

## Land Information Memorandum

### Application

Harcourts Gold Strowan 55 Blighs Road Christchurch 8542 Client Reference: 17807	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">No.</td> <td>LM2600870</td> </tr> <tr> <td>Application date</td> <td>08 May 2026</td> </tr> <tr> <td>Issue date</td> <td>15 May 2026</td> </tr> </table>	No.	LM2600870	Application date	08 May 2026	Issue date	15 May 2026
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### Property

Valuation No.	2159106500
Location	982 A Oxford Road RANGIORA
Legal description	LOT 1 DP 70772 BLK VII MAIRAKI SD -SUBJ TO & WITH INT IN R/W EASEMENT DP 73958 OVER LOT 2 DP 70772
Owner	Roy Antony Frew & Madison Lee Munro
Area (hectares)	4.000000

### Rates

Rating Valuation	
Land	\$495,000
Capital Value	\$550,000
Improvements	\$55,000
Date of Last Revaluation	1 June 2025
Current Rates Year 1st July 2025 to 30th June 2026	
Annual Rates	\$1,405.37
Current Instalment	\$351.47
Current Year – Outstanding Rates	\$351.47
Arrears for Previous Years	\$0.00
Next Instalment Due	20/05/2026
<p>Note: Rates are charged in four equal instalments for the period commencing 1 July and ending 30 June each year.</p>	

This Land Information Memorandum (LIM) has been prepared for the purposes of Section 44A of the Local Government Official Information and Meetings Act 1987. It contains all the information described in section 44A(2) that is held by the Waimakariri District Council in relation to the land, as at the date above. It is based on a search of the Council's records only and there may be other information relating to the land which is not held by the Council. The records may not show illegal or unauthorised structures or other work on the land.

The Council has not undertaken an inspection of the land or any building(s) on it for the purpose of preparing this LIM. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose. Please consult the Council if you have any questions.

The inclusion or omission of information in or from this LIM does not limit or affect the Council's functions, powers or duties in relation to the land under any statute, regulation, bylaw, policy, or other enactment.

The Council will, upon request, provide additional information about the land. There will generally be an additional fee payable, based on the amount of time required to locate, collate and provide the requested information.

**Planning/Resource Management****WAIMAKARIRI DISTRICT PLAN**

The Council has undertaken a review of the Operative District Plan and through this process it has developed a New District Plan ('The Partially Operative District Plan') which provides clear objectives, policies and rules on how people use, subdivide and develop land, what and where they can build and what kind of activities they can undertake. The Plan also controls any adverse effects an activity could have on the neighbourhood and protects the uniqueness of our district by looking after our heritage, cultural values, outstanding landscapes and coastal environment. It also incorporates any changes in legislation, national and regional policy statements, environmental standards and other regulations.

The period for lodging appeals against decisions on the Partially Operative District Plan has closed and the Council released the Appeals Version of the Partially Operative District Plan. Many provisions in Partially Operative District Plan – Appeals Version are now beyond challenge and are operative/treated as operative.

The Operative District Plan (2005) now only applies where a relevant provision in the Partially Operative District Plan remains subject to an appeal.

For more information, please refer to the links below:

<https://www.waimakariri.govt.nz/council/district-development/district-plan>

Please note that if you lodge a building consent application, the Council will assess your project against the District Plan rules that apply at the time. If your proposed activity doesn't need a building consent, please contact the Council's Duty Planner by email [duty.planner@wmk.govt.nz](mailto:duty.planner@wmk.govt.nz) to find out if any new rules apply to your proposal or site.

Link to find out the zoning and rules in the 'Partially Operative District Plan- Appeals Version (2025)': <https://waimakariri.isoplan.co.nz/draft/>

Link to find out the zoning and rules in the District Plan (Operative 2005): <https://waimakariri.isoplan.co.nz/eplan/>

07/08/1995	<u>RESOURCE CONSENT RC950272</u>	2 LOT SUBDIVISION OF LOT 2 DP 60801, copy attached. A certificate of conditions was issued 30/10/95, copy attached.
20/08/2007	<u>RESOURCE CONSENT RC065573</u>	4 LOT SUBDIVISION OF LOT 1 DP 70772 AND TO ESTABLISH DWELLINGS WITHOUT RETICULATED SERVICES AND ESTABLISH A RIGHT OF WAY, copy attached. A certificate of conditions issued 13/03/08, copy attached.
24/06/2024	<u>WRITTEN NOTICE RM240011</u>	DEEMED PERMITTED BOUNDARY ACTIVITY TO CONVERT A FARM SHED INTO A ONE BEDROOM DWELLING WITHIN 20M OF THE INTERNAL BOUNDARIES, copy attached.

No other information located

**Land Use on Contiguous Properties****984C Oxford Rd (Lot 2 DP 397121)**

15/03/18 RESOURCE CONSENT RC185053: SECTION 348 CERTIFICATE – RIGHT OF WAY EASEMENT.

**920 Oxford Road (Lot 1 DP 549304)**

30/11/23 RESOURCE CONSENT RC235249: TO CONSTRUCT TWO RESIDENTIAL DWELLINGS UNDER THE SAME ROOFLINE

No other information located

**Building**

28/08/2024

BUILDING CONSENT  
BC240589

CONVERTING PART OF EXISTING SHED TO DWELLING INCLUDING LOGBURNER.

The code compliance certificate is yet to be issued.

It is recommended that Council records are viewed and compared with the actual structure(s) and activities on site to identify any illegal or unauthorised building works or activities.

Copies of site plan, floor plan and elevations are attached.

**Sewer and Water**

Sewer No Council service available.

Water No Council supply available.

*Where Council services are located within a property boundary, they may not be built over and appropriate separation distance by any future development must be maintained. If a buildover is considered unavoidable, Council's Three Waters team must be contacted to discuss the design prior to any resource or building consent being lodged for the site.*

**Land and Building Classifications**

Heritage Site Reference: No Information Located.

Refer to copy of map from District Plan for other classifications in the immediate vicinity.

### Compliance with The Building (Pools) Amendment Act 2016

There is no swimming pool or spa pool registered on this property. If there is a swimming pool please go on-line and register it at <https://www.waimakariri.govt.nz/consents-and-licences/building-consents-and-information/swimming-pools-and-barriers/swimming-pool-registration>.

A Council representative will then contact you to arrange an inspection of the pool and any associated barriers (fencing). If there is a spa pool please check first at <https://www.waimakariri.govt.nz/consents-and-licences/building-consents-and-information/swimming-pools-and-barriers> to determine if it needs to be registered.

Swimming pools must be fenced as required by The Building (Pools) Amendment Act 2016. Owners are advised that an inspection of the swimming pool fencing is mandatory every 3 years to ensure its ongoing compliance with The Building (Pools) Amendment Act 2016.

### Vehicle Crossing Requirements

The installation of vehicle crossings is the responsibility of the owner of the property to be accessed; vehicle crossings may not be constructed or Council roading assets (e.g., footpaths, kerb ramps, street trees) impacted without an approved Vehicle Crossing Permit. For further information refer to the Council's Vehicle Crossing Information Pack in the following link: [https://www.waimakariri.govt.nz/\\_data/assets/pdf\\_file/0012/141330/20250721-QD-RDG-Information-002-Vehicle-Crossing-Information-Pack.PDF](https://www.waimakariri.govt.nz/_data/assets/pdf_file/0012/141330/20250721-QD-RDG-Information-002-Vehicle-Crossing-Information-Pack.PDF)

### Special Land Features

Wind Zone	High
Earthquake Zone	2
Snow Load Zone	4
Other	No Information located

### Licences/Environmental Health

No Information located

### Natural Hazards

The Waimakariri District Council supplies the following information in accordance with Section 44B of the Local Government Official Information and Meetings Act 1987. Section 44B: inserted, on 1 July 2025, by [section 8](#) of the Local Government Official Information and Meetings Amendment Act 2023 (2023 No 41).

The Council has completed a hazard assessment for the District. This includes flood hazard, location of fault lines, areas susceptible to liquefaction, coastal flood depth and tsunami inundation. **People are encouraged to view this information before making a property decision.** Maps and information on natural hazards for the district are available at: [Waimakariri District Natural Hazards Interactive Viewer \(arcgis.com\)](https://www.waimakariri.govt.nz/arcgis.com)

This Land Information Memorandum includes natural hazard information deemed by Waimakariri District Council and Environment Canterbury to be the most up-to-date, useful, and relevant, and is provided in accordance with the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025. All due care has been taken to ensure current information required to be provided under the regulations is presented below.

Environment Canterbury may hold superseded or less reliable natural hazards information relating to the land that has not been included in this Land Information Memorandum. Please contact Environment Canterbury if you would like to enquire about this information.

**Coastal Hazards** - No additional information located.

### Earthquakes

Comprehensive district-scale earthquake fault mapping commissioned by Environment Canterbury has not identified a fault deformation hazard on the property. However, it is possible there are some faults in Canterbury that are yet to be identified because they are not visible at the ground surface. More information on fault deformation is available on Environment Canterbury's fault deformation map at

<https://mapviewer.canterburymaps.govt.nz/?webmap=b5f859bd18ee4912828cb092bef6c449>.

Technical report information:

Title: General distribution and characteristics of active faults and folds in the Waimakariri District, North Canterbury

Date: July 2013

Author: D Barrell, J Begg (GNS Science)

Commissioned by: Environment Canterbury

Purpose of report: To map and describe known and suspected faults within Waimakariri District to indicate where fault deformation may occur in future. For use in land use policy and planning, infrastructure planning, emergency management planning and community education.

Study area: Waimakariri District

Accessible at: <https://www.ecan.govt.nz/document/download?uri=1811999>

Areas where there was evidence of liquefaction were mapped following the 2010/11 Canterbury earthquakes by Tonkin & Taylor for the Earthquake Commission (urban areas) and by a group of researchers for Environment Canterbury (rural, commercial and industrial areas). These are available on Environment Canterbury's liquefaction map at

<https://storymaps.arcgis.com/stories/aa738ffd2e6d42c4b94eb183e218ed97>.

Technical report information:

Title: Review of liquefaction hazard information in eastern Canterbury, including Christchurch City and parts of Selwyn, Waimakariri and Hurunui Districts

Date: December 2012

Author: H Brackley (compiler)

Commissioned by: Environment Canterbury

Purpose of report: To collate liquefaction occurrence during the 2010/11 Canterbury earthquakes, and to determine liquefaction vulnerability. For use in land use planning, subdivision and building consenting.

Study area: Coastal Canterbury from the Waipara River mouth to the Rakaia River mouth, including Banks Peninsula, and inland to Rangiora, Aylesbury, Selwyn and Southbridge.

Accessible at: <https://www.ecan.govt.nz/document/download?uri=1702192>.

An earthquake hazard assessment for infrastructure commissioned by Environment Canterbury in 2009 included a regional-scale map of liquefaction susceptibility. This report can be downloaded from the Environment Canterbury website at <https://www.ecan.govt.nz/document/download?uri=1182107>. More information on liquefaction is available on Environment Canterbury's liquefaction map at <https://storymaps.arcgis.com/stories/aa738ffd2e6d42c4b94eb183e218ed97>.

Technical report information:

Title: Earthquake hazard assessment for Waimakariri District  
Date: September 2009  
Author: M Yetton and I McCahon (Geotech Consulting Ltd)  
Commissioned by: Environment Canterbury  
Purpose of report: To assess earthquake hazards and their potential impacts on engineering lifelines (infrastructure) in Waimakariri District. For use in infrastructure and emergency management planning.  
Study area: Waimakariri District  
Accessible at: <https://www.ecan.govt.nz/document/download?uri=1182107>

### **Flooding**

Photographs showing the property during or following past flood events may be available. Flood photographs are available on Environment Canterbury's flood imagery register at <https://apps.canterburymaps.govt.nz/FIR>.

You can request a new site-specific flood hazard assessment for the property from Environment Canterbury at: <https://www.ecan.govt.nz/do-it-online/property-information/flood-hazard-assessments>

### **Landslides**

An earthquake hazard assessment for infrastructure commissioned by Environment Canterbury in 2009 included a regional-scale map of earthquake-induced landslide susceptibility and locations of known rock avalanches. This report can be downloaded from the Environment Canterbury website at <https://www.ecan.govt.nz/document/download?uri=1182107>.

Technical report information:

Title: Earthquake hazard assessment for Waimakariri District  
Date: September 2009  
Author: M Yetton and I McCahon (Geotech Consulting Ltd)  
Commissioned by: Environment Canterbury  
Purpose of report: To assess earthquake hazards and their potential impacts on engineering lifelines (infrastructure) in Waimakariri District. For use in infrastructure and emergency management planning.  
Study area: Waimakariri District  
Accessible at: <https://www.ecan.govt.nz/document/download?uri=1182107>

**Subsidence** - No additional information located.

### **Tsunamis**

Refer to the Waimakariri District Council's website on the following link: <https://www.waimakariri.govt.nz/services/emergencies-and-recovery/in-case-of-an-emergency>

Tsunami modelling commissioned by Environment Canterbury shows the property is not affected by flooding in any modelled tsunami scenarios. The modelling considers a range of tsunami

sources and events with an average recurrence interval of up to 2500 years. More information is available on Environment Canterbury's tsunami modelling results webapp at <https://experience.arcgis.com/experience/1f01c50c3df84a9b8cd41a0353d24785>.

Technical report information:

Title: Multiple scenario tsunami modelling for northern Pegasus Bay and northern Banks Peninsula bays

Date: November 2020

Author: J Roger, C Mueller, X Wang (GNS Science)

Commissioned by: Environment Canterbury

Purpose of report: To model inundation from many different local, regional and distant source tsunamis for average recurrence intervals up to 2500 years. For use in emergency management planning, including creating tsunami evacuation zones.

Study area: Northern Banks Peninsula bays from Godley Head to Le Bons Bay, and northern Pegasus Bay from the Waimakariri River mouth to the Waipara River mouth

Accessible at: <https://www.ecan.govt.nz/document/download?uri=3996252>

**Volcanic and Geothermal Hazards** - No additional information located.

**Wind** - No additional information located.

**Other** - No additional information located.

There are national datasets that could hold relevant information for the property that are not part of Council information. These include:

Natural Hazard Commission (formerly Earthquake Commission) claims at

<https://www.naturalhazardsportal.govt.nz/s/claims-map>

The New Zealand National Seismic Hazard Model (earthquake shaking) at

<https://nshm.gns.cri.nz/HazardMaps>

Earth Science New Zealand's Landslide Database at <https://data.gns.cri.nz/landslides/>

Earth Science New Zealand's National Flood Tool at

<https://niwa.maps.arcgis.com/apps/dashboards/8c1db2b8e37841f29a57a38675388897>

### Network Utility Operators

Contact Mainpower for power availability.

Contact Chorus for phone availability.

### Other Information

Environment Canterbury may hold information on natural and physical resources that may be relevant to a property. Information on obtaining a Land Information Report can be found at <https://www.ecan.govt.nz/do-it-online/property-information/land-information-requests/what-is-included-in-a-lir/>

The Listed Land Use Register (LLUR) is a database that Environment Canterbury uses to manage information about land that is or has been associated with the use, storage or disposal of hazardous substances. Further information on the LLUR can be found at <https://www.ecan.govt.nz/your-region/your-environment/hazardous-land-use/listed-land-use-register/>

### Notes

1. Final inspections on buildings were not mandatory prior to 1 January 1993. Should an evaluation of the building be required an independent qualified person should be consulted.
2. Every care has been taken to ensure that the information supplied by the Council on this form is accurate. The Council relies on information available to it, and will not be held responsible for incomplete or inaccurate information provided, or for any errors or omissions made in good faith.
3. Property boundaries shown on the attached copies of computer generated plans are based on the Digital Cadastral DataBase (DCDB). Topographical information shown (for example, buildings etc.) is captured by photogrammetric methods. The accuracy of the two methods of data capture is different and the relationship of buildings to boundaries cannot be relied on.
4. Any enquiry not accompanied by a fee will be invoiced separately. (All prices are GST inclusive.)
5. If a property is cross-leased any building alterations undertaken may affect the lease documents. If this is the case, appropriate resource consents pursuant to the Resource Management Act 1991, and amended Certificates of Title, should be obtained to reflect the correct situation.
6. It is in your interests to locate the boundary pegs by discovery or redefinition before purchasing the property.
7. Property purchasers should ensure particularly with newly constructed dwellings that the vehicle crossing from the road onto the property is fully formed, in accordance with the Councils' specifications. A check can be made with the Customer Services, if any damage is noted, or if the crossing is not completed.
8. Any subdivision or other further development on this property which requires a new connection or an increased level of usage of Council provided services may be subject to the Council's development contributions policy, ie additional charges may be payable. Council services may include water supply, sewerage, stormwater drainage, reserves, roading and community infrastructure.
9. Use of open fires or older-style burners (older than 15 years within the Clean Air Zones) is not allowed. All older style wood burners that do not meet a 1 gram emission standard and are not on the Environment Canterbury authorised list that are 15 years or older can be replaced with a low emission wood burner provided that a building consent is issued by Waimakariri District Council before 31 October 2017. For information regarding domestic fires and wood burners refer to Environment Canterbury's website [www.ecan.govt.nz](http://www.ecan.govt.nz) or telephone 0800 324 636.

10. The applicant is advised that this Land Information Memorandum (LIM) covers information held by the Waimakariri District Council. Any relevant information from Environment Canterbury held on Council files has been included. It is in your interest to also request a Land Information Request (LIR) from Environment Canterbury. Further information can be found at [www.ecan.govt.nz/services/online-services/property-information](http://www.ecan.govt.nz/services/online-services/property-information).
11. Territorial Authorities have a wide discretion as to the sort of information that is included in the LIM. Section 44A (3) provides that a Territorial Authority may provide in the LIM such other information concerning the land as the authority considers, as its discretion, to be relevant.
12. This Land Information Memorandum does not contain all information held in a property file. Property files may be requested by telephoning the Council's Contact Team on 0800 965 468 or by visiting a Council Service Centre.



