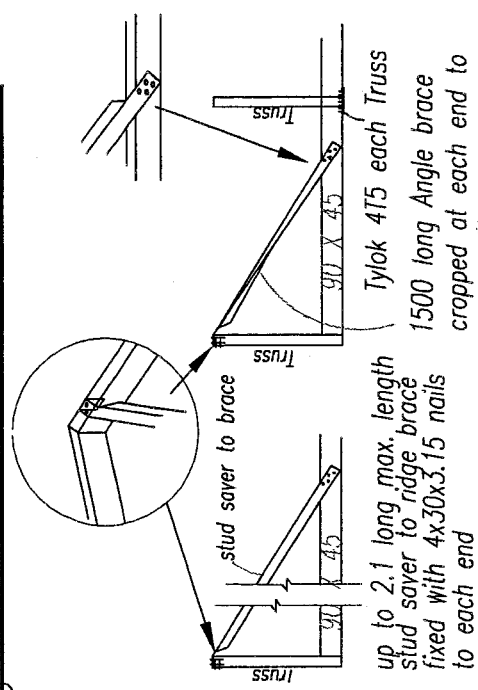
- 150x50 purlins at 1100 crs. max span 3000.
- 200x50 purlins at 1100 crs. spans of 3600 & 4200.

**Note:** Design covers the end wall stability at the top plate level via the Purlin brace construction.

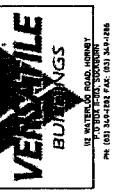
**Detail P:** Purlin detail



**Detail Q:** Ridge brace



**NOTE:** 1500 Angle Brace applies to 15 degrees pitch only  
 Otherwise 1 stud saver as ridge brace to ridge brace position at both ends of building



**VERSATILE BUILDINGS LTD**  
**Construction Details**  
 COPYRIGHT: THESE DRAWINGS MUST NOT BE REPRODUCED WITHOUT EXPRESS PERMISSION OF MITEK NZ LTD OR VERSATILE BUILDINGS LTD.

DRAWING TITLE:  
**Roof details**

DESIGN: DRAWN: S.A. Coll V8 Ltd  
 DRAWING: DATE: VB2000-13 Feb '04

SHEET: **13**

OF SHEET: **18**

# Specification trusses

## SPAN AND LOAD CHART

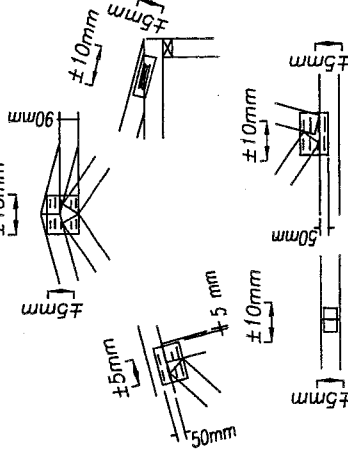
Live Load = 0.20kPa (Distr)  
 1.0kN (Conc)  
 Dead Load = 0.15 kPa (top chord)  
 0.20 kPa (bottom chord)  
 on 900 & 1200crs only  
 Wind Load Cpi = 0.60 max  
 Cpe = 0.80 max  
 Purlin Spacing = 1500 max

TRUSS CENTRES	WIND LOAD	SNOW LOAD(Kpa)
2000	High	0.60
1800	Very High	0.60
1200	Very High	1.00
900	Very High	1.20

## TIMBER:

The specification of timber shall be as follows:  
 Grading: MSG Radiata Pine to F4 or MCP10 grade as noted.  
 Treatment: To NZMP 3640 : 1992  
 Moisture Content: Dry