Name: \_\_\_\_\_ Date: 15 May 2026  
Signed on Behalf of Council  
DIANA WILLETTS – PROPERTY INFORMATION OFFICER

R950272 R950277

**WAIMAKARIRI DISTRICT COUNCIL****IN THE MATTER** of the Resource Management Act 1991**AND****IN THE MATTER** of an application lodged by **K J AND M J VINCENT** for a resource consent under Section 88 of the aforementioned Act.**APPLICATION**

The applicants **K J AND M J VINCENT - 1000 OXFORD-RANGIORA ROAD, SPRINGBANK** sought resource consent as follows:

- (a) To subdivide 26.52 hectares into two lots of 20.0 hectares (Lot 1) and 6.52 hectares (Lot 2).
- (b) To retain the existing dwelling and to continue with a horse training establishment on the 6.52 hectare lot.

The property is zoned Rural B (part Rural C) within the Rangiora District Section of the Waimakariri Transitional District Plan.

**DECISION**

The Waimakariri District Council Hearings Committee at its meeting held on Monday 7 August 1995 resolved:

**SUBDIVISION**

**THAT** pursuant to Section 105 of the Resource Management Act 1991 consent be granted to **K J AND M J VINCENT** to subdivide Lot 2 DP 60801 at 1000 Oxford Rangiora Road, Springbank into two lots of 20.0 ha and 6.52 ha.

That pursuant to Sections 108 and 220 of the Act the following conditions be imposed:

**1. Easements**

All services, including open drains and accessways, serving more than one lot or traversing lots other than those being served and not situated within a public road or proposed public road, shall be protected by easements. All such easements, together with any amendments to the easements found necessary during the final engineering design, shall be granted and reserved.



## 2. Legal Road Frontage

Pursuant to Section 321 (3)(c) of the Local Government Act 1974 the Council hereby resolves that Lot 1 shown on the scheme plan of subdivision is exempt from legal road frontage.

## 3. Power and Telephone

The subdivider shall provide evidence in writing from the relevant Authorities that existing electrical and telephone reticulation has the capacity to provide a service connection to all of the Lot/s.

## 4. Conditions Auditing

The Council will audit compliance with these Conditions of Consent by both site inspections and checking of associated documentation to the extent necessary to ensure the work is completed in accordance with the approved plans and specifications and to the Council's standards. Inspections and checking will be undertaken by the Council's Technical Services Unit for a fee based on the hourly charge out rate for Council officers carrying out the conditions auditing. The subdivider shall notify the Technical Services Unit at least one working day prior to commencing various stages of the works to enable audit inspections to be carried out. The minimum level of inspection shall be as follows;

### Accessways

- On completion of the works (ROW upgrading).
- Following compaction of basecourse prior to sealing (entranceway).

Where additional inspections are required because of faulty workmanship or work not being ready contrary to the receipt of a notification, such inspections will be carried out for an additional fee, for the additional hours required.

## 5. Water Supply

5.1 The subdivider shall provide an adequate quantity of water, to supply stock and any future potential domestic usage, to lot 1. A supply of 3 cubic metres per day to Lot 1 would be adequate.

5.2 The existing well on Pt Section 11, Stoke Settlement shall be confirmed as a potable water supply for the existing dwelling on Lot 2. Water quality tests carried out by a TELARC registered Laboratory, demonstrating chemical and bacteriological compliance with the publication "Drinking- Water Standards for New Zealand" shall be submitted to the Council. These shall be accompanied by the results of pump testing which demonstrate that the quantity of water available from this well is adequate to supply the needs of Lot 1, Lot 2 and all other properties supplied from this well.



Samples from the water source shall be taken either by:

- The laboratory carrying out the analysis, or
- Council staff.

Note: If the laboratory collects the sample, written verification shall be provided to the Council stating the time of sampling, that the sample was in a raw condition and from the well under test.

- 5.3 No dwelling is to be erected on Lot 1 until 2 cubic metres per day of potable water are available to Lot 1. This condition shall be subject to a consent notice pursuant to Section 221 of the Resource Management Act 1991 to be registered on the title of Lot 1.

## 6. Access

- 6.1 The subdivider shall upgrade the accessway from the branch in the ROW at the eastern boundary of Lot 2 to the southern boundary of Lot 1 as follows:

- (a) The formation width shall be a minimum of 3.5 metres.
- (b) The water table shall be cleared and reformed at the base of the cut batter, over its full length. Cutoff drains shall be installed (2 minimum) to divert water across the ROW. One such cutoff shall be located immediately above the ROW branch intersection, within Lot 2 at the eastern boundary of Lot 2, to prevent erosion of the right hand branch of the ROW. Outlet protection of the cutoff drains shall be provided (fluming or similar) to prevent erosion of the batter slope below these outlets.
- (c) The existing surface shall be dressed with a 50 millimetre compacted layer of clay stabilised basecourse (AP40).
- (d) The new formation shall be overlaid with a running course (AP20) aggregate.

- 6.2 The subdivider shall upgrade and seal the entranceway to the subdivision from the sealed carriageway of Rangiora-Oxford Road to a point 10 metres beyond the sealed edge of the carriageway as follows:

- (a) The formation width shall be a minimum of 3.5 metres at the gateway and 7.0 metres at the edge of the carriageway so as to create a fish tail shape in plan.
- (b) By dressing the existing surface with a 50 millimetre compacted layer of crushed clay stabilised basecourse (AP20). This shall be overlaid with a coat of chip seal, consisting of hot bitumen sprayed at a rate of 1.8 litres/square metre and grade 4 stone chip.



## 7. Works Conditions

That a certificate under Section 224 (c) of the Resource Management Act 1991 will not be issued until conditions 1.1 to 1.6 above have been met to the satisfaction of the Waimakariri District Council, at the expense of the subdivider.

### LAND USE

**THAT** pursuant to Section 105 of the Act consent be granted to **K J AND M J VINCENT** to retain the existing horse training operation and dwelling on Lot 2 (6.52 ha) being a subdivision of Lot 2 DP 60810 at 1000 Oxford Rangiora Road at Springbank.

### REASONS FOR THE DECISION

- (a) On the evidence submitted, the Committee was satisfied that Lot 2 is capable of being farmed as an independent farm unit for a range of potential intensive farming uses, and therefore the proposal is not contrary to the rules and objectives of the Rangiora District Section of the Waimakariri Transitional District Plan.
- (b) The horse training facility is an acceptable use of Lot 2 and will meet the provisions relating to discretionary activities in the Rural B zone of the Plan Section, and the reduction in area will not diminish the ability to comply with these requirements.
- (c) The dwelling on Lot 2 will be necessary to continue the effective management and further development of the horse training enterprise, and its retention is not contrary to the conditions of the Plan Section relating to discretionary activities.
- (d) The subdivision itself, the retention of a dwelling on a smaller allotment, and the erection of an extra dwelling in this vicinity will have little adverse effect on the environment.

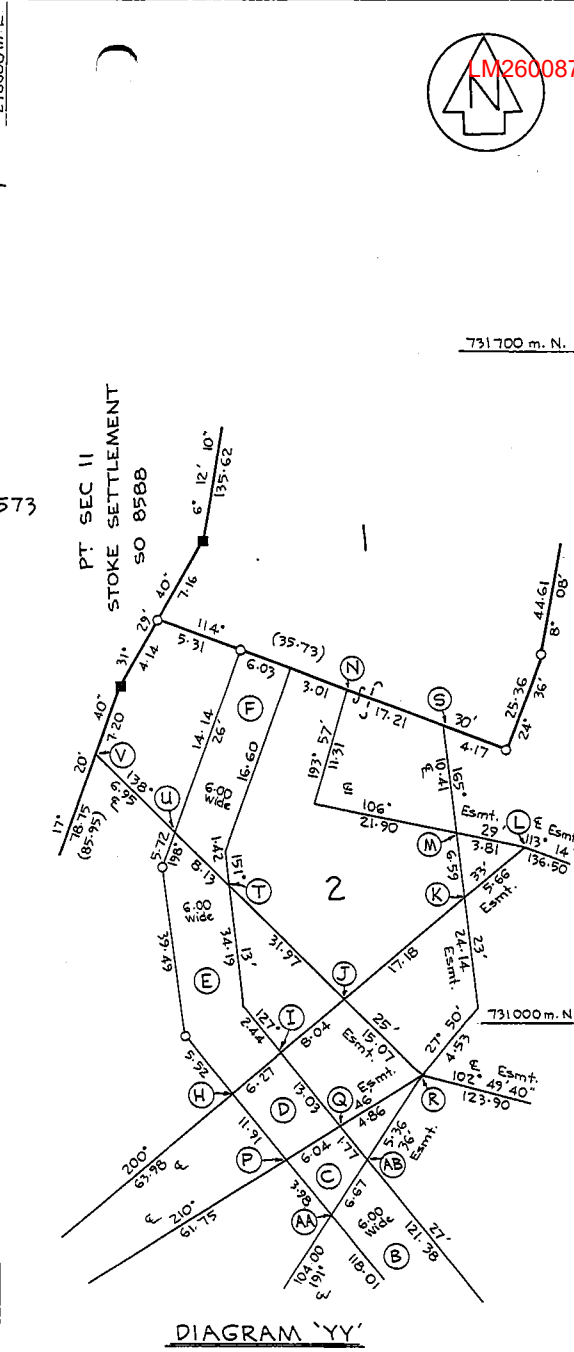
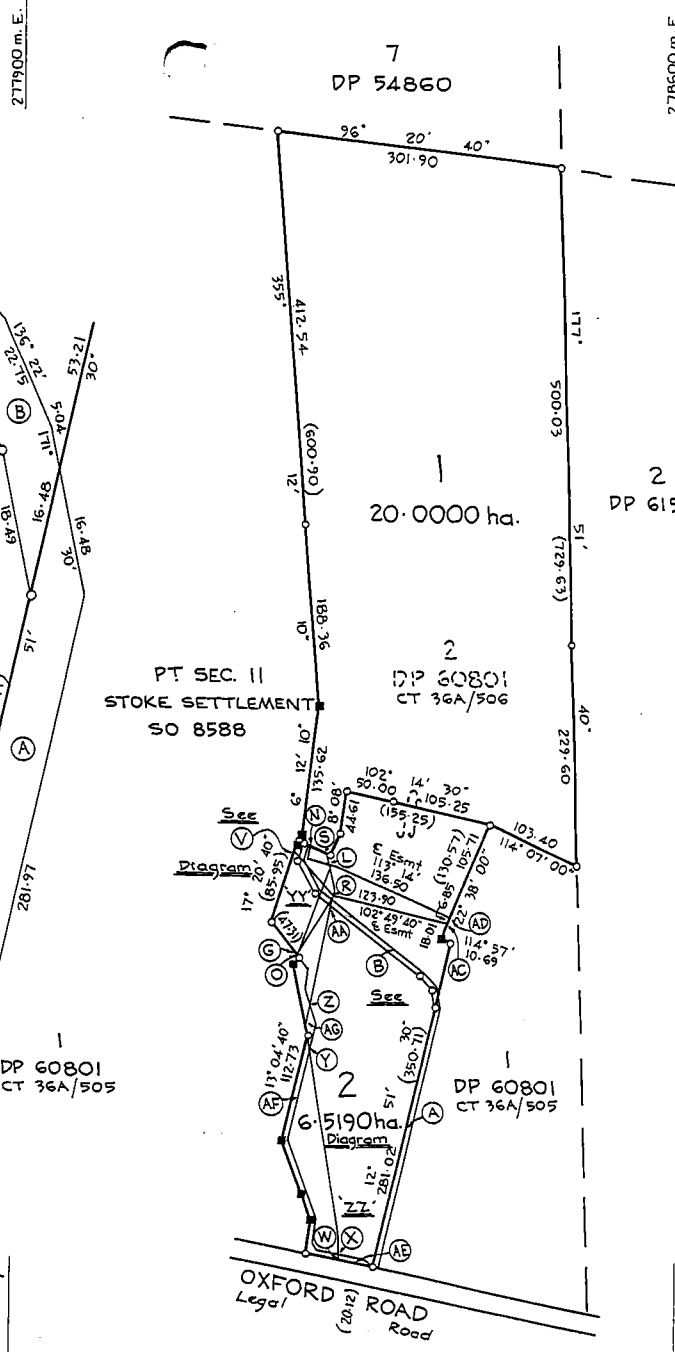
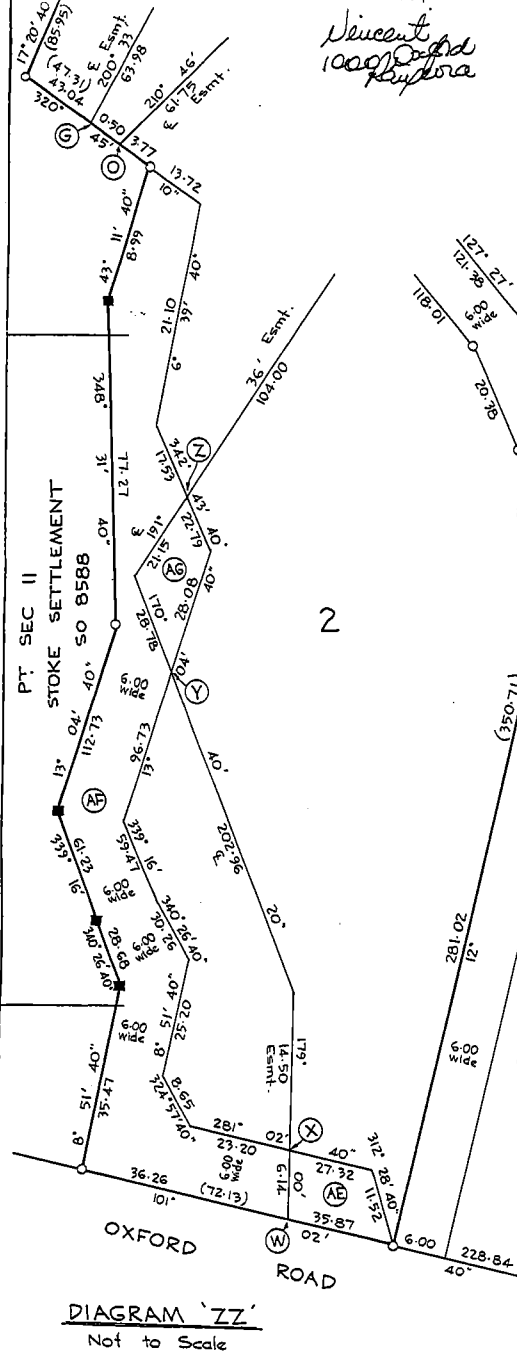
Dated at Rangiora this 7th day of August 1995.

  
 \_\_\_\_\_  
 K Felstead  
 PLANNING OFFICER, APPLICATIONS





Vincent  
10000  
Ryburn



Approvals

LM2600870 15/05/2000 Page 16

Registered Proprietors

Approved pursuant to Section 223 of the Resource Management Act 1991 on the 6th day of October 1995. Subject to the granting or reserving of the easements set out in the Memorandum hereon. The Common Seal of the Waimakariri District Council is affixed hereto in the presence of:

WAIMAKARIRI DISTRICT COUNCIL  
7115  
1311  
Mayor  
Authorised Officer

MEMORANDUM OF EASEMENTS

Nature	Servient Tenement Lot No	Dominant Tenement Shown	Dominant Tenement
Right of way, right to convey telephonic communications.	DP 60801 2	A	Lots 1 & 2
Right to convey water	2	B, C, D, E, F	Lot 1
Right to convey electric power	2	G-H-I-J-K-L-M-N (E Esmt)	Lot 1
Right to convey electric power	2	R-K-M-S (E Esmt)	Lot 1

EXISTING EASEMENTS

Nature	Servient Tenement Lot No	Dominant Tenement Shown	Document
Right of way	2	AE, AF, AG	T820628/5
Right to convey water	2	G-H-I-J-K-L-AD (E Esmt)	EC 997325/5
Right to convey electric power	2	O-P-Q-R-AC (E Esmt)	EC 997325/5
Right to convey electric power in gross	2	W-X-Y-Z-AA-AB-R-J-T-U-V (E Esmt)	T 997325/4

NOTE: Lot 1 has no frontage to a public road.

Total Area 26.5190 ha.  
Comprised in CT 36A/506 & 36A/505 (Esmt. only.)

I, Malcolm John Hanrahan  
Registered Surveyor and holder of an annual practising certificate (or who may act as a registered surveyor pursuant to section 25 of the Survey Act 1986) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.

Dated at \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_ 19 \_\_\_\_\_

Signature \_\_\_\_\_

Field Book \_\_\_\_\_ p \_\_\_\_\_ Traverse Book \_\_\_\_\_ p \_\_\_\_\_  
Reference Plans DP 61573 60801 54860  
SO 17875 8588

Examined \_\_\_\_\_ Correct \_\_\_\_\_

Approved as to Survey \_\_\_\_\_  
Chief Surveyor

Deposited this \_\_\_\_\_ day of \_\_\_\_\_ 19 \_\_\_\_\_  
District Land Registrar

File Received Instructions

LAND DISTRICT CANTERBURY  
SURVEY BLK. & DIST. VIII MAIRAKI  
NZMS 261 SHT M.35 RECORD MAP No \_\_\_\_\_

LOTS 1 & 2 BEING SUBDIVISION OF  
LOT 2 DP 60801 & EASEMENT OVER  
LOT 1 DP 60801

TERRITORIAL AUTHORITY WAIMAKARIRI DISTRICT  
WDC no R950272  
Surveyed by CONNELL WAGNER LIMITED  
Scale 1:4000 Date AUGUST 1995

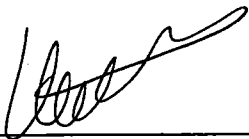
Supplied by the drawing room

R950272/6583

**CERTIFICATE ISSUED PURSUANT TO THE  
RESOURCE MANAGEMENT ACT 1991**

In the matter of the Land Transfer Plan 70772 and pursuant to Section 224 (c) of the Resource Management Act 1991, I hereby certify that all of the conditions of the subdivision consent (Lots 1 & 2 being a subdivision of Lot 2 DP60801 and easement over Lot 1 DP60801) have been complied with to the satisfaction of the Waimakariri District Council.

Dated at Rangiora this 30th day of October 1995.



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Authorised Officer

RC065573/070821026805

21591-065-00

**WAIMAKARIRI DISTRICT COUNCIL****IN THE MATTER** of the Resource Management Act 1991**AND****IN THE MATTER** of an application lodged by **Gillendy Holdings Limited** for a resource consent under Section 88 of the aforementioned Act.**APPLICATION**

The applicants sought a resource consent to a subdivision creating Lot 1 (4.0 ha), Lot 2 (4.0 ha), Lot 3 (4.0 ha) and Lot 4 (8.0 ha), without the ability to connect to reticulated services from Lot 1 DP 70772 (20 ha) CT CB41A/600. The utilisation of a rights of way and associated formation for access by seven lots. Proposed Lot 4 is to be amalgamated with adjoining Lot 7 DP 54860 (CT32F/800) and one certificate of title issued to include both parcels.

**DECISION**

The District Plan Manager, on the 20<sup>th</sup> August 2007, approved:

**THAT** pursuant to section 104B of the Resource Management Act 1991, consent be granted to subdivide creating Lot 1 (4.0 ha), Lot 2 (4.0 ha), Lot 3 (4.0 ha) and Lot 4 (8.0 ha), without the ability to connect to reticulated services and to access seven sites off a right of way, at 984 Oxford Road, Rangiora, being Lot 1 DP 70772, as a Discretionary activity subject to the following conditions which are imposed under Section 108 of the Act:

1. The activity shall be carried out in accordance with the attached approved application plan.
2. **Amalgamation**
  - 2.1 Pursuant to section 220 (1)(b)(iii) of the Resource Management Act 1991, Lot 4 shall be amalgamated with Lot 7 DP 54860 and one certificate of title issued for the parcels (ref: 671616).
3. **Standards**
  - 3.1 All stages of design and construction shall accord with the Waimakariri District Council Engineering Code of Practice.
4. **Easements**
  - 4.1 All services, including open drains and access ways, serving more than one lot or traversing lots other than those being served and not situated within a public road or proposed public road, shall be protected by easements. All such easements shall be granted and reserved.

## 5. Power and Telephone

- 5.1 The subdivider shall provide written evidence from the relevant utility providers that power and telephone reticulation has the capacity to provide service connections for Lots 1 and 2.

## 6. Water Supply

- 6.1 The subdivider shall provide an adequate domestic supply of at least 2.0 m<sup>3</sup> per day each lot.
- 6.2 Where the existing well on Lot 2 DP 70772 is to be used as a common supply well for a domestic water supply on Lots 1 to 3, it shall be confirmed as a potable water supply by recognised and practical treatment methods to the satisfaction of the Council. Water quality tests carried out by an IANZ registered Laboratory, demonstrating chemical and bacteriological compliance with the publication "Drinking Water Standards for New Zealand 2002" shall be submitted to the Council. The tests shall be accompanied by the results of well pump tests, which demonstrate, to the satisfaction of Council, that the quantity of water available from this well can adequately supply the water requirements to all properties that are provided with a water supply from that well.

Samples from the water source shall be taken either by:

- The laboratory carrying out the analysis, or
- Council staff.

*Note: If the laboratory collects the sample, written verification shall be provided to the Council stating the time of sampling that the sample was in a raw condition and from the well under test.*

- 6.4 Where any proposed pipelines and water connections cross any intervening properties the reticulation shall be protected by easements in favour of the users. The source site, pump and controls shall also be protected.
- 6.5 A supply agreement shall be entered into by the subdivider on behalf of all future owners of the proposed lots and all existing users of the well, for the protection of all users of the well. The agreement shall contain adequate safeguards for shared potable water supply to each lot connected to the private water supply. These safeguards shall assure an adequate quality and quantity of potable water for domestic use is supplied to proposed lots 1,2 and 3, except in the event of plant breakage. The agreement shall also cover responsibility for ongoing operation, maintenance and other associated costs. This agreement shall be approved by Council prior to the issue of a 224c certificate.
- 6.6 Should an adequate agreement not be provided as required by condition 6.5 above, the subdivider shall install a new well or wells on the lots to provide for the water requirements not covered by an agreement.
- 6.7 Where a new well or wells are installed on either Lots 1, 2 or 3, the subdivider shall prove that the water can be readily made potable by recognised and practical treatment methods to the satisfaction of the Council. Tests carried out by an IANZ registered laboratory shall demonstrate whether the chemical and bacteriological water quality complies with the guideline values set out in the publication, 'Drinking Water Standards for New Zealand 2002'. The

subdivider shall specify and install any correction, which may be required to achieve compliance. The tests shall be accompanied by the results of well pump tests, which demonstrate, to the satisfaction of Council, that the quantity of water available from these new wells can adequately supply the water requirements of the lots.

Samples from the water source shall be taken either by:

- The laboratory carrying out the analysis, or
- Council staff.

*Note: If the laboratory collects the sample, written verification shall be provided to the Council stating the time of sampling that the sample was in a raw condition and from the well under test.*

(Such treatment will subsequently be required to be installed by the landowner before a building consent for a dwelling is finalised and the dwelling occupied).

- 6.8 The top 0.5 m of all wells that will provide a domestic water supply to the Lots shall be made secure. A concrete pad of at least 0.3 metre radius and 0.1 metre thickness shall be constructed around all wellheads used to provide the domestic water. The concrete pad shall be constructed at ground or at pump-house floor level to prevent leakage or ponding around the wellhead casing. The pad shall be cast so as to slope away from the well. The top of the well shall be capped to prevent contaminants entering the bore and underlying ground water.

## 7. Development Contributions

Pursuant to section 198 of the Local Government Act 2002, the consent holder shall pay \$13,227.75 including GST, this amount is based on the following contributions:

Description	Area	Units/ Lots	Factor	Amount	Amount
			(excluding GST) Per Unit/Lot	(excluding GST) Total	(inclusive GST) Total
			\$	\$	\$
Reserves	Rural Zone	2	2,197.00	4,394.00	4,943.25
Roading	District	2	3,187.00	6,374.00	7,170.75
Community Infrastructure	Community Infrastructure	2	495.00	990.00	1,113.75
<b>Total</b>			<b>5,879.00</b>	<b>11,758.00</b>	<b>13,227.75</b>

## 8. Conditions Auditing

- 8.1 The Council will audit compliance with the conditions of consent by both site inspections and checking of associated documentation to the extent necessary to ensure the work is completed in accordance with the approved plans and specifications and to the Council's standards. The Council will undertake inspections and checking. The developer, or their authorised agent, shall notify Council at least one working day prior to commencing various stages of the works. This is to enable audit inspections required by the consent to be performed.

The minimum level of inspection shall be as follows:

**Water**

- Following completion of required works.

**Whole Works**

- Prior to issue of a certificate under Section 224(c) of the Resource Management Act.

Where repeat inspections are required because of faulty workmanship or work not being ready contrary to the receipt of a notification, such inspections will be carried out at the current hourly rate for staff time and vehicle running costs for kilometres travelled. Currently these rates are \$75/hr for the Council officer inspecting and between \$0.45/km and \$0.70/km for kilometres travelled.

**9. Works Conditions**

- 9.1 That a certificate under Section 224(c) of the Resource Management Act 1991 will not be issued until conditions 1 to 8 above have been met to the satisfaction of the Waimakariri District Council, at the expense of the subdivider.

**ADVICE NOTES**

- a) The requirements and conditions listed are a statement of the Council's minimum standards. Where the subdivider proposes higher standards or more aesthetically acceptable alternatives these shall be submitted to the Council for approval.
- b) The requirement for power and telephone to be confirmed as having capacity to service the subdivision does not guarantee that power or telephone connections are provided to potential house sites. On rural lots, the service authorities will not install submains to individual lots until the location of the house site is determined. Prospective purchasers of these lots should be advised to contact the relevant service authorities to ascertain the likely costs of servicing any specific lots to the purchaser's requirements.
- c) Any dwelling shall be located a minimum of 10m from natural overland flow path, watercourses and drains.
- d) This consent does not constitute consent in terms of the Building Act, the Transitional Regional Plan or the Natural Resources Regional Plan.

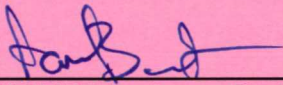
**REASONS FOR THE DECISION**

Pursuant to Section 113 of the Act the Council was satisfied that:

1. No person is deemed to be adversely affected by the proposal.
2. The environmental effects will be no more than minor.

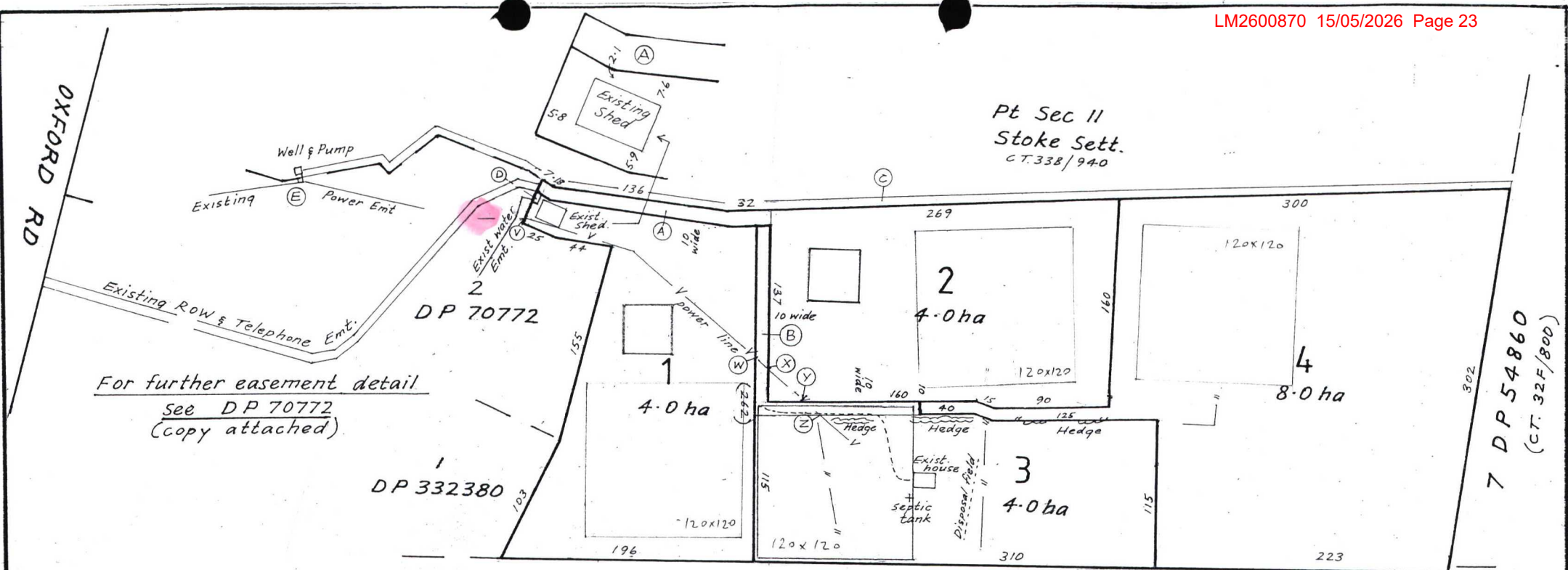
3. The proposal is in accordance with the District Plans.
4. Council has considered the proposed amount of lots accessing the right of way and consider that the existing formation is sufficient to contain the potential effects of the additional usage.

DATED at Rangiora this 21<sup>st</sup> day of August 2007



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SIGNED by Aaron Burt  
**PLANNING OFFICER**



For further easement detail  
see DP 70772  
(copy attached)

Proposed Easements		
Nature	Servient Tenement	Dominant Tenement
ROW, Telephone and Water	2 (A) 3 (B)	Lots 1, 3 and 4 Lot 4
Electric Power	1 (V-W) 3 (W-X) 2 (X-Y) 4 (Y-Z) Lot 2 DP 70772 (E)	Lots 2,3 & 4 Lots 2 & 4 Lots 3 & 4 Lot 3 Pt Sec 11, Lots 1-4
Water	Lot 1 (D) Pt Sec 11 Stoke Sett (C)	Lots 2,3 & 4 Lots 1-4 & Lot 7 DP 54860

2  
D P 61573

Amalgamation condition  
Lot 4 to be amalgamated with  
Lot 7 DP.54860 (C.T.32F/800)

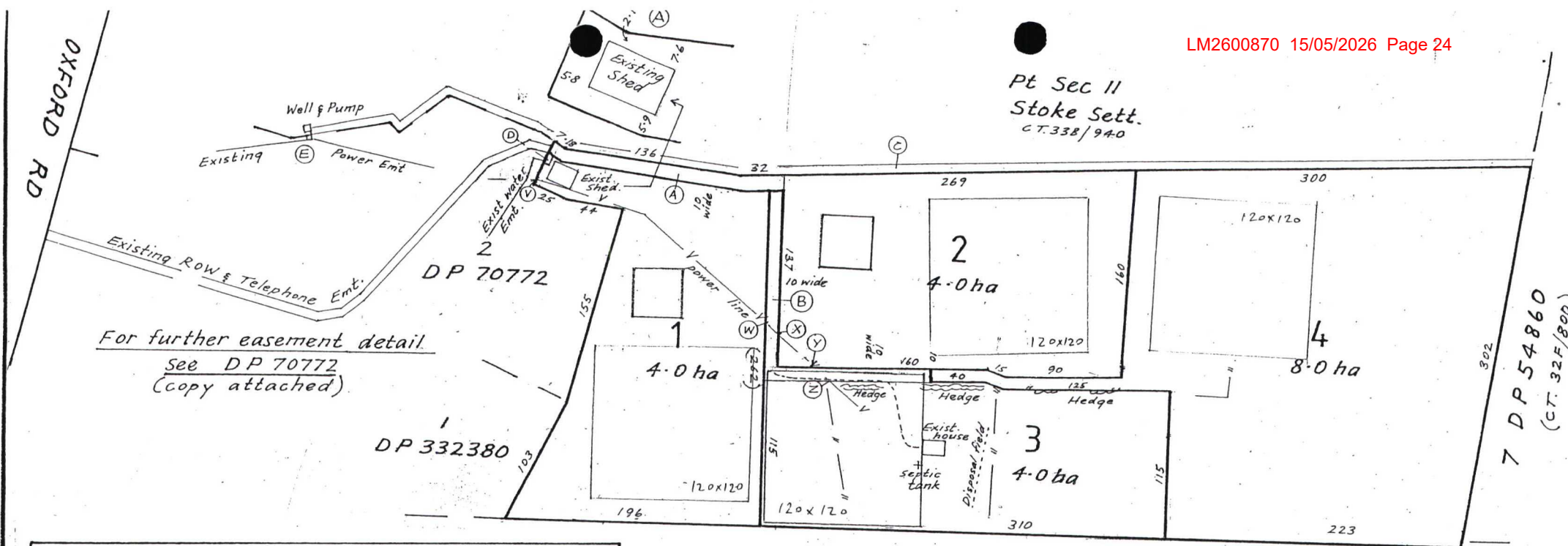
NOTE: Scandlyn Surveying accepts no responsibility for the use of this plan for any purpose other than that intended (obtaining a Resource Consent).