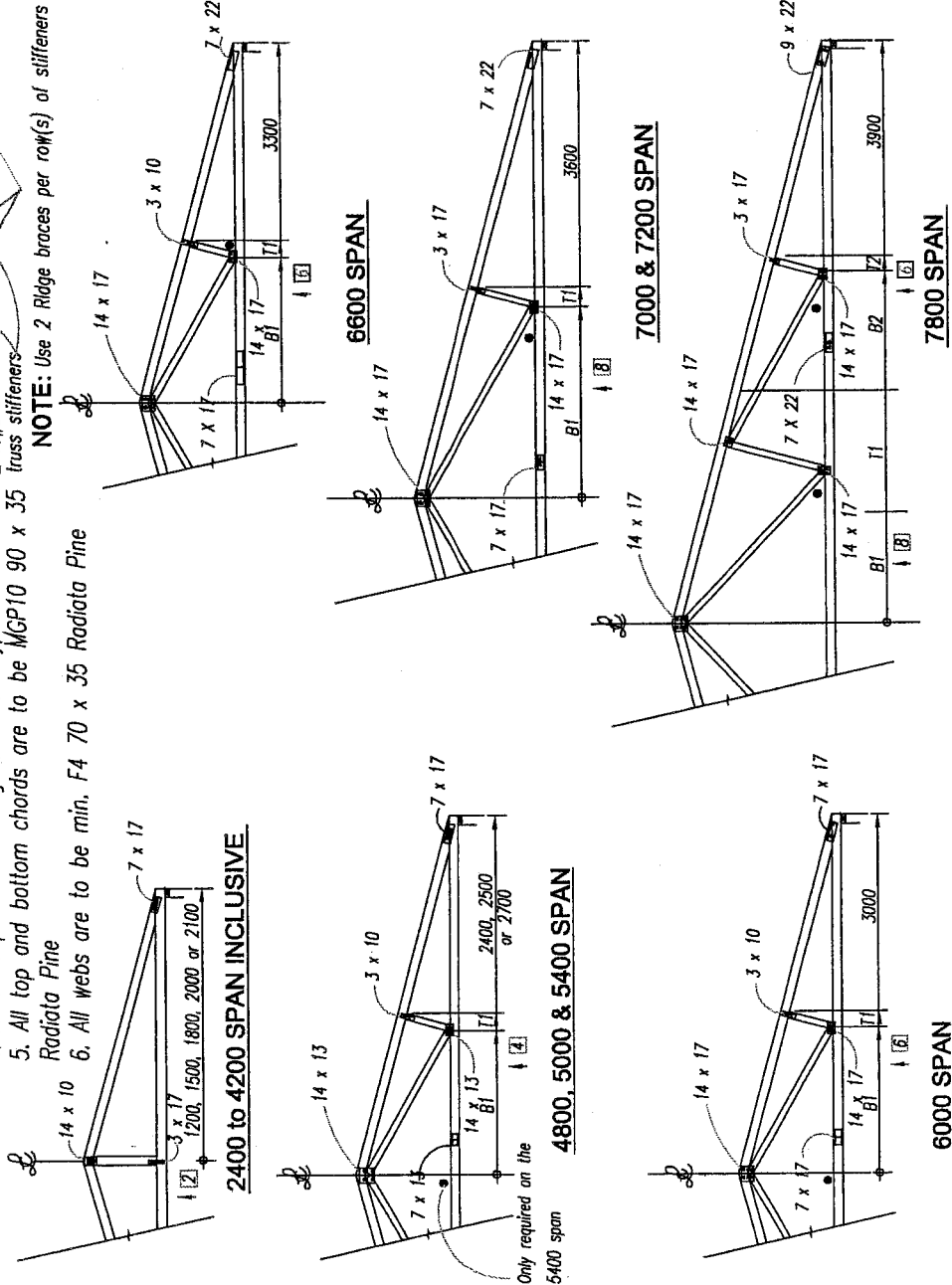
## MANUFACTURING TOLERANCES.



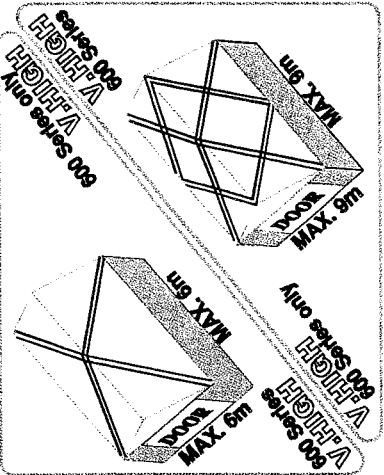
## NOTE:

- Plates are to be fully pressed home on both sides of joints.  
 The plate axis must be located in the specified or indicated direction.