- NOTES
- Subdivision proposal plan only
  - Areas and dimensions subject to final survey
  - Plan prepared for the purpose of obtaining a Resource Consent
  - Proposed Building Platforms shown -

Waimakariri District Council  
Comprised in CT 41A/600  
SCALE: 1:3000 (A3)

Lots 1-4 being subdivision of Lot 1 DP.70772  
(Tony Sexton)

Prepared by SCANDLYN SURVEYING LTD  
209B High Street  
RANGIORA  
Ph 03 3131272 Fax 03 3131274  
Reference: 2640 R2 19/2/07



For further easement detail  
See DP 70772  
(copy attached)

Pt Sec 11  
Stoke Sett.  
CT.338/940

7 DP 54860  
(CT. 32F/800)

Proposed Easements		
Nature	Servient Tenement	Dominant Tenement
ROW, Telephone and Water	2 (A) 3 (B)	Lots 1, 3 and 4 Lot 4
Electric Power	1 (V-W) 3 (W-X) 2 (X-Y) 4 (Y-Z) Lot 2 DP 70772 (E)	Lots 2,3 &4 Lots 2 & 4 Lots 3 & 4 Lot 3 Pt Sec 11, Lots 1-4
Water	Lot 1 (D) Pt Sec 11 Stoke Sett (C)	Lots 2,3 & 4 Lots 1-4 & Lot 7 DP 54860

Approved Application  
RC065573  
Plan *UM Caseley* 20/08/07  
DISTRICT PLAN MANAGER

Amalgamation condition  
Lot 4 to be amalgamated with  
Lot 7 DP.54860 (CT.32F/800)

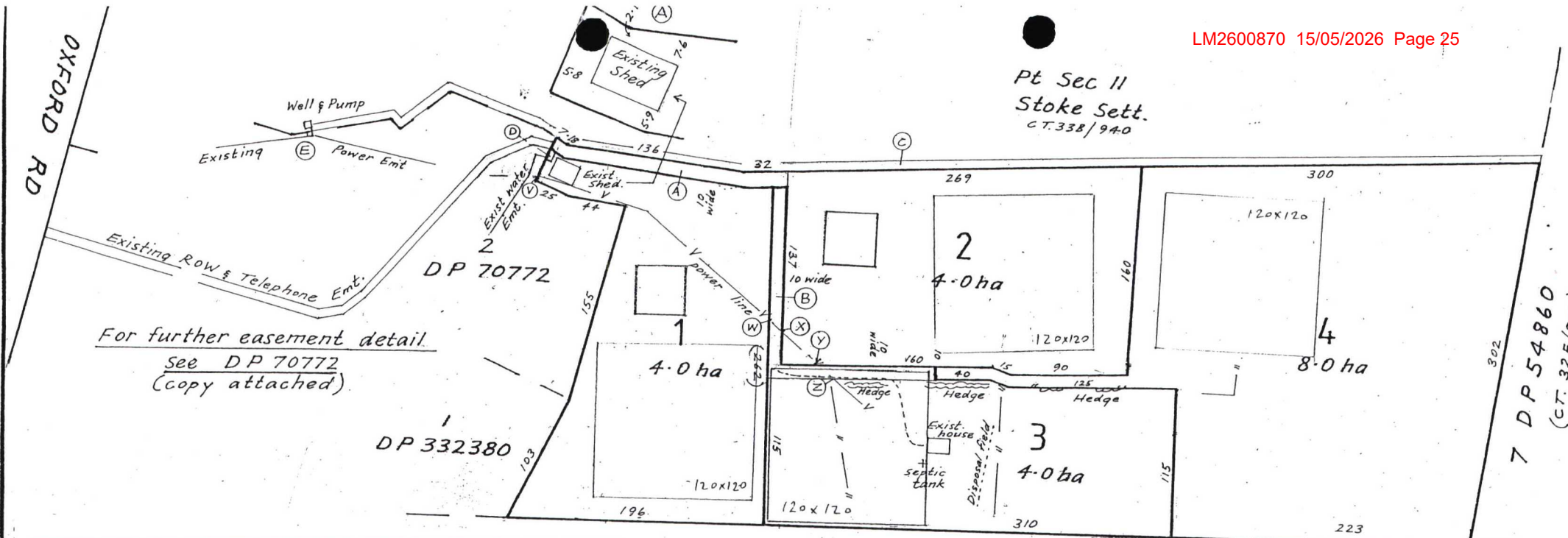
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Waimakariri District Council  
Comprised in CT 41A/600  
SCALE: 1:3000 (A3)

Lots 1-4 being subdivision of Lot 1 DP.70772  
(Tony Sexton)

Prepared by SCANDLYN SURVEYING LTD  
209B High Street  
RANGIORA  
Ph 03 3131272 Fax 03 3131274  
Reference: 2640 R2 19/2/07



Pt Sec 11  
Stoke Sett.  
C.T. 338/940

For further easement detail  
see DP 70772  
(copy attached)

Proposed Easements		
Nature	Servient Tenement	Dominant Tenement
ROW, Telephone and Water	2 (A) 3 (B)	Lots 1, 3 and 4 Lot 4
Electric Power	1 (V-W) 3 (W-X) 2 (X-Y) 4 (Y-Z) Lot 2 DP 70772 (E)	Lots 2, 3 & 4 Lots 2 & 4 Lots 3 & 4 Lot 3 Pt Sec 11, Lots 1-4
Water	Lot 1 (D) Pt Sec 11 Stoke Sett (C)	Lots 2, 3 & 4 Lots 1-4 & Lot 7 DP 54860

Approved Application  
RC 065573  
Plan IM Caseley 20/08/07  
DISTRICT PLAN MANAGER

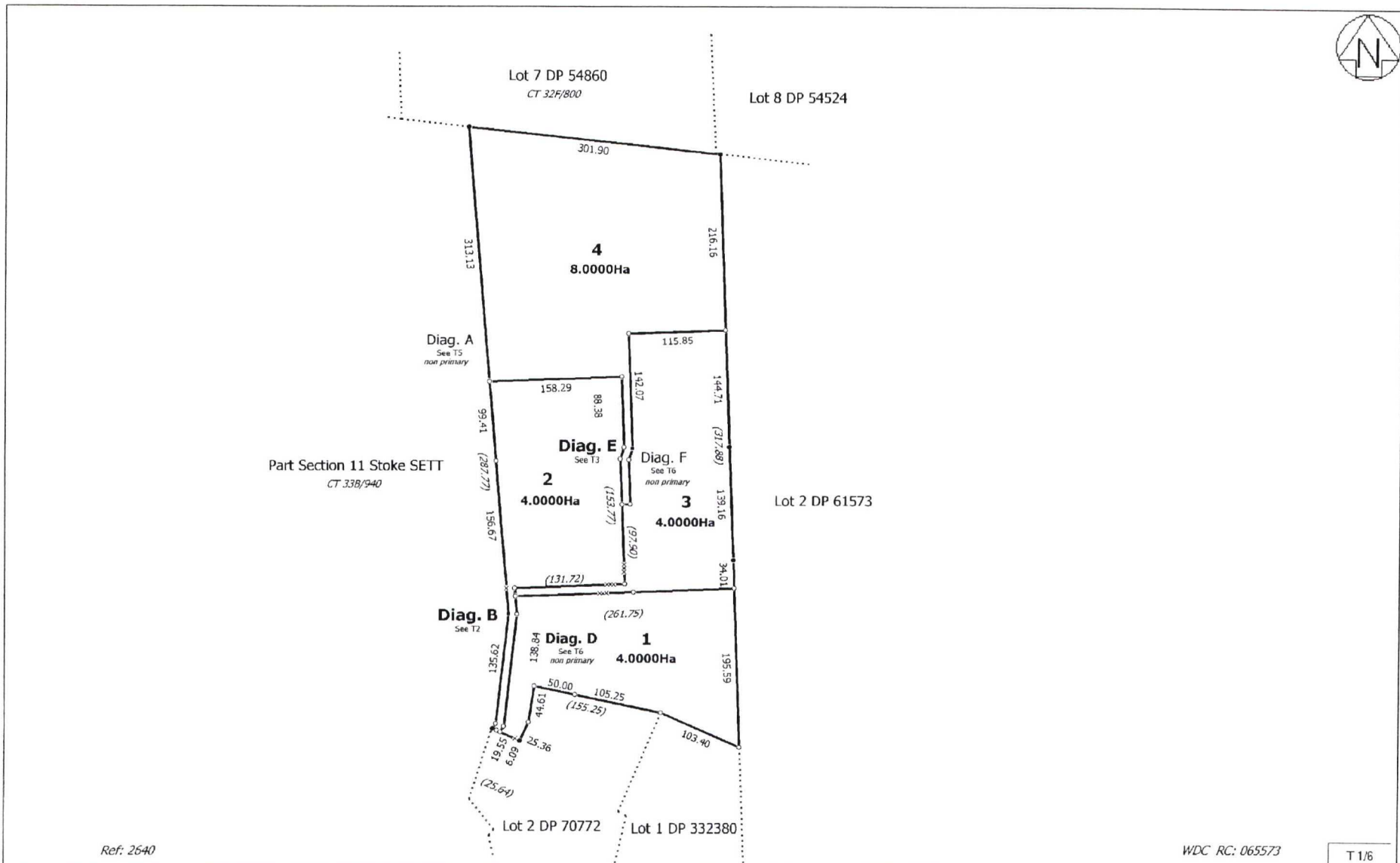
Amalgamation condition  
Lot 4 to be amalgamated with  
Lot 7 DP.54860 (C.T. 32F/800)

- NOTES
- Subdivision proposal plan only
  - Areas and dimensions subject to final survey
  - Plan prepared for the purpose of obtaining a Resource Consent
  - Proposed Building Platforms shown -

Waimakariri District Council  
Comprised in CT 41A/600  
SCALE: 1:3000 (A3)

Lots 1-4 being subdivision of Lot 1 DP.70772  
(Tony Sexton)

Prepared by SCANDLYN SURVEYING LTD  
209B High Street  
RANGIORA  
Ph 03 3131272 Fax 03 3131274  
Reference: 2640 R2 19/2/07



Ref: 2640

WDC RC: 065573

T 1/6

Land District Canterbury

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Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.

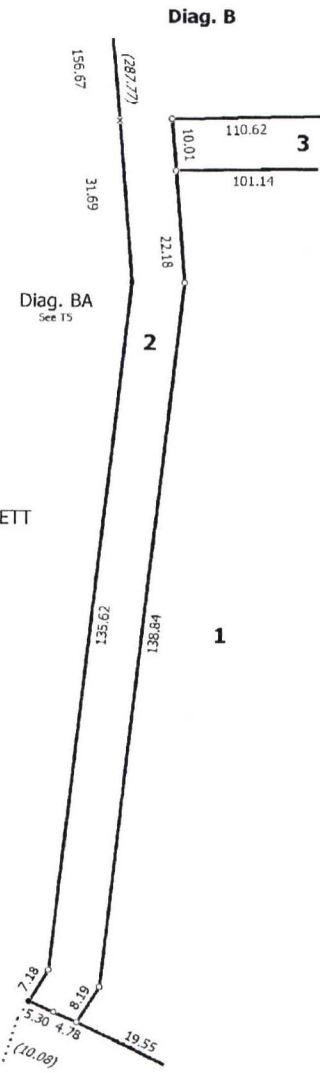
Surveyor: Murray Trevor Scandlyn

Firm: Scandlyn Surveying

Digital Title Plan

LT 397121

DRAFT



Part Section 11 Stoke SETT

Lot 2 DP 70772

T 2/6

Lend District Canterbury

Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.

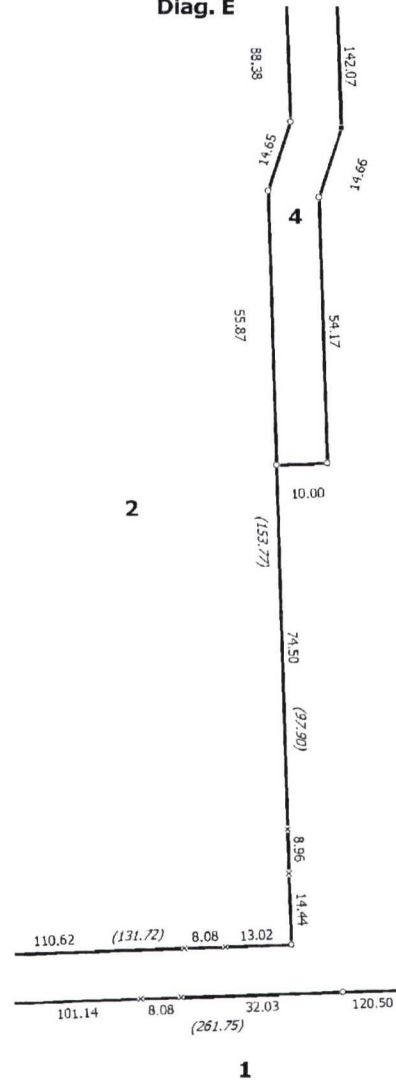
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Firm: Scandlyn Surveying

Digital Title Plan  
LT 397121  
DRAFT

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Diag. E



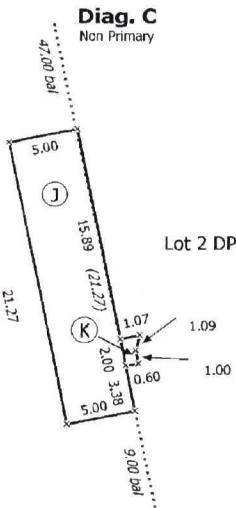
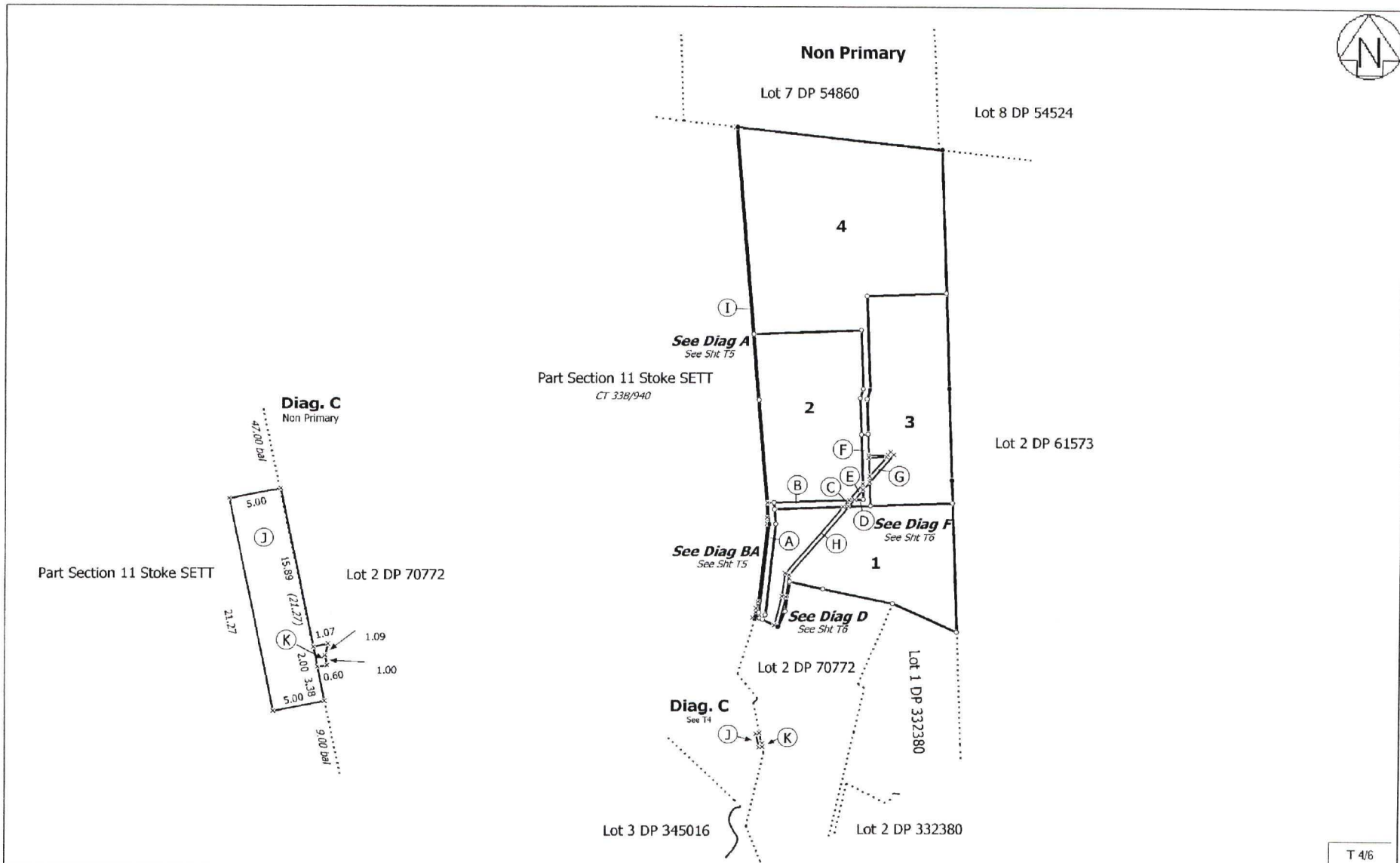
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Land District: Canterbury  
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Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.

Surveyor: Murray Trevor Scandlyn  
 Firm: Scandlyn Surveying

Digital Title Plan  
 LT 397121  
 DRAFT



Part Section 11 Stoke SETT  
CT 338/940

Part Section 11 Stoke SETT

Lot 2 DP 70772

Lot 2 DP 70772

Lot 1 DP 332380

Lot 3 DP 345016

Lot 2 DP 332380

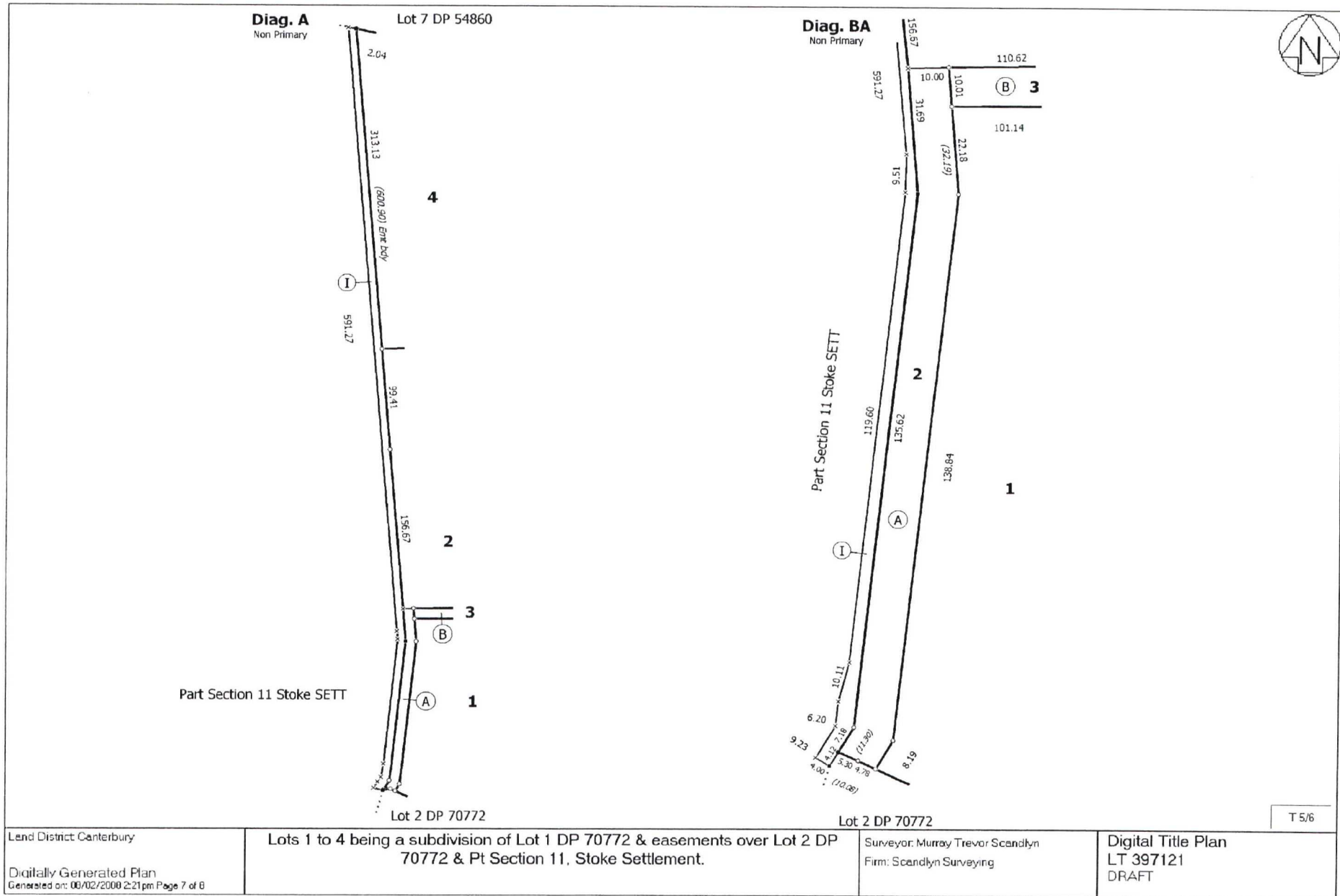
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Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.

Surveyor: Murray Trevor Scandlyn  
Firm: Scandlyn Surveying

Digital Title Plan  
LT 397121  
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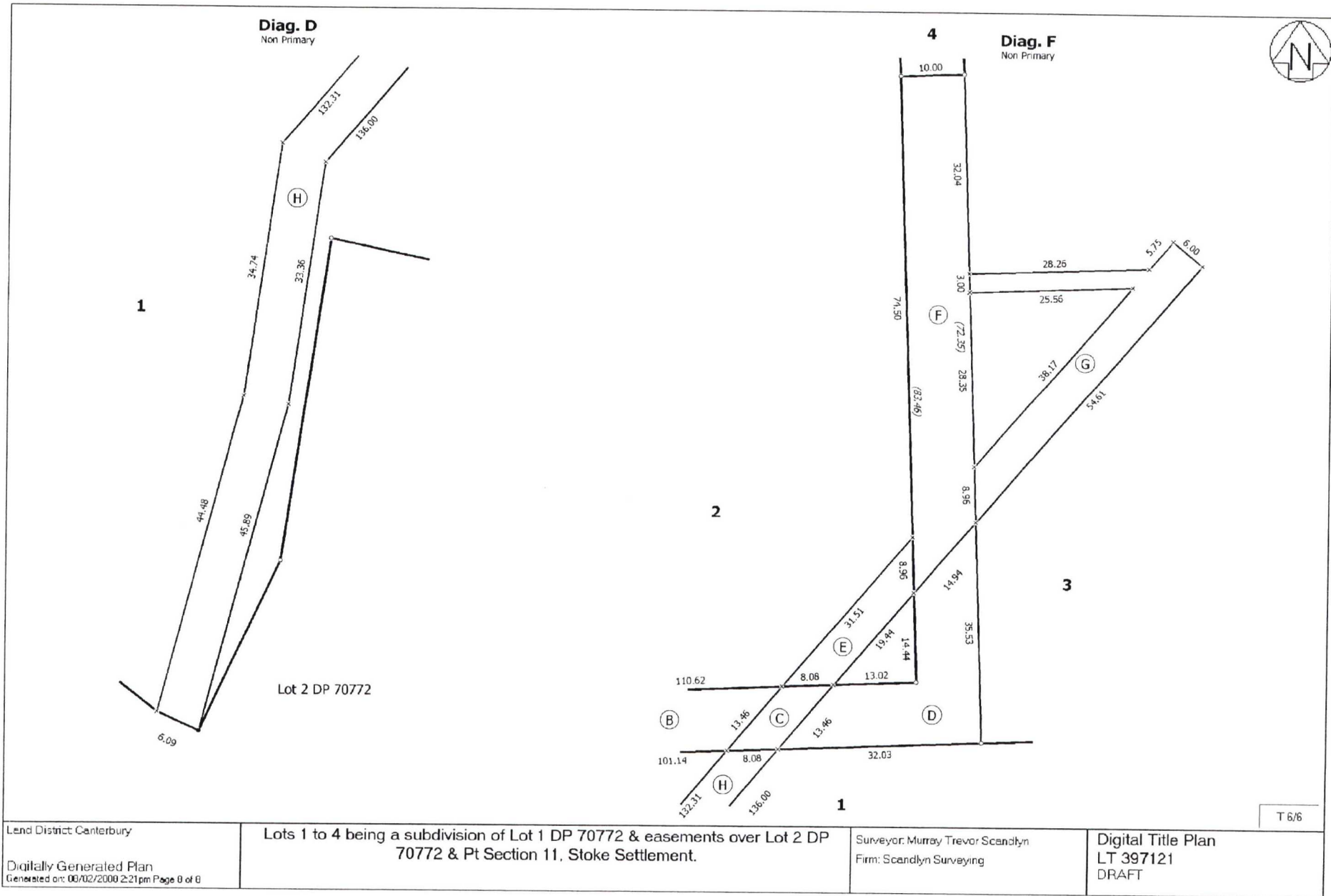


Lend District Canterbury  
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Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.

Surveyor: Murray Trevor Scandlyn  
Firm: Scandlyn Surveying

Digital Title Plan  
LT 397121  
DRAFT



Lend District Canterbury  
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Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.

Surveyor: Murray Trevor Scandlyn  
Firm: Scandlyn Surveying

Digital Title Plan  
LT 397121  
DRAFT

T 6/6



## TA Approvals

<b>Territorial Authority</b>	Waimakariri District Council TA Certification Division	<b>TA Reference</b>	RC 065573
<b>Survey Number</b>	LT 397121	<b>Survey Purpose</b>	LT Subdivision
<b>Surveyor Reference</b>	2640 Sexton	<b>Land District</b>	Canterbury
<b>Surveyor</b>	Murray Trevor Scandlyn		
<b>Surveyor Firm</b>	Scandlyn Surveying		
<b>Dataset Description</b>	Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.		

### TA Certificates

The approval of the Council under Section 223 of the Resource Management Act 1991 is subject to the amalgamation condition(s) set out hereon

The approval of the Council under Section 223 of the Resource Management Act 1991 is subject to the granting or reserving of the easement(s) set out in the Memorandum of Easements attached as a supporting document to plan DP 397121

I hereby certify that plan DP 397121 was approved by the Waimakariri District Council pursuant to section 223 of the Resource Management Act 1991 on the 13th day of March 2008.

Pursuant to Section 224(c) Resource Management Act 1991 I hereby certify that all the conditions of the subdivision consent have been complied with to the satisfaction of the Waimakariri District Council. Dated this 13th day of March 2008.

### Signature

Signed by Victoria Mary Caseley, Authorised Officer, on 13/03/2008 08:01 PM

### Receipt Information

<b>Transaction Receipt Number</b>	3289552
<b>Signing Certificate (Distinguished Name)</b>	Caseley, Victoria Mary
<b>Signing Certificate (Serial Number)</b>	1019627205
<b>Signature Date</b>	13/03/2008

\*\*\* End of Report \*\*\*



## Digital Title Plan - LT 397121

**Survey Number** LT 397121  
**Surveyor Reference** 2640 Sexton  
**Surveyor** Murray Trevor Scandlyn  
**Survey Firm** Scandlyn Surveying  
**Surveyor Declaration**

### Survey Details

**Dataset Description** Lots 1 to 4 being a subdivision of Lot 1 DP 70772 & easements over Lot 2 DP 70772 & Pt Section 11, Stoke Settlement.  
**Status** Initiated  
**Land District** Canterbury  
**Submitted Date**  
**Survey Class** Class III Cadastral Survey  
**Survey Approval Date**  
**Deposit Date**

### Territorial Authorities

Waimakariri District

### Comprised In

CT CB33B/940  
 CT CB41A/600  
 CT CB41A/601

### Created Parcels

Parcels	Parcel Intent	Area	CT Reference
Lot 1 Deposited Plan 397121	Fee Simple Title	4.0000 ha	387314
Lot 2 Deposited Plan 397121	Fee Simple Title	4.0000 ha	387315
Lot 3 Deposited Plan 397121	Fee Simple Title	4.0000 ha	387316
Lot 4 Deposited Plan 397121	Fee Simple Title	8.0000 ha	387317
Marked A Deposited Plan 397121	Easement		
Marked B Deposited Plan 397121	Easement		
Marked C Deposited Plan 397121	Easement		
Marked D Deposited Plan 397121	Easement		
Marked E Deposited Plan 397121	Easement		
Marked F Deposited Plan 397121	Easement		
Marked H Deposited Plan 397121	Easement		
Marked I Deposited Plan 397121	Easement		
Marked J Deposited Plan 397121	Easement		
Marked K Deposited Plan 397121	Easement		
Marked G Deposited Plan 397121	Easement		
<b>Total Area</b>		20.0000 ha	

Schedule / Memorandum

DP 397121

<b>MEMORANDUM OF EASEMENTS</b> (Pursuant to s243 Resource Management Act 1991)			
Purpose	Shown	Servient Tenement	Dominant Tenement
Right of way , right to convey water and telephonic communications	A	Lot 2	Lots 1, 3 & 4
	B,C,D & F	Lot 3	Lot 4
Right to convey water	I	Pt Section 11 Stoke Settlement	Lot 7 DP 54860 Lots 1- 4
Right to convey electric power & water	J		
Right to convey electric power	K	Lot 2 DP 70772	
Right to convey electric power in gross	H	Lot 1	<u>Grantee</u> Mainpower NZ Limited
	C, F & G	Lot 3	
	E	Lot 2	

<b>Amalgamation Conditions</b> (Pursuant to s220 Resource Management Act 1991)
That Lot 4 shall be amalgamated with Lot 7 DP 54860 (CT 32F/800) and one certificate of title issued to include both parcels. (ref: 671616)

**Waimakariri District Council**

215 High Street  
Private Bag 1005  
Rangiora 7440, New Zealand  
Phone 0800 965 468

Our Reference: RM240011/240624102596  
Valuation Reference: 2159106500

24 June 2024

Roy A Frew  
C/- Ascad Limited  
59 Warwick Road  
RD 5  
**RANGIORA 7475**

Dear Andrew

**WRITTEN NOTICE ON BOUNDARY ACTIVITY  
ROY ANTONY FREW - 982 A OXFORD ROAD RANGIORA**

Please find attached the Written Notice for your Boundary Activity located **982 A Oxford Road RANGIORA**.

Please note that this notice will lapse 5 years after the date that it is given, unless the activity permitted by this notice is undertaken.

This notice is valid only for the activity described in the notice and shown on signed plans referenced. If the activity changes, a resource consent may be required.

Yours faithfully



Denise Cowan  
**PLANNING ADMINISTRATION TEAM LEADER**

Encl

CC: [royfrew@gmail.com](mailto:royfrew@gmail.com)

## WRITTEN NOTICE

### DEEMED PERMITTED BOUNDARY ACTIVITY

Section 87BA Resource Management Act 1991

**RM No: RM240011**

**To : Roy Antony Frew  
C/- Ascad Limited  
59 Warwick Road  
RD 5  
RANGIORA 7475**

#### **THE SITE AND ACTIVITY:**

The proposal is to convert a portion of an existing farm shed into a one-bedroom dwelling. The location of the dwelling will breach the internal setback requirements to 986 Oxford Road (Pt Section 11 SETT Stoke) and 980 Oxford Road (Lot 2 DP 70772), Rangiora.

#### **DETAILS OF INFRINGED OWNER:**

The following two parties are the owners of the infringed boundaries:

- a. 980 Oxford Road, Rangiora (Lot 2 DP 70772) being owned by Russell David Kirk and Kate Lorraine Kirk
- b. 986 Oxford Road, Rangiora (Pt Section 11 SETT Stoke) being owned by Roger William O'Byrne

The applicant has obtained affected persons approval from these neighbours, and they have signed the application plans.

#### **BOUNDARY ACTIVITY IS PERMITTED**

**THAT** The Waimakariri District Council is satisfied that the proposed dwelling at 982 A Oxford Road, Rangiora being Lot 1 DP 397121, which will breach the internal boundary setbacks to the eastern and southern boundaries adjoining 980 Oxford Road, Rangiora (Lot 2 DP 70772) and the western boundary infringing 986 Oxford Road, Rangiora (Pt Section 11 SETT Stoke) meets the requirements of sections 87AAB and 87BA of the Resource Management Act 1991 (the Act) as shown on the stamped application plans RM240011 and is therefore a permitted activity under section 87BA(1) of the Act.

24 June 2024

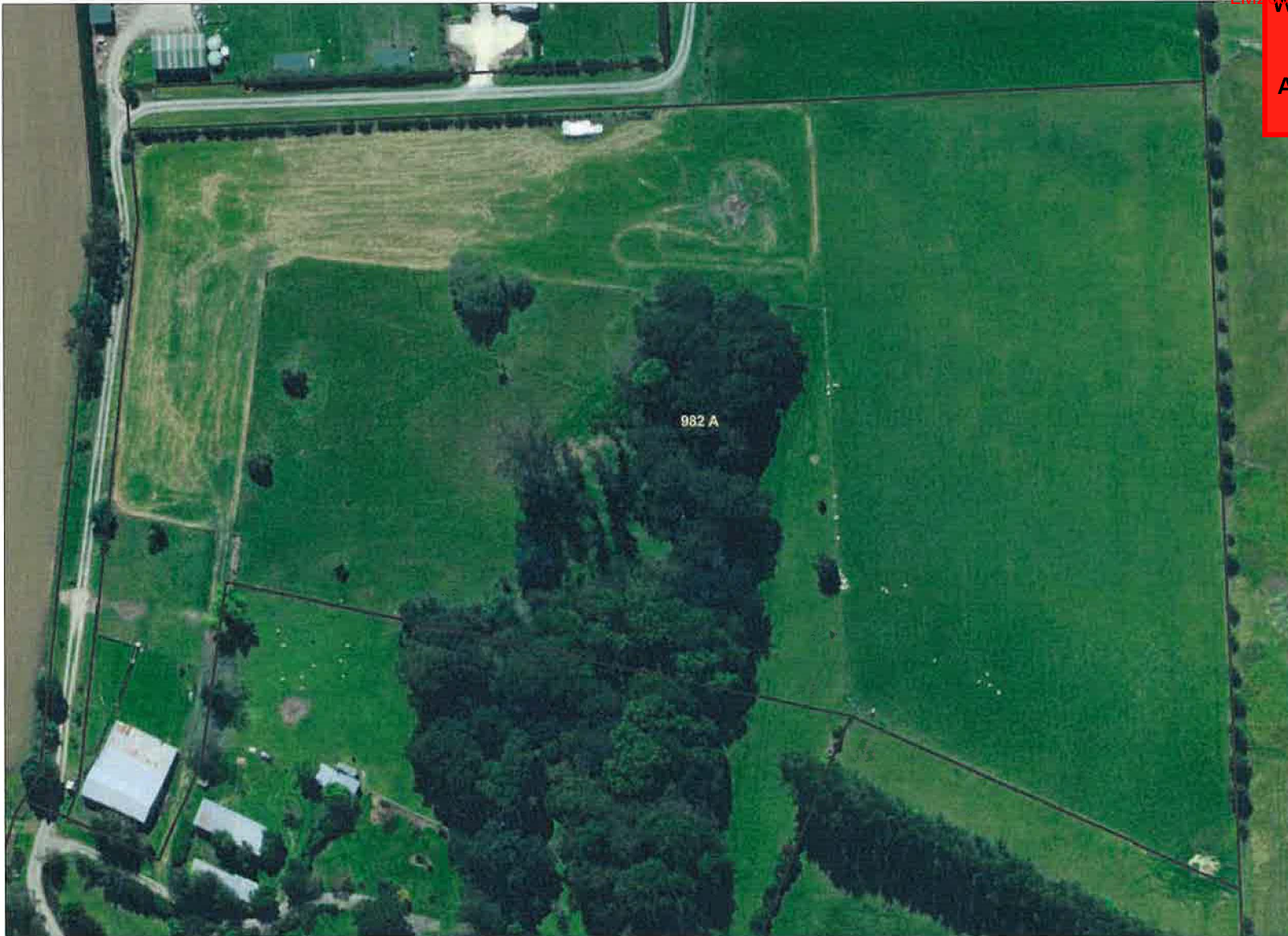


Signed & Authorised by: Ian Carstens  
Position: Team Leader Resource Consents

**ADVICE NOTES**

1. This notice will lapse 5 years after the date it is given unless the activity permitted by this notice is undertaken.
2. A certificate of compliance (under [section 139](#) of the Act) cannot be applied for in respect of this activity.
3. This notice is valid only for the activity described. If the activity changes, a resource consent may be required.
4. This consent does not provide approval under the Building Act 2004 or any relevant Regional Plan.