- NOTE:
- Truss top chord pitch range is 15°, 20°, 25°, 30°
  - Indicates location of Bottom Chord Brace (truss stiffener)
  - Indicates the Truss Camber (typical)
  - All truss plates are Gang-Nail GN10 type
  - All top and bottom chords are to be MCP10 90 x 35 Radiata Pine
  - All webs are to be min. F4 70 x 35 Radiata Pine

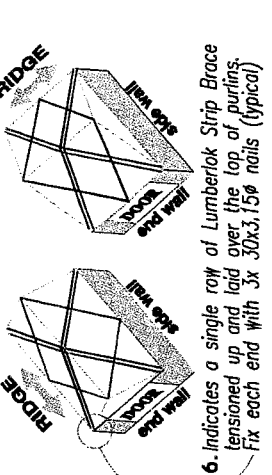


600 Series only  
**VERY HIGH WIND**



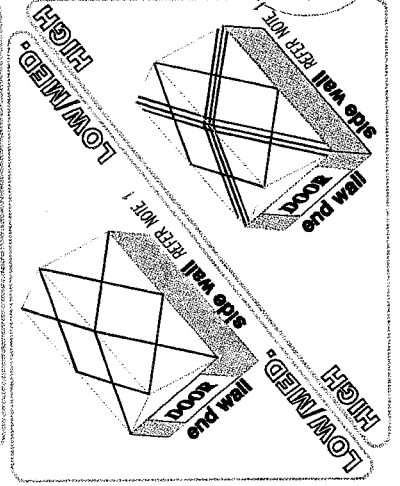
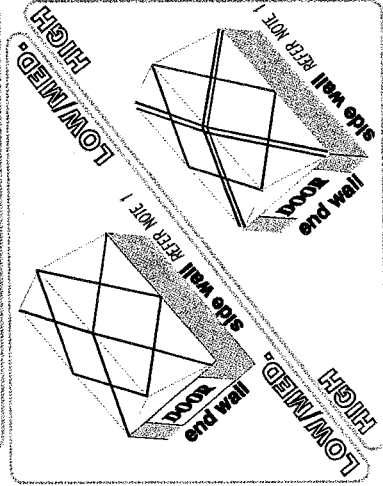
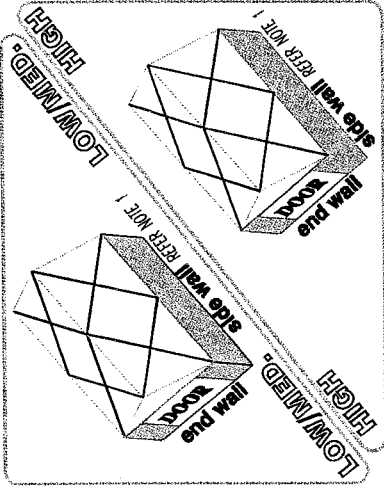
**ROOF BRACING NOTES:**

1. End Wall / Side Wall ratios over 1:1.5 shall have a double row (corner to corner)  
eg: 6m x 9m = Single Row  
eg: 6m x 9.6m = Double Row
2. End Wall / Side Wall ratios shall not exceed 1:2 in Low/Medium & High Wind zones,  
eg: 6m wide(end wall) x 12m deep (side wall) = 1:2
3. End Wall / Side Wall ratios shall not exceed 1:1.5 in Very High Wind zones,  
eg: 6m wide(end wall) x 9m deep (side wall) = 1:1.5
4. Maximum stud height is 2.420m. Refer to sheet 9 for 2.7m & 3.0m stud heights.

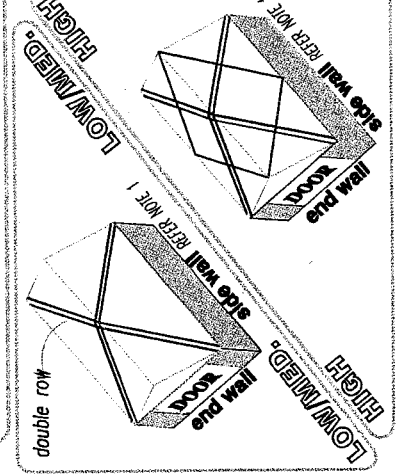
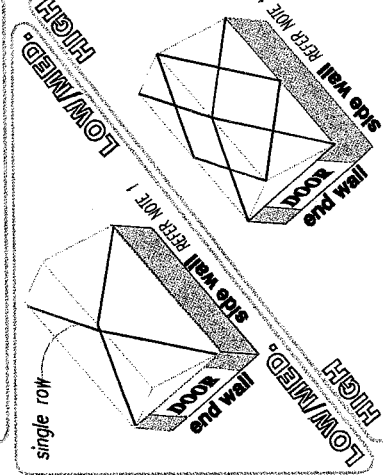
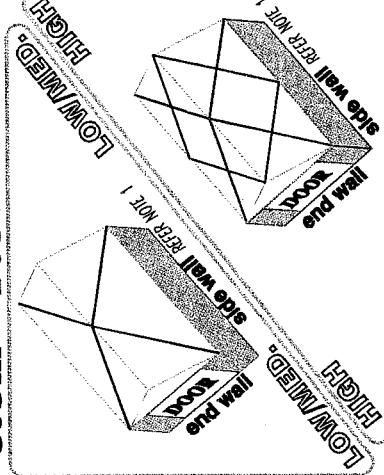


6. Indicates a single row of Lumberlok Strip Brace tensioned up and laid over the top of purlins. Fix each end with 3x 30x3, 150 nails (typical)

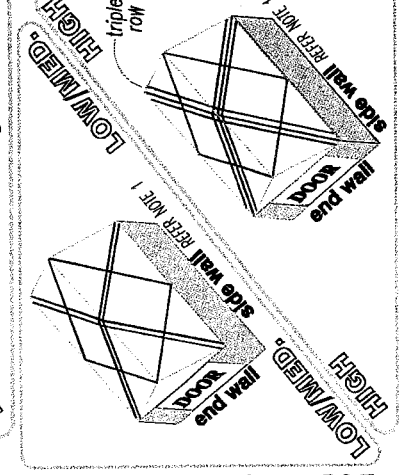
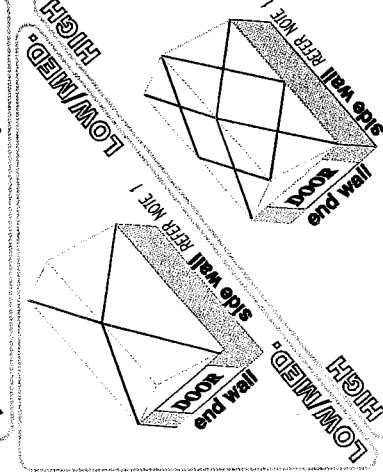
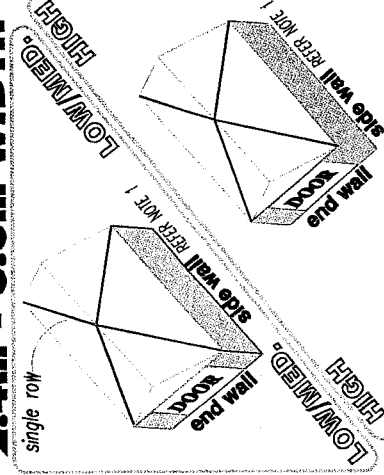
**9.6m - 12.0m WIDTH**



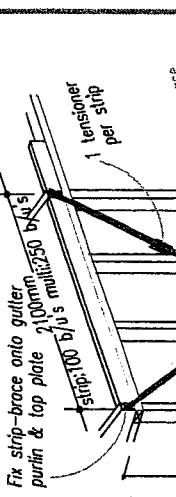
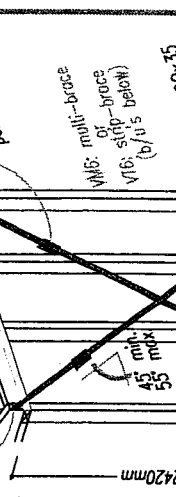
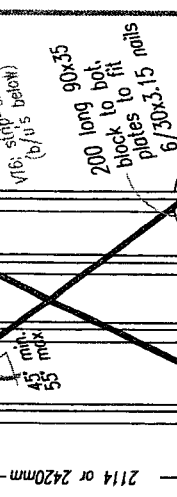
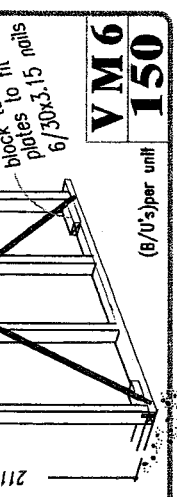
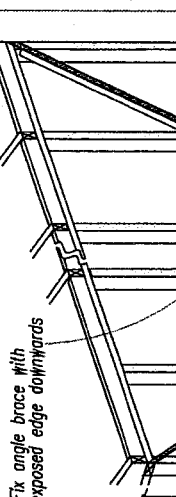