WAIMAKARIRI DISTRICT COUNCIL  
- APPLICATION PLAN -  
RM240011  
APPROVED by Authorised Officer  
Ian Carstens 24/06/2024

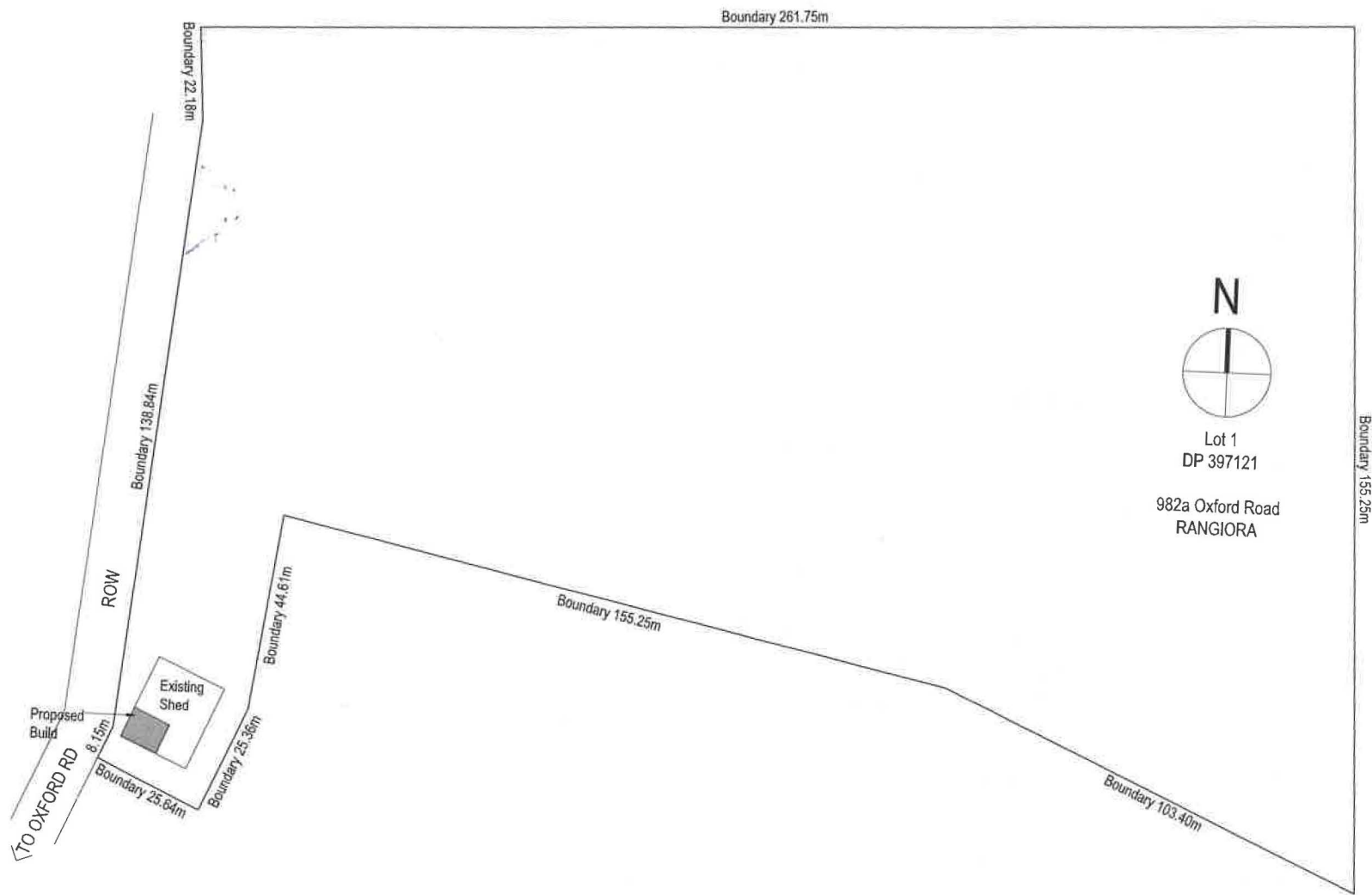


a.s.c.a.d.  
limited  
ascadltd@snap.net.nz  
0272 838 775

FREW DESIGN  
982a OXFORD ROAD

Name: *Russell Byrnie*  
Address: *982*  
Date: *1-5-24*  
Signed: *[Signature]*

SCALE: 1:1000  
DWG No: 01 of 03  
DATE: 30/04/24



a.s.c.a.d.  
limited  
ascadltd@snap.net.nz  
0272 838 775

FREW DESIGN  
982a OXFORD ROAD

Name:  
Address:  
Date:  
Signed: *[Signature]*

SCALE: 1:1000  
DWG No: 02 of 03  
DATE: 30/04/24



*R. W. O'Byrne*  
*[Signature]*

<p><b>a.s.c.a.d.</b>          limited          ascadtd@snap.net.nz          0272 838 775</p>	<p>job title:  <b>FREW HOUSE</b></p>	<p>drawing title:  <b>SITE PLAN</b></p>	<p>legal description:          Lot 1 DP 397121          982a Oxford Road          RANGIORA</p>	<p>WORKING DRAWINGS          SUBJECT TO COUNCIL APPROVAL          ALL MEASUREMENTS TO BE CONFIRMED          ON SITE BY CONTRACTOR PRIOR TO          THE COMMENCEMENT OF WORK.          DO NOT SCALE FROM DRAWINGS UNDER ANY          CIRCUMSTANCES.</p>	<p>scale:  <b>1:1000</b>          Job No.:  <b>02</b>          of: 10          DATE: 03/06/24</p>
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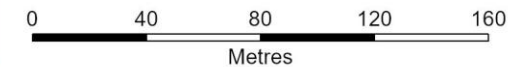
- Land Parcel
- Property Boundary

Author: Diana Willetts

Date: 15/05/2026

Scale 1:2,652

Original page size: A4

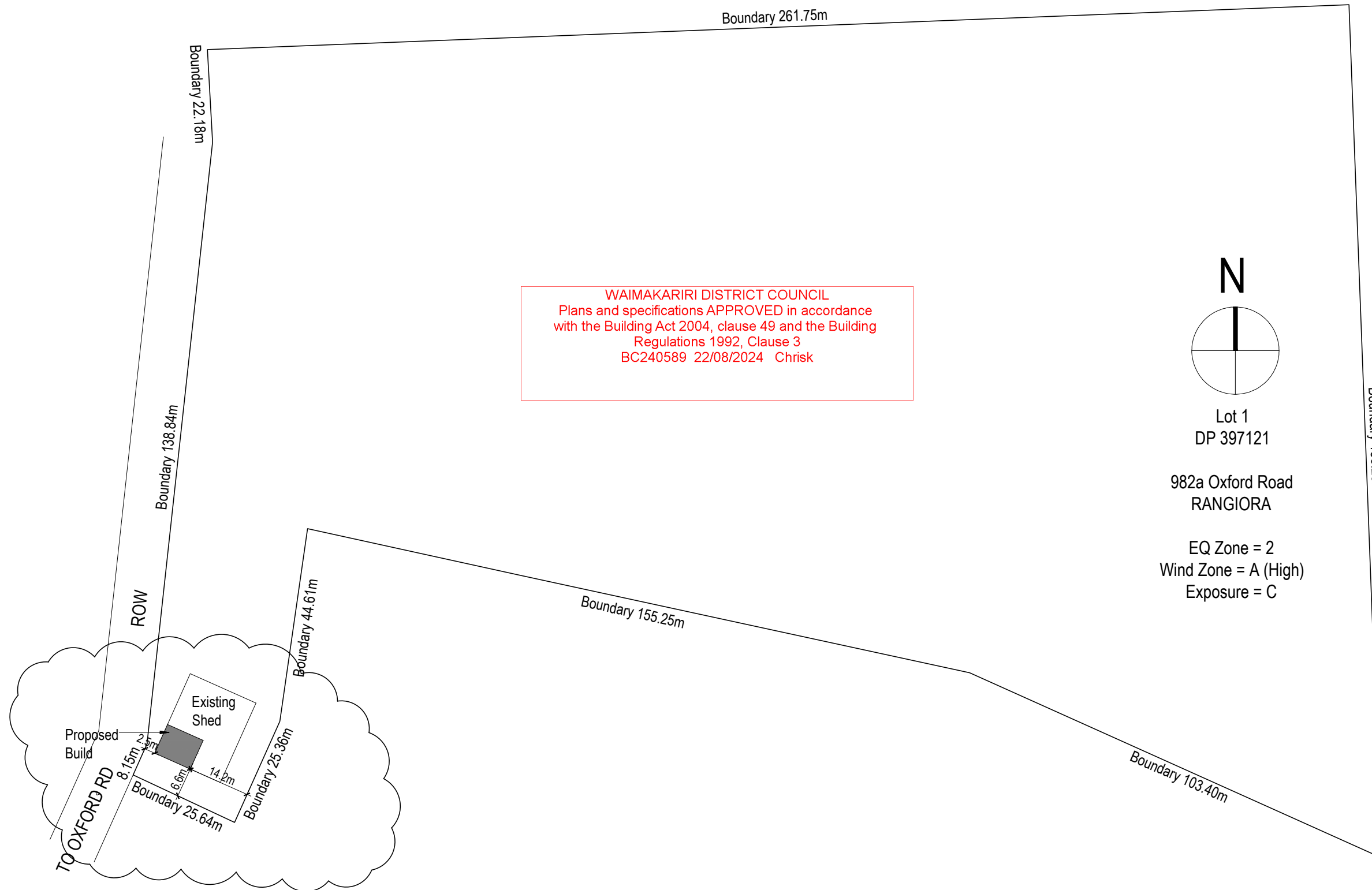


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Credits:

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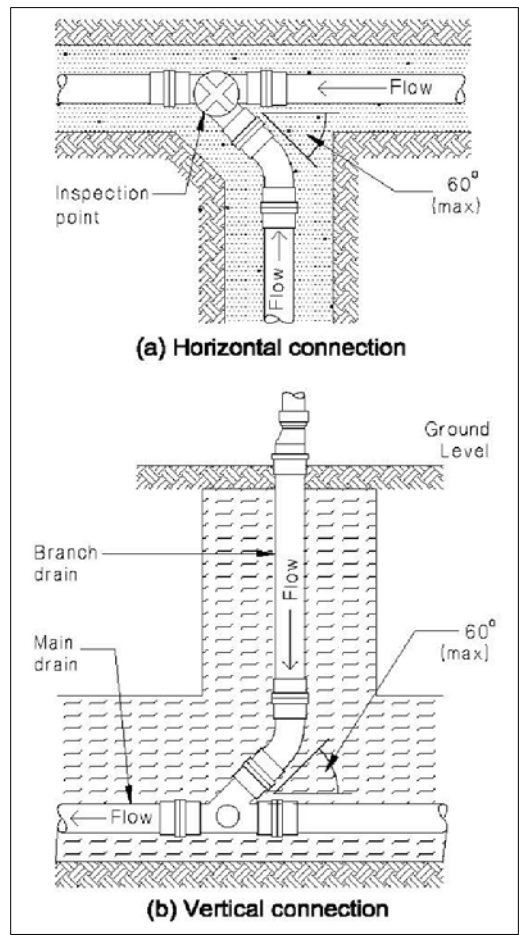
<p><b>a.s.c.a.d.</b> limited ascadltd@snap.net.nz 0272 838 775</p>	<p>job title: <b>FREW HOUSE</b></p>	<p>drawing title: <b>SITE PLAN</b> 03/07/24 REV A - Dimensions added</p>	<p>legal description: Lot 1 DP 397121 982a Oxford Road RANGIORA</p>	<p>WORKING DRAWINGS SUBJECT TO COUNCIL APPROVAL ALL MEASUREMENTS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK DO NOT SCALE FROM DRAWINGS UNDER ANY CIRCUMSTANCES</p>	<p>scale: <b>1:1000</b> Job No.: -</p>	<p>page: <b>02a</b> of: 10 DATE: 03/06/24</p>
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All pipes in Concrete to have Denso Tape (synthetic fabric based tape impregnated and coated with organic petroleum based compounds) applied

Pipes shall incorporate expansion joints in accordance with Chapter 8 of NZS7643

Hot water pipes to be sized according to NZBC G12 & NZS 4305. Mains Pressure: 15mm dia allows 12m max pipe length. Pipe length beyond this must be lagged

SANITARY FIXTURE	MIN PIPE DIA	MIN GRADE
Basin	32mm	1:20
Bath	40mm	1:40
Washing Machine	40mm	1:40
Kitchen Sink / Dish Washer	50mm	1:40
Laundry Sink	40mm	1:30
Shower	40mm	1:40
WC	100mm	1:60
SEWER PIPE	100mm	1:60
STORMWATER PIPE	100mm	1:120



All drains laid at 1:120 to be laid with a verifiable leveling device

- Main Vent (MV) to terminate either:
- 3.0m above ground level
  - 600mm above windows / openings
  - 150mm above roof
  - 600mm above eaves / parapets

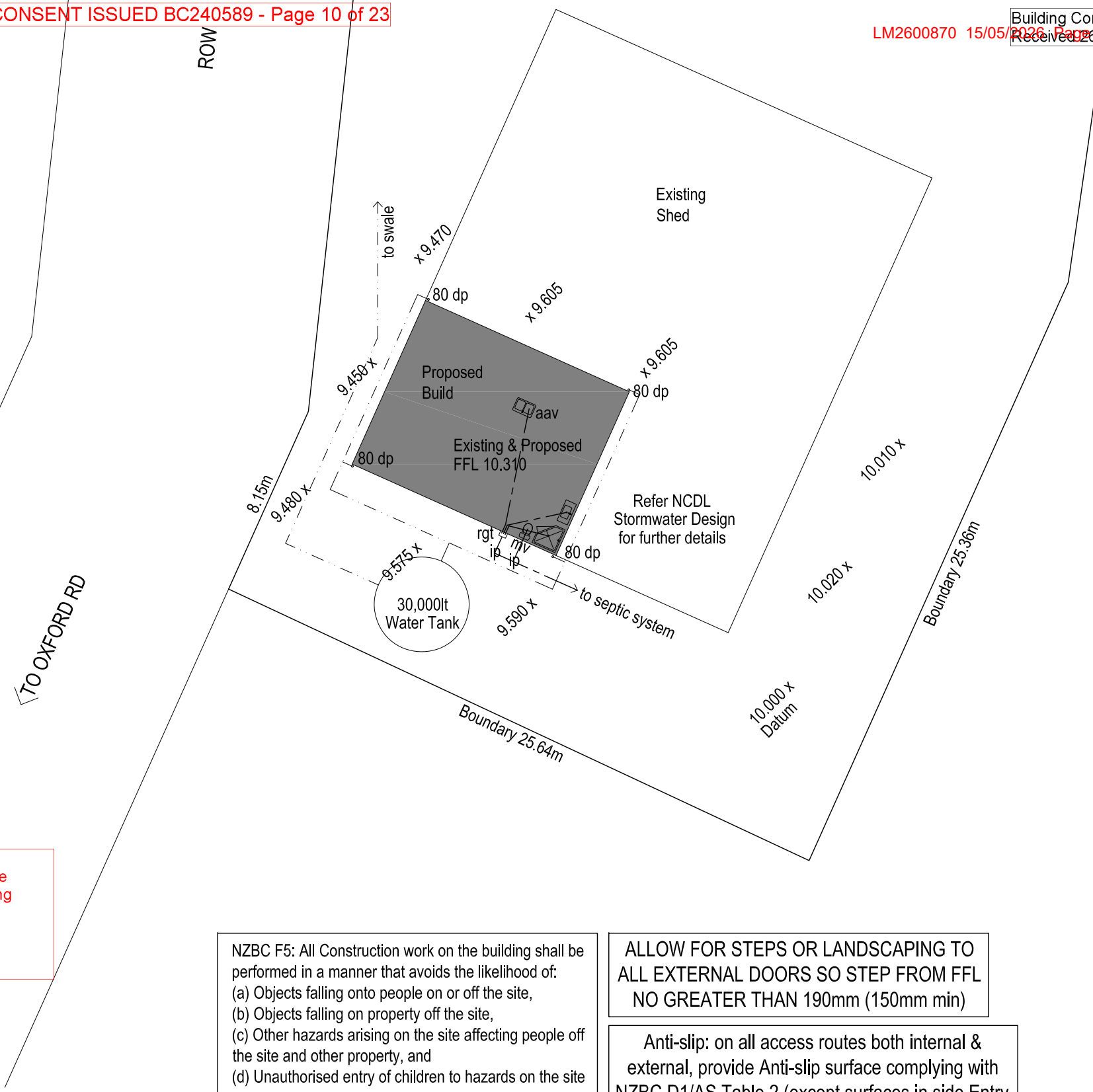
HWC Relief Drain = 20mm Copper Pipe

SANITARY FIXTURE	FLOW RATE/TEMP	PIPE DIAMETER
Bath	0.3 at 45°C	15mm
Sink	0.2 at 60°C (hot)	15mm
	0.2 (cold)	15mm
Laundry Tub	0.2 at 60°C (hot)	15mm
	0.2 (cold)	15mm
Basin	0.1 at 45°C	10mm
Shower	0.1 at 42°C	20mm

PIPE DIAMETER	MAXIMUM DISTANCE BETWEEN SUPPORTS (mm)	
	VERTICAL PIPE	GRADED PIPE
32 to 50	1000	500
65 to 100	1200	1000
Greater than 100	1800	1200

VENT PIPES:  
Discharge Pipes upto 40mm dia = 32mm Vent Pipe  
Discharge Pipes over 40mm dia = 40mm Vent Pipe  
Main Drain Vent Pipe = 80mm Vent Pipe

WAIMAKARIRI DISTRICT COUNCIL  
Plans and specifications APPROVED in accordance with the Building Act 2004, clause 49 and the Building Regulations 1992, Clause 3  
BC240589 22/08/2024 Chrisk



NZBC F5: All Construction work on the building shall be performed in a manner that avoids the likelihood of:  
(a) Objects falling onto people on or off the site,  
(b) Objects falling on property off the site,  
(c) Other hazards arising on the site affecting people off the site and other property, and  
(d) Unauthorised entry of children to hazards on the site

ALLOW FOR STEPS OR LANDSCAPING TO ALL EXTERNAL DOORS SO STEP FROM FFL NO GREATER THAN 190mm (150mm min)

Anti-slip: on all access routes both internal & external, provide Anti-slip surface complying with NZBC D1/AS Table 2 (except surfaces in side Entry Doors of housing maybe considered dry areas)

**SITE SAFETY**  
Allow for and maintain  
- 2m high galv chainlink netting fencing to street front  
- where side fencing not in place use same 2m high fencing  
- where water hazards are present use same 2m high fencing

**a.s.c.a.d.**  
limited  
ascadtd@snap.net.nz  
0272 838 775

job title:  
**FREW HOUSE**

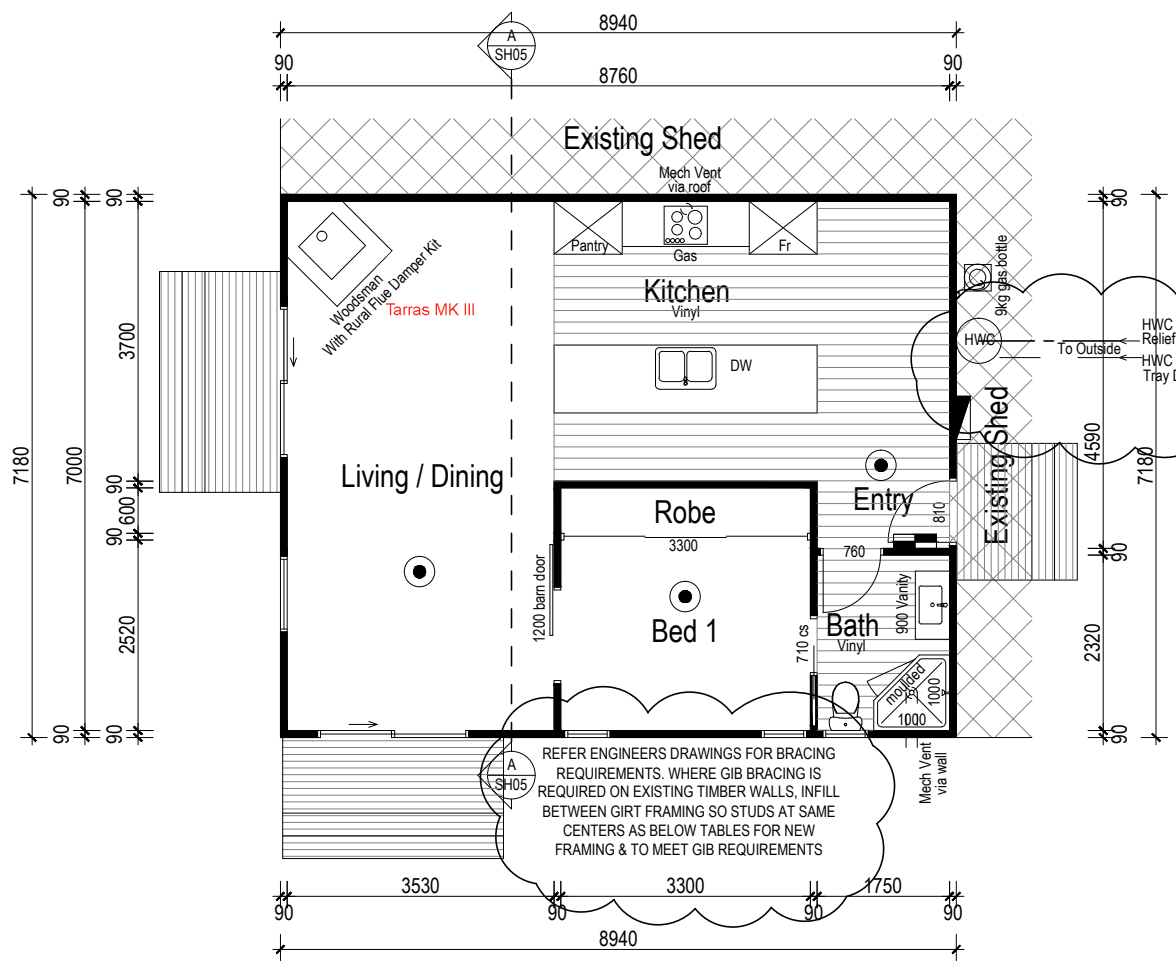
drawing title:  
**SERVICES PLAN**  
19/07/24 REV B - Levels added  
24/07/24 REV C - Stormwater added

legal description:  
Lot 1 DP 397121  
982a Oxford Road  
RANGIORA

WORKING DRAWINGS  
SUBJECT TO COUNCIL APPROVAL  
ALL MEASUREMENTS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK  
DO NOT SCALE FROM DRAWINGS UNDER ANY CIRCUMSTANCES

scale:  
**1:200**  
Job No.:  
-

page:  
**03c**  
of: 10  
DATE: 03/06/24



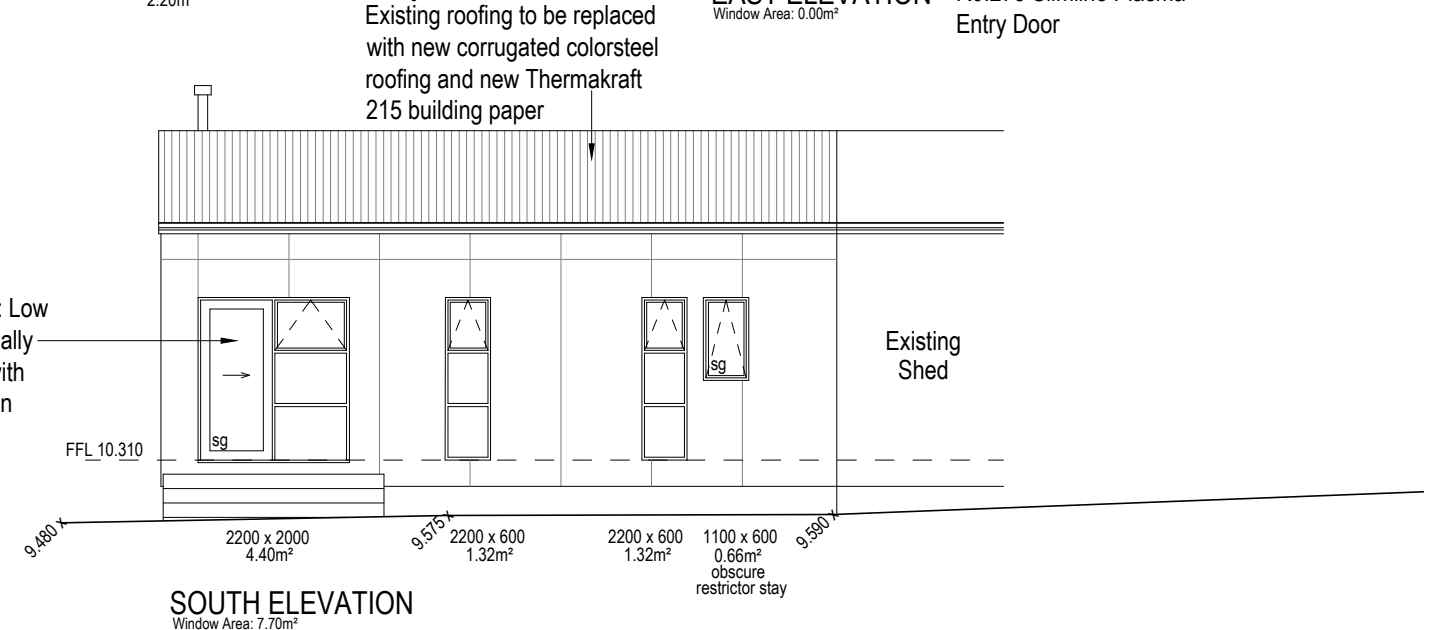
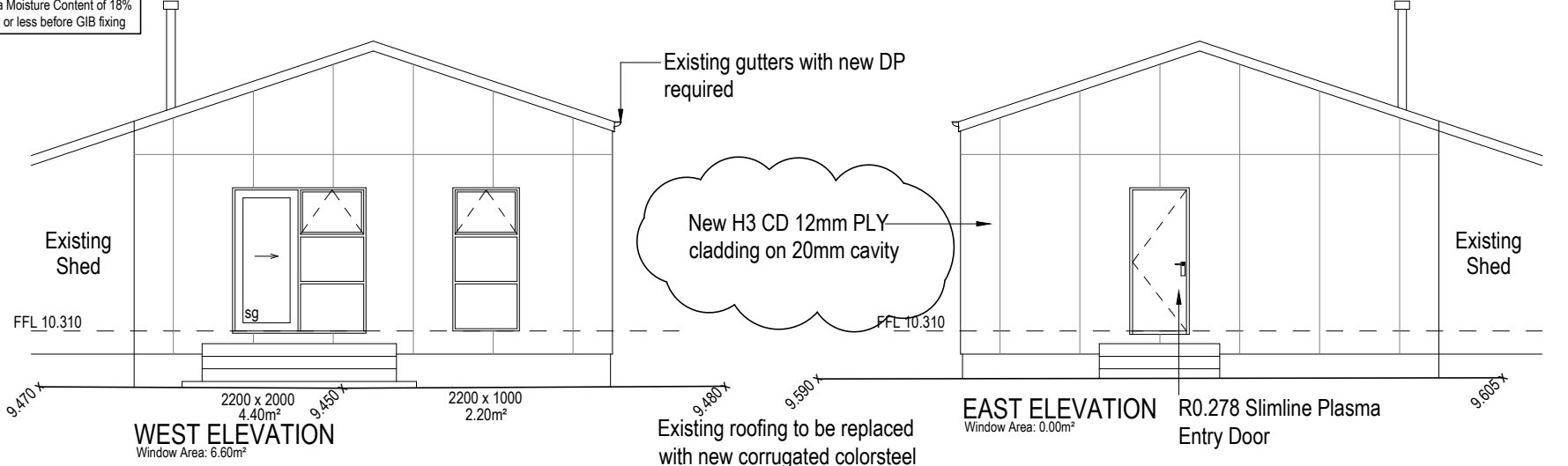
- Meter Board
- Distribution Board
- All downlights to be IC Rated throughout. Installation of luminaire is in accordance with AS/NZS 60598.2.2.
- Roof Access via end wall
- Interconnecting Type 1 smoke alarm to comply with NZBC clause F7, with Hush & Test facilities
- All Lintels SG8 unless otherwise stated
- All downlights to be IC Rated throughout
- GIB to all wet wall areas with 2 Coat Enamel
- All Mech vents to terminate outside as per manufactures specifications
- Mechanical Vents:  
Bath = 25l/s min  
Kitchen = 50l/s min
- Timber Wall Framing to have a Moisture Content of 18% or less before GIB fixing

**CURTAINS MAY NEED TO BE RESTRAINED at window/door joinery unit by the solid fuel heating unit to maintain clearances from combustibles**

REFER ENGINEERS DRAWINGS FOR BRACING REQUIREMENTS. WHERE GIB BRACING IS REQUIRED ON EXISTING TIMBER WALLS, INFILL BETWEEN GIRT FRAMING SO STUDS AT SAME CENTERS AS BELOW TABLES FOR NEW FRAMING & TO MEET GIB REQUIREMENTS

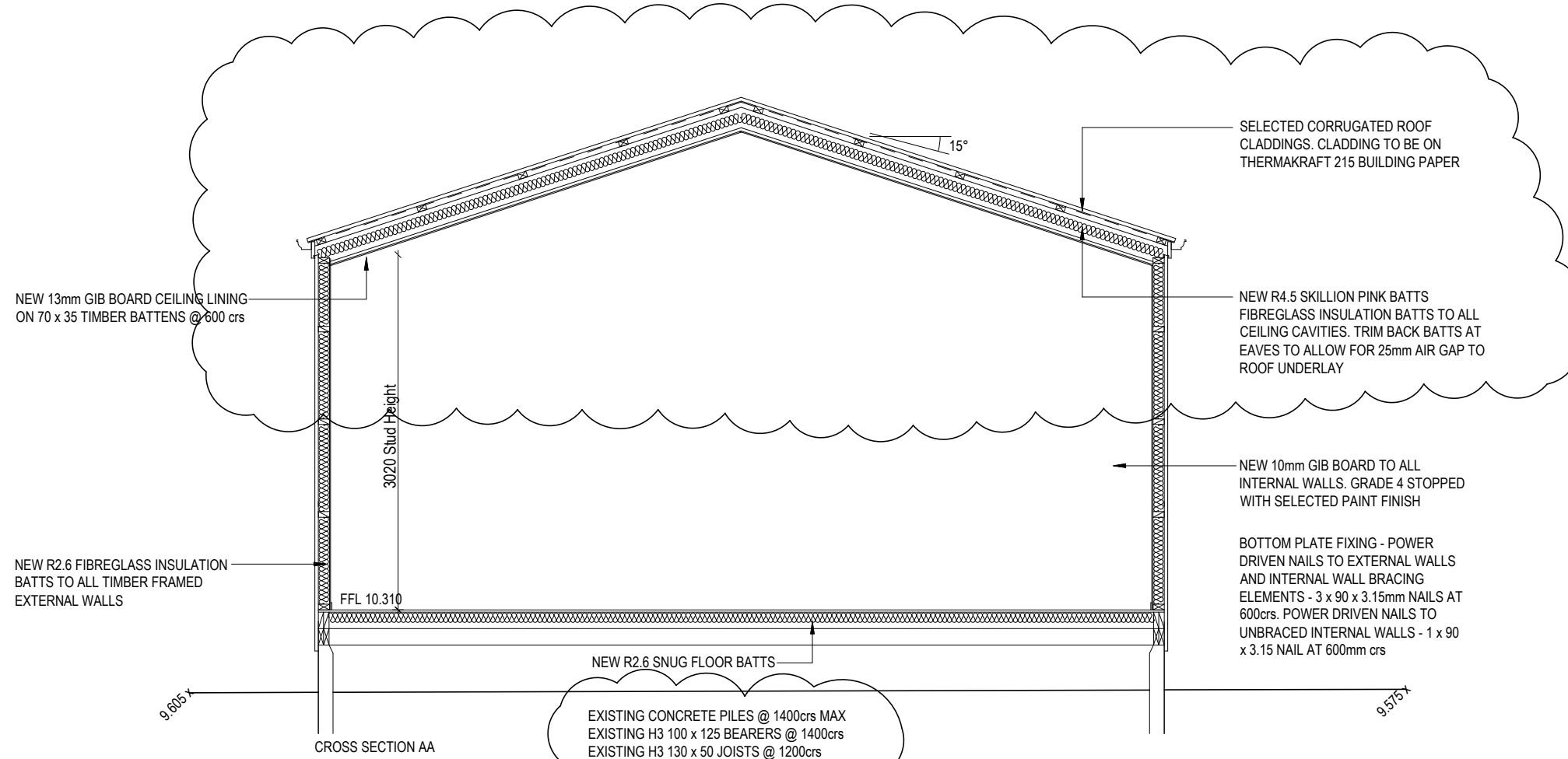
Loaded Dimension of Wall	SINGLE OR TOP STOREY SG8 STUDS TO LOAD BEARING WALLS INTERNAL WALLS Light & Heavy Roof Wind Zone = All				SINGLE OR TOP STOREY SG8 STUDS TO LOAD BEARING WALLS Light & Heavy Roof Wind Zone = High					
	3.0m @ 600crs	3.6m @ 300crs	4.2m @ 400crs	4.8m @ 400crs	2.4m @ 600crs	2.7m @ 400crs	3.0m @ 300crs	3.6m @ 300crs	4.2m @ 300crs	4.8m @ 400crs
2.0	90 x 45	90 x 45	90 x 90	140 x 45	90 x 45	90 x 45	90 x 45	90 x 90	140 x 45	140 x 90
4.0	90 x 45	90 x 45	90 x 90	140 x 45	90 x 45	90 x 45	90 x 45	90 x 90	140 x 45	140 x 90
6.0	90 x 45	90 x 45	90 x 90	140 x 45	90 x 45	90 x 45	90 x 45	90 x 90	140 x 45	140 x 90

Note: Dwangs @ 800crs max

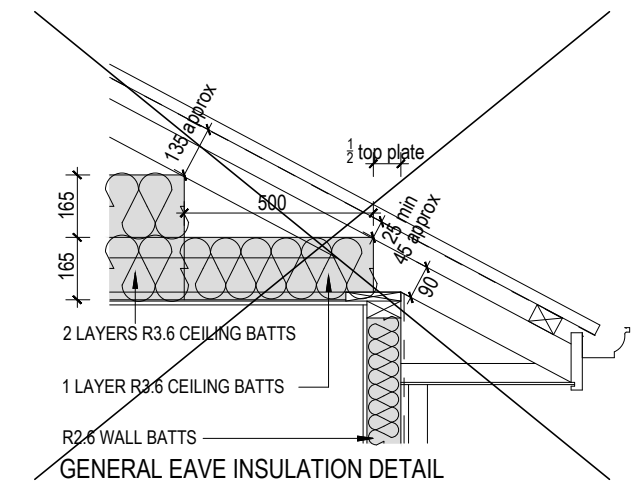


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<b>a.s.c.a.d.</b> limited ascadltd@snap.net.nz 0272 838 775	job title:	drawing title:	legal description:	WORKING DRAWINGS SUBJECT TO COUNCIL APPROVAL ALL MEASUREMENTS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK DO NOT SCALE FROM DRAWINGS UNDER ANY CIRCUMSTANCES	scale: 1:100 Job No.: -	page: 04b of 10 DATE: 03/06/24
	FREW HOUSE	FLOOR PLAN & ELEVATIONS 03/07/24 REV A - Notes added 19/07/24 REV B - Notes added	Lot 1 DP 397121 982a Oxford Road RANGIORA			



**WAIMAKARIRI DISTRICT COUNCIL**  
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 Regulations 1992, Clause 3  
 BC240589 22/08/2024 Chrisk



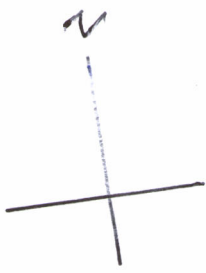
**STEEL PROTECTION FOR FIXINGS & FASTENINGS - ZONE B & C**