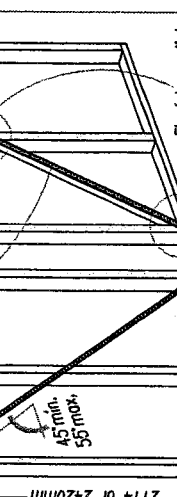
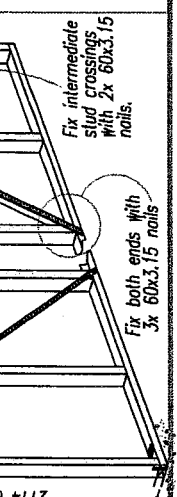
**BUILDING WIDTH 6.6m - 9.0m WIDTH**

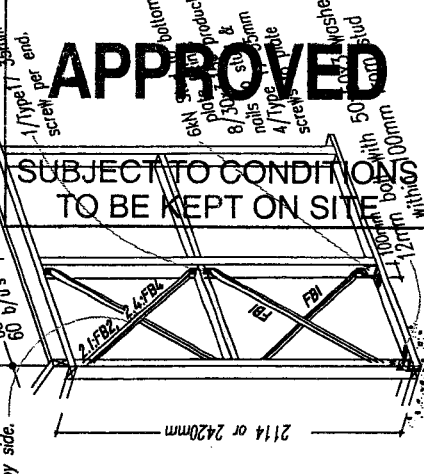


**BUILDING WIDTH 2.4m - 6.0m WIDTH**



**BUILDING LENGTH 2.4m - 6.0m LENGTH 6.6-9.0m LENGTH 9.6-12.0m LENGTH**

<b>BRACING ELEMENT: VV 6</b> Bracing units(B/U's) per/1200mm per/1800mm <b>60</b> <b>90</b> Description: Versaclad nailed every rib 1200mm 60 b/u's 	<b>BRACING ELEMENT: VS 6</b> Bracing units(B/U's) per/1200mm per/1800mm <b>45</b> <b>68</b> Nail all pans (150mm ctrs) at sheet edges, around windows, doors etc. 1200mm 45 b/u's 	<b>BRACING ELEMENT: VA 6</b> Bracing units(B/U's) per pair <b>70</b> Description: Pair of angle brace @ approx 45° Fix angle brace with exposed edge downwards 45 min 55 max 	<b>BRACING ELEMENT: VT 6</b> Bracing units(B/U's) per unit <b>100</b> Desc: Crossed tensioned strip-brace @ approx. 45° Fix strip-brace onto gutter purlin & top plate 100mm 100 b/u's 
<b>BRACING ELEMENT: VF 5</b> Bracing units(B/U's) per unit: <b>80</b> Desc: 1 single Flexi-Brace & 1 half Flexi-Brace panel (Patent App. No. 504428) Gang-Nail 'Flexi-Brace' fix with exposed edge 1200mm of stud. 1200mm 80 b/u's 	<b>BRACING ELEMENT: VF 6</b> Bracing units(B/U's) per unit: <b>105</b> Desc: 1 double Flexi-Brace & 1 double-half Flexi-Brace panel (Patent App. No. 504428) Gang-Nail 'Flexi-Brace' fix with exposed edge 1200mm by side. 1200mm 105 b/u's 	<b>BRACING ELEMENT: VF 7</b> Bracing units(B/U's) per/m: <b>30</b> Desc: 1 single Flexi-Brace (full height panel) (Patent App. No. 504428) Gang-Nail 'Flexi-Brace' fix with exposed edge 600mm down, fasten in centre of stud. 600mm 30 b/u's 	<b>BRACING ELEMENT: VF 8</b> Bracing units(B/U's) per/m: <b>60</b> Desc: 1 double Flexi-Brace (full height panel) (Patent App. No. 504428) Gang-Nail 'Flexi-Brace' fix with exposed edge 600mm by side. 600mm 60 b/u's 