FIXING FASTENING	ENVIRONMENT	MATERIAL	
Nail Plates	Closed & Roof Space	Continuously coated galv steel	
Wire Dogs & Bolts	Closed & Roof Space	Hot-dipped galv steel	
All strutural fixings	Sheltered	Hot-dipped galv steel	
	Exposed	Type 304 stainless steel	
Nail/Screw for bracing	Closed & Roof Space	Galv steel	
Nail/Screw for non-structural cladding		Galv steel	
Nail/Screw for framing		Sheltered	Mild steel
		Exposed	Galv steel

SPECIFIC SCHEDULE OF TIMBER TREATMENT			
ELEMENT	SPECIES	TREATMENT	ELEMENT
ROOF FRAMING, TRUSSES	KILN DRIED & GAUGED RADIATA PINE	H1.2	- ALL TIMBER USED IS TO BE TREATED AS REQUIRED BY NZS3602:2003, THIS TABLE IS INTENDED AS A SUMMARY OF THESE REQUIREMENTS ONLY.
INTERIOR WALL FRAMING	KILN DRIED & GAUGED PINUS SPECIES	H1.2	
EXTERIOR WALL FRAMING (REFER TO NZS3602:2003 FOR CLARIFICATION)	RADIATA PINE	H1.2	
WALL CAVITY BATTENS	RADIATA PINE	H3.1	- TREATMENT LEVELS SHOWN ARE THE MINIMUM LEVEL REQUIRED. HIGHER TREATMENT LEVELS MAY BE USED IF APPROPRIATE.
ALUMINIUM WINDOW REVEALS	RADIATA PINE	H3.1	

**TIMBER TYPE:**  
 EXTERIOR & LOAD  
 BEARING FRAMING = SG 8  
 INTERIOR NON LOAD  
 BEARING FRAMING = SG 8  
 LINTELS = SG 8  
 TRUSSES = SG 8

<b>a.s.c.a.d.</b> limited ascadltd@snap.net.nz 0272 838 775	job title: <b>FREW HOUSE</b>	drawing title: <b>SECTION AA</b> 03/07/24 REV A - Notes added 19/07/24 REV B - Notes added	legal description: Lot 1 DP 397121 982a Oxford Road RANGIORA	WORKING DRAWINGS SUBJECT TO COUNCIL APPROVAL ALL MEASUREMENTS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK DO NOT SCALE FROM DRAWINGS UNDER ANY CIRCUMSTANCES	scale: <b>1:50</b> Job No.: -	page: <b>05b</b> of: 10 DATE: 03/06/24
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982A Oxford Rd, Fernside

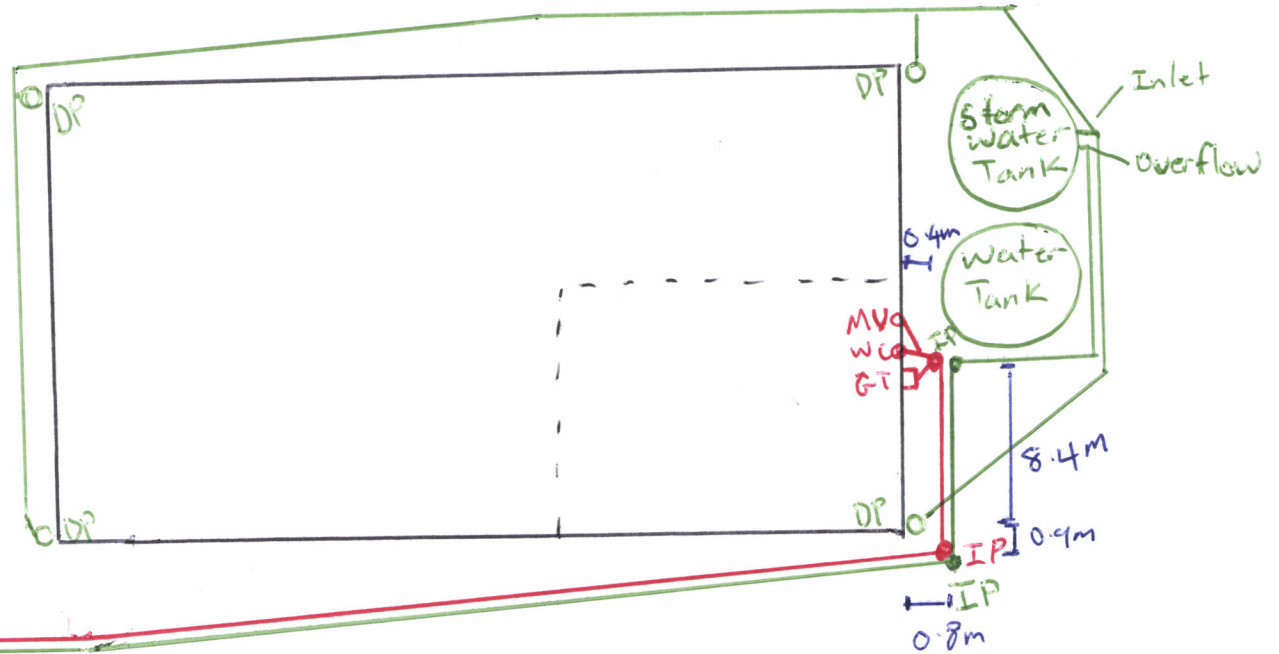
BC240589

Sewer: 100mm 1:100

- GT - Gully trap
- IP - Inspection point
- MV - Main vent
- WC - water closet

Stormwater: 100mm, 90mm  
1:90

- ODP - Downpipe
- IP - Inspection point



To Septic Tank

To dissipator

Josh Sutherland  
#20799

George Sutherland  
#37432



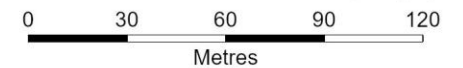
# Utilities

Author: Diana Willetts

Date: 15/05/2026

Scale 1:2,301













Original page size: A4





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**WATER SUPPLY**

-  Main
-  Abandoned Main
-  Lateral
-  Hurunui Main
-  Facility
-  Hydrant
-  Valve
-  Node
-  Pump
-  Well
-  Tank
-  Toby



**WATER RACE**

-  Water Race Pond
-  Water Race
















**STORMWATER**

-  Main
-  Abandoned Main
-  Lateral
-  Channel
-  Facility
-  Manhole
-  Valve
-  Node
-  Pump
-  Inspection Chamber
-  Sump

**UNCLASSIFIED ASSETS**

-  Unclassified Asset Point
-  Unclassified Asset Line

**WASTEWATER**

-  Main
-  Abandoned Main
-  Lateral
-  Facility
-  Manhole
-  Valve
-  Node
-  Pump
-  Inspection Chamber
-  Septic Tank
-  Wastewater Connection
-  Air Gap Separator
-  Gravity Connection
-  Pressure Connection
-  STEP Connection

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Contractors will be held responsible for all damage to Council property.

The Council does not guarantee the existence of service laterals to vacant lots, regardless of whether a lateral is shown or not.

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Please refer to the District Plan and the Council's Planning Unit if you wish to use this information for planning purposes.

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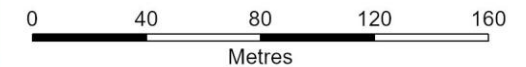
- Land Parcel
- Property Boundary
- NZS3604:2011
- High 44 MS
- NZS3604:2011
- ZONE**
- 2

Author: Diana Willetts

Date: 15/05/2026

Scale 1:2,652

Original page size: A4



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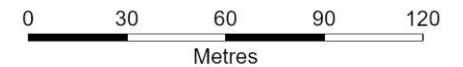
# Flood Hazard

Author: Diana Willetts

Date: 15/05/2026

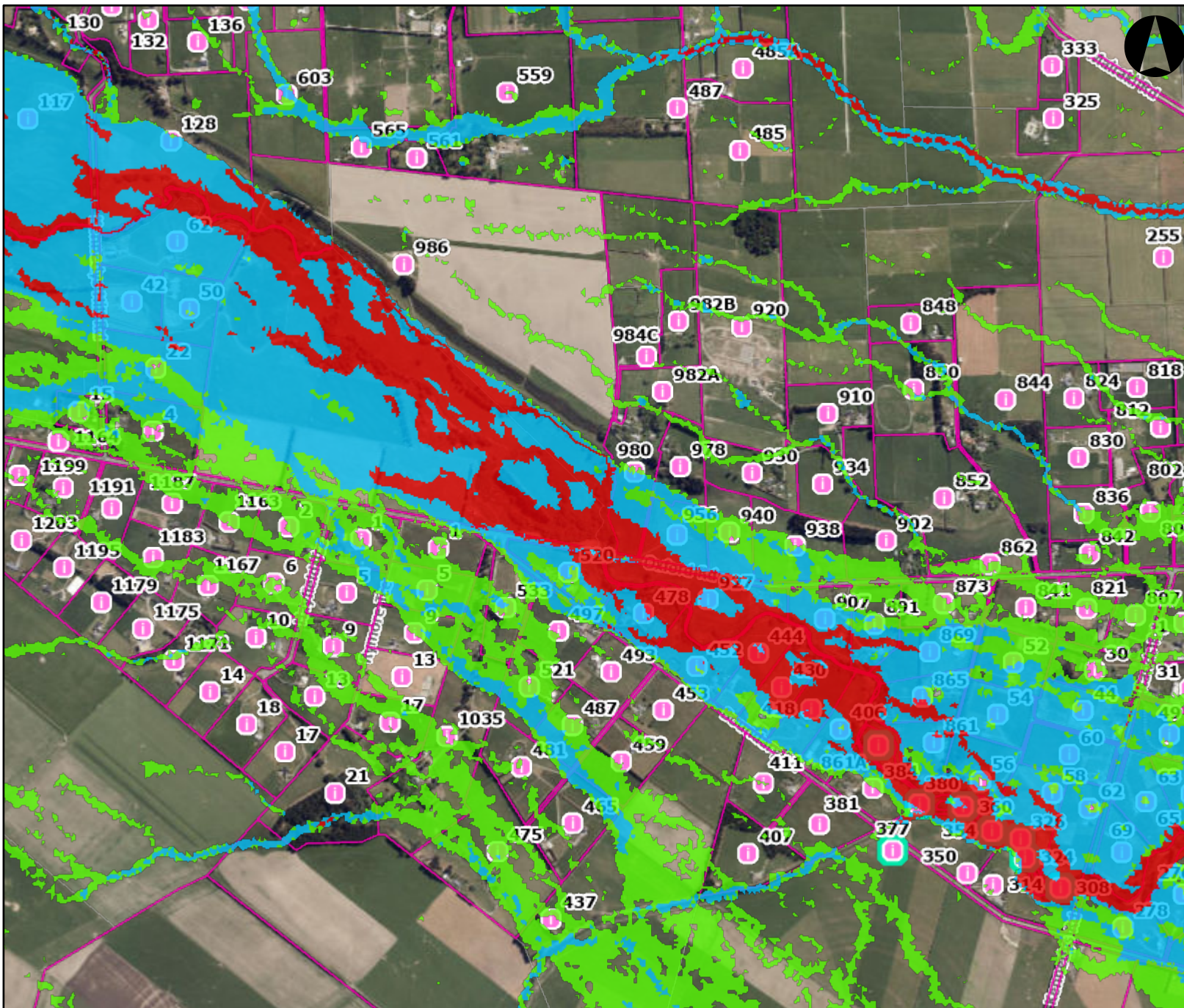
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Original page size: A4



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### Legend

LM2600870 15/05/2026 Page 52

All Flooding Hazard 200 year

#### ClassName

■ Low

■ Medium

■ High

1 Properties > 1 ha

1 Related Address

#### Property Boundaries with Attributes

Current Property

Deposited Land Parcels

Road Names

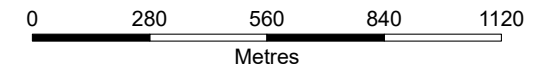
diana.willets@wmk.govt.nz

Waimakariri District Council

Date: 15/05/2026

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Original page size: A4



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## Notes on Flood Hazard Mapping

The attached plan shows the result of a flood mapping exercise that has been carried out by the Waimakariri District Council.

There are a number of notes that need to be considered when using this information.

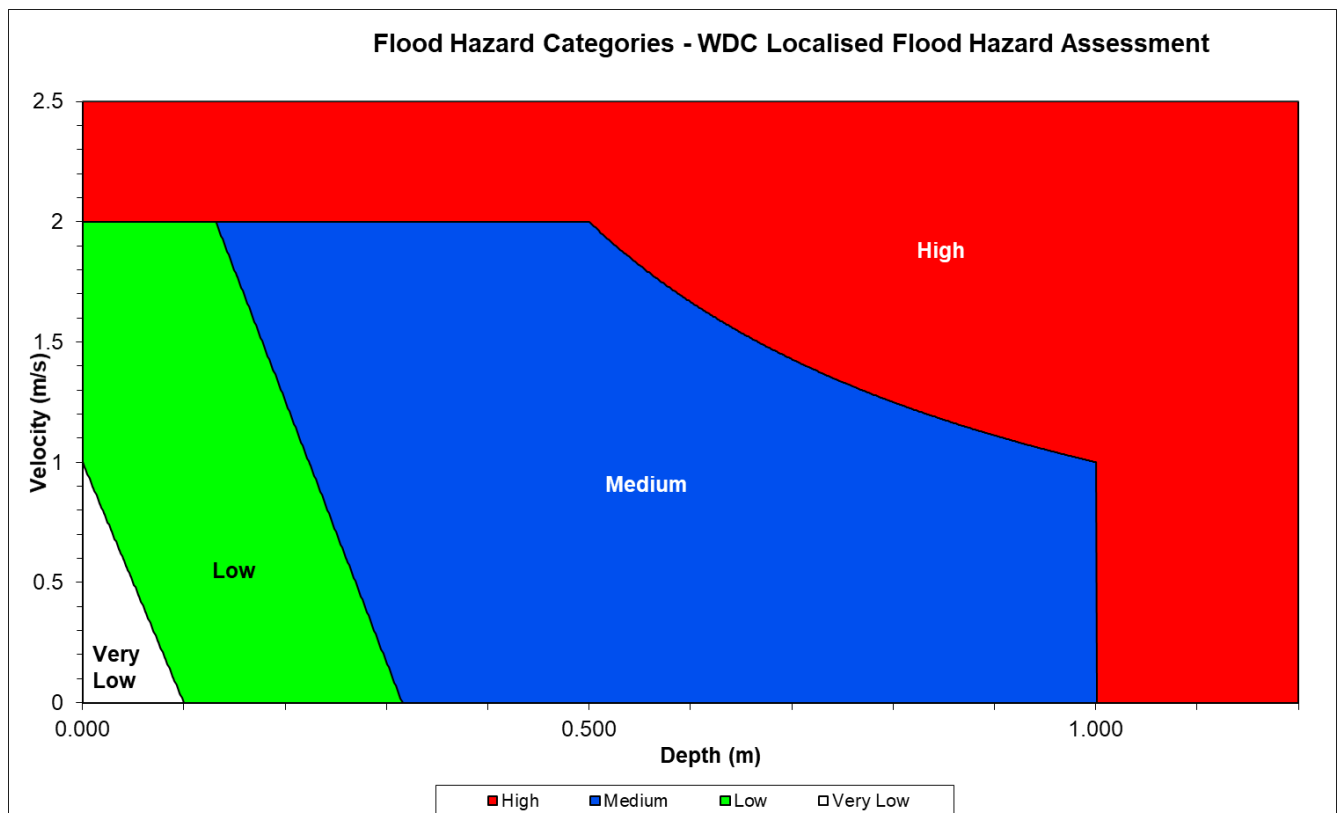
### 1. Annual Exceedence Probability.

The rainfall used in this mapping is the 0.5% Annual Exceedence Probability (AEP) rainstorm. This is based on there being a 0.5% probability in any one year that there will be a rainstorm of this severity. This is sometimes referred to as the 1 in 200 year storm.

Note that if a property has flood hazard shown in the 0.5% AEP it will likely be subject to flooding in more frequent events.

### 2. Flood Hazard Categories.

The flood hazard categories are based on both the depth and velocity of the flood water as shown on the following diagram.



### 3. Flood Modelling

This flood modelling shows the combined effects of:

- Localised Flooding, flooding in response to rainfall
- Ashley Breakout, flooding in response to a breakout event on the Ashley River
- Coastal Inundation, flooding in response to storm surge, sea level rise and river flows

Detailed information on the flood models including the technical modelling reports are available on the Council's Natural Hazards Portal on the Council website.

### 4. Generalised Flooding

This flood modelling is for generalised, area wide, flooding risk mapping only. It does not take into account all site specific flood risks that may occur on individual properties. There may be areas of ponding or overland flow that occur but are not shown on this flood modelling. This may be due to local topographical characteristics or due to the location and levels of building floors in relation to the surrounding ground. This flood mapping has been carried out to help identify areas that may be at an increased risk of flooding, it is not an accurate prediction of flood levels.

## 5. Land Changes

The results from this exercise will be less accurate in areas where major development or significant changes in the shape of the land has occurred since 2005. This is particularly important to note in new subdivision areas where new roads have been constructed or filling has occurred. The eastern area of the district including Rangiora, Kaiapoi and Woodend uses ground information updated in 2014. In some cases more recent subdivision areas have been included where information was available.

## 6. District Plan

The attached Flood Map, published in 2020, is based on recent flood modelling work. This flood mapping has been formally adopted by Council and included in the Proposed Waimakariri District Plan.

## 7. Further Information

To find further information on flooding and flood hazard please refer to the following links:

- <https://www.waimakariri.govt.nz/environment/natural-hazards>
- <https://www.ecan.govt.nz/your-region/your-environment/natural-hazards/floods/>
- <https://www.cdemcanterbury.govt.nz/hazards/floods/>
- <https://niwa.co.nz/natural-hazards/hazards/floods>