HAMILTON CITY COUNCIL

**APPROVED**

SUBJECT TO CONDITIONS  
TO BE KEPT ON SITE

DPS 12543

Greg L. 16-100  
Site coverage =  $\frac{16}{49} = 32\%$

46  
DPS 12543

Refer to condition  
in Building Consent  
HCC

As amended on  
PLANNING GUIDANCE  
16 JUL 2003  
TIME.....AM/PM

47  
DPS 12543

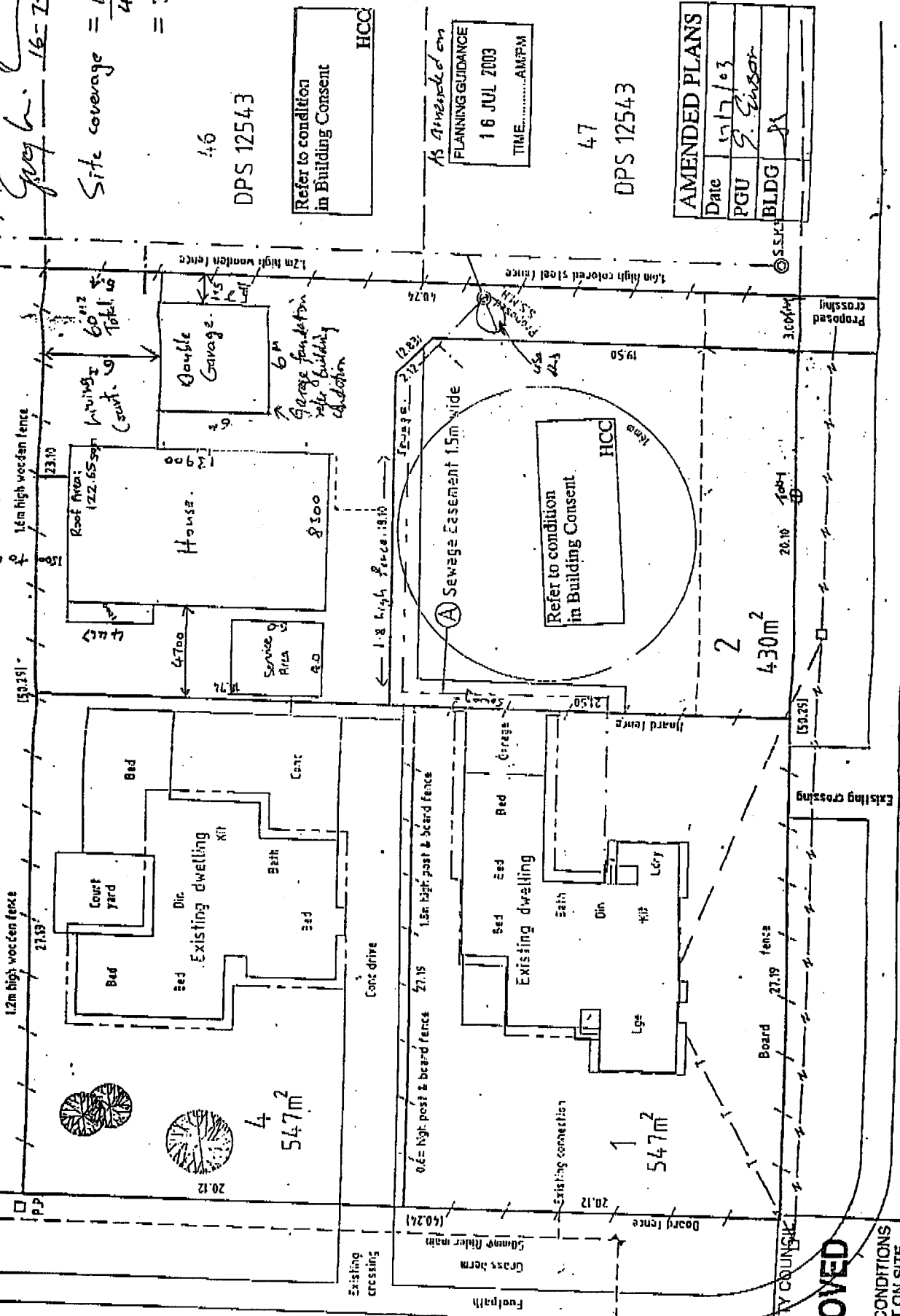
AMENDED PLANS	
Date	17/7/03
PGU	S. Eubank
BLDG	1

SITE PLAN

DPS 12543

66

8555604



PLANNING GUIDANCE  
-09 JUL 2003  
AM/PM

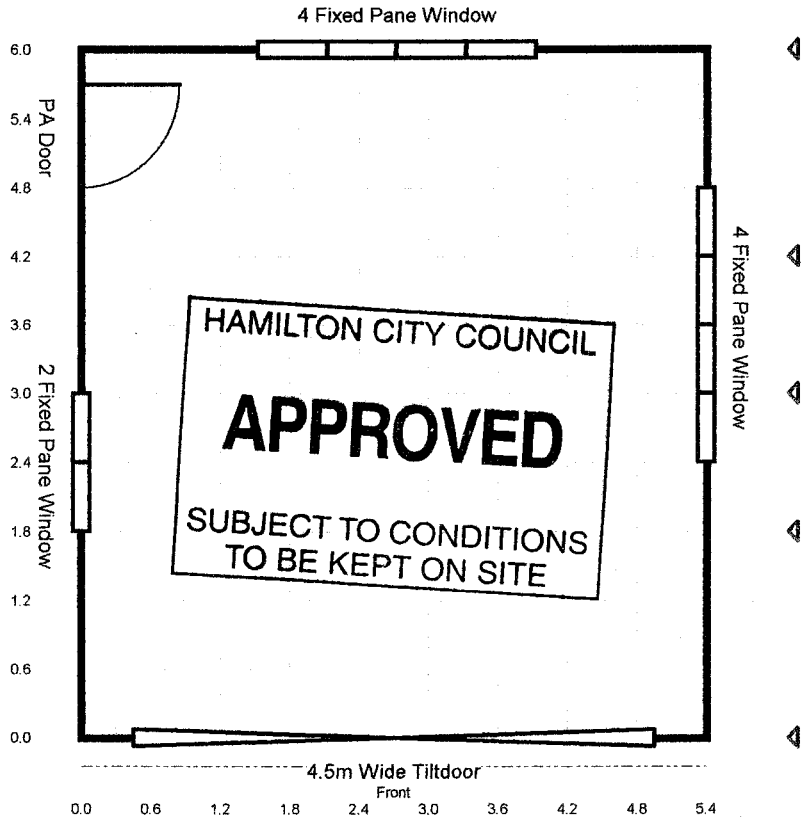
WINDSOR ROAD

scheme plan  
dimensions

HAMILTON CITY COUNCIL  
**APPROVED**  
SUBJECT TO CONDITIONS  
TO BE KEPT ON SITE

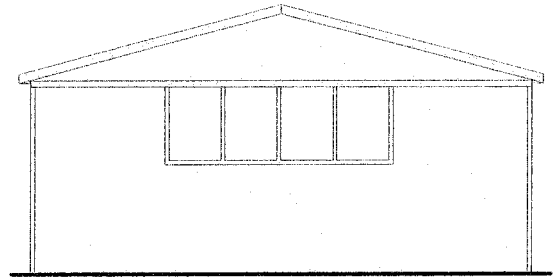
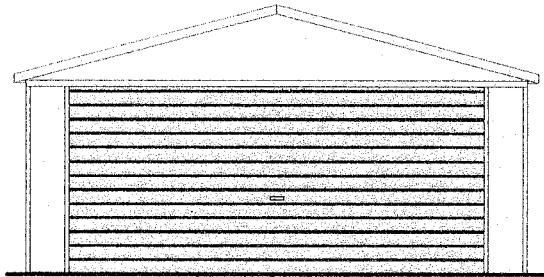
Scale 1:1000

Proposed: Garage (Quote Number: gerardl-116)  
For: Mr. Thomson  
Address: 4b Rose Street



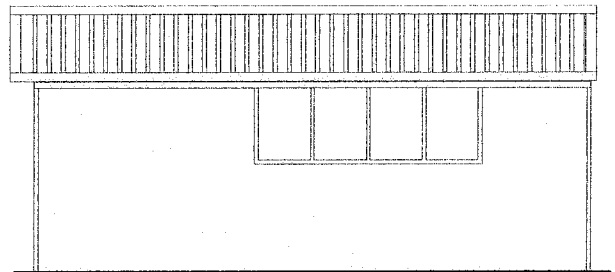
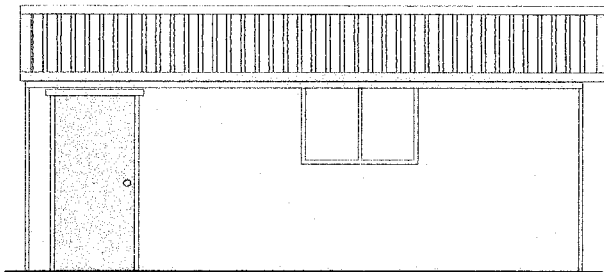
Front

Rear



Left

Right



Design approved by client:

Date: