

27 September 2024

Seema Singh

Sent by email to: seema.chc@gmail.com

Kia ora Seema

Information request – CLM/2011/147051 - 7 Rollesby Street, Hoon Hay, Christchurch 8025

Thank you for your information request received on 12 September 2024. You asked for a property pack in relation to 7 Rollesby Street. Your request has been considered under the Official Information Act (OIA) and Privacy Act (PA).

Please find the enclosed documentation in response to your request.

The enabling works documents in this response are a generalised guide for NHC Toka Tū Ake as to the estimated costs that may be incurred once a property has been confirmed as increased risk of liquefaction/flooding. They are for reference purposes only and do not necessarily reflect the actual works for a specific property, nor do they reflect an actual settlement figure for the land claim.

Associated Claim Number(s)	Settlement Type/Status
1. CLM/2011/147051 – Master Claim	Managed Repair with Partial Cash Settlement
2. CLM/2010/019012	Cash Settled
3. CLM/2016/005023	Cash Settled

To protect the privacy of the respective individuals, I have withheld information relating to the previous homeowners and other third parties under section 9(2)(a) of the OIA and section 53(b) of the PA.

You have the option of approaching the Office of the Ombudsman or Privacy Commissioner should you wish. The Ombudsman can be contacted at P O Box 10 152, Wellington 6143, on Freephone 0800 802 602, or visit <http://www.ombudsman.parliament.nz>.

If you believe anything specific is missing, or if you have questions about the claim and would like an explanation of the information provided, please contact us so we can discuss your requirements.

Ngā mihi,



Sam Seelen-Smith
OIA Advisor – Kaitohutohu OIA

CASH SETTLED CLAIM(S)

The following information contains documents relating to claim(s) that were cash settled for the property.

If you require sign off or repair completion documents, they may be obtainable from the contractors who completed the substantive repairs at the property.



Statement of Claim Checklist - Damage Report

Date: 30/8/16

Author: Mark Elliott

Page 1 of 1

CLM/2016/005023

Nicola Gibson
7 ROLLESBY STREET
HOON HAY
CHRISTCHURCH
H: [REDACTED]
W: [REDACTED]
M: [REDACTED]

LA:

Estimator:

<div>Earthquake Damage</div> <div>Y/N</div> <div>Y</div> <div>2.4 Stud:</div>	<div>4.3</div>	<div>ROOM: Front Lounge</div> <div>0.4 1m Ceiling Cracks</div> <div>4.3 1m wall Joint Cracks</div>
<div>Earthquake Damage</div> <div>Y/N</div> <div>Y</div> <div>2.4 Stud:</div>	<div>6.8</div>	<div>ROOM: Living Room</div> <div>Remedial - Carpet not laid properly.</div> <div>Allow to have stretched & laid to tile Edge properly.</div>
<div>Earthquake Damage</div> <div>Y/N</div> <div></div> <div>Stud:</div>	<div></div>	<div>ROOM:</div>
<div>Earthquake Damage</div> <div>Y/N</div> <div></div> <div>Stud:</div>	<div></div>	<div>ROOM:</div>

Scope of Works



Completed By:	Mark Elliott	Claim Number:	2016 / 2016
Date:	30/08/2016	Customer Name:	Nicola Gibson
Page	3 OF 3	Address:	7 Rollesby Street
			Hoon Hay
			Christchurch

TOTALS PAGE :

P & G's Page:

P & G's - Page 1	\$486.13
P & G's Page - Sub Total	\$486.13

Building Damage Page:

Scope Of Works Page 2	\$3,697.34
Scope Of Works Pages - Sub Total	\$3,697.34

* Unit categories to be used as follows: Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

Sub Total	\$4,183.48
GST	\$627.52
TOTAL	\$4,811.00



EARTHQUAKE RECOVERY (EQR) DOCUMENTATION

The documents within the Earthquake Recovery Documentation section, encompass all works completed under the Canterbury Home Repair Programme (CHRP). These contain assessments, contractor quotes, work orders and sign offs.

Released under the Official Information Act 1982

EQR Property Overview Report

Company Fletcher EQR (division of FCC) as agent for EQC

Printed Date: 26-04-2018

EQC Property ID	Property Address	Vulnerable?	Property F Status	Property Finalisation Indicator		
2010019012	7 ROLLESBY STREET, HOON HAY		F3 - Complete & Finalised	Some Finalisation has taken place		
Main Contractor:	CLOSED OUT-Maintain Canterbury Limited ***** (S241)		Property F2'd By:	William Conran	F2 Completed Date:	08-01-2018
Cont Managing Hub:	<MULTIPLE>	Not Vulnerable	Property F3'd By:	William Conran	F3 Completed Date:	08-01-2018

Adjustments

				Original Budget			Budget Variation			Gross Claimed	Gross Certified
EQC Claim Number + Address	Project	Status	Unmapped Adjmt Lines	Total OB	Allocated	Unallocated	Total BV	Allocated	Unallocated		
CLM/2011/147051 7 ROLLESBY STREET	E025	F3	0	0.00	0.00	0.00	24,449.57	24,449.57	0.00	0.00	0.00
CLM/2011/147051 7 ROLLESBY STREET	E028	F3	0	21,127.41	21,127.41	0.00	17,657.98	17,657.98	0.00	38,785.39	38,785.39
CLM/2011/147051 7 ROLLESBY STREET	E034	F3	0	0.00	0.00	0.00	8,780.26	8,780.26	0.00	6,518.50	6,518.50
Property Total			0	21,127.41	21,127.41	0.00	50,887.81	50,887.81	0.00	45,303.89	45,303.89

Assignments

EQC Claim Number + Address	CC + Hub Status	Assignment	Subcontractor Hub Comments	Workflow Status	Contractor Quote	Adjustment Line Count	Gross Claimed	Gross Certified
CLM/2011/147051 7 ROLLESBY STREET		Substantive Works - Primary	CLOSED OUT-Maintain Canterbury Limited ***** (S241)	COMPLETIONS	38,785.40	17	38,785.39	38,785.39
		Transmitted To Hub -> Claim File Review Complete	DEFECTS CERT COMPLETED 15/08/14 PM					
CLM/2011/147051 7 ROLLESBY STREET		Remedial Works - Primary	BaseLevel Foundations Limited (SH22)	COMPLETIONS	6,518.50	4	6,518.50	6,518.50
		Transmitted To Hub -> Awaiting Claim File Review	DEFECT CERT ISSUED (LX 20/12/17)					
Property Total					45,303.90	21	45,303.89	45,303.89

Works Orders

EQC Claim Number	WO Number	Assignment	Subcontractor	Workflow Status	Issuing QS	WO Status	Issued Date	Works Order Value
CLM/2011/147051	E028-00150	Substantive Works - Primary - 10-Feb-2012	CLOSED OUT-Maintain Canterbury Limited ***** (S241)	COMPLETIONS	Shaun Matthews	Issued	01/11/2013	36,767.46
CLM/2011/147051	E028-00150-01	Substantive Works - Primary - 10-Feb-2012	CLOSED OUT-Maintain Canterbury Limited ***** (S241)	COMPLETIONS	Maryam Din	Issued	31/03/2014	2,017.94
CLM/2011/147051	E034-09891	Remedial Works - Primary - 07-Jun-2016	BaseLevel Foundations Limited (SH22)	COMPLETIONS	Enda Kavanagh	Issued	23/06/2017	34,962.99
CLM/2011/147051	E034-09891-01	Remedial Works - Primary - 07-Jun-2016	BaseLevel Foundations Limited (SH22)	COMPLETIONS	Yan Luo	Issued	15/09/2017	-28,444.49
Property Total								45,303.90

Claims / Certs / Payables

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Printed Date: 26-04-2018

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2010019012	7 ROLLESBY STREET, HOON HAY		F3 - Complete & Finalised	Some Finalisation has taken place		
Main Contractor:	CLOSED OUT-Maintain Canterbury Limited ***** (S241)		Property F2'd By:	William Conran	F2 Completed Date:	08-01-2018
Cont Managing Hub:	<MULTIPLE>	Not Vulnerable	Property F3'd By:	William Conran	F3 Completed Date:	08-01-2018

S241 **CLOSED OUT-Maintain Canterbury Limited *******

EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim	
CLM/2011/147051	Subst OB	Substantive Works	5	EQR\ShaunM	\$0.00	31-Mar-2014	\$21,127.41	
CLM/2011/147051	Subst BV	Scope Addition	5	EQR\ShaunM	\$4,584.46	31-Mar-2014	\$8,286.55	
CLM/2011/147051	Subst BV	Scope Addition	5	EQR\ShaunM	\$0.00	31-Mar-2014	-\$735.00	
CLM/2011/147051	Subst BV	Variation	5	EQR\ShaunM	\$0.00	31-Mar-2014	\$2,752.94	
CLM/2011/147051	Subst BV	Scope Addition	10	EQR\AlynR	\$0.01	07-May-2014	\$4,584.45	
CLM/2011/147051	Subst BV	Scope Alternative	10	EQR\AlynR	\$0.00	07-May-2014	\$2,769.04	
CLM/2011/147051	Subst BV	Scope Addition	56	EQR\LorcanG	\$0.00	16-Apr-2015	\$0.01	
CLM/2011/147051	Subst BV	Scope Addition	56	EQR\LorcanG	\$0.00	16-Apr-2015	-\$0.01	
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes
CLM/2011/147051	Subst OB	Substantive Works	5	EQR\ShaunM	\$0.00	03-Apr-2014	\$21,127.41	inv#1599
CLM/2011/147051	Subst BV	Scope Addition	5	EQR\ShaunM	\$0.00	03-Apr-2014	\$8,286.55	inv#1599
CLM/2011/147051	Subst BV	Scope Addition	5	EQR\ShaunM	\$0.00	03-Apr-2014	-\$735.00	inv#1599
CLM/2011/147051	Subst BV	Variation	5	EQR\ShaunM	\$0.00	03-Apr-2014	\$2,752.94	inv#1599
CLM/2011/147051	Subst BV	Scope Addition	10	EQR\AlynR	\$0.00	07-May-2014	\$4,584.45	1599A
CLM/2011/147051	Subst BV	Scope Alternative	10	EQR\AlynR	\$0.00	07-May-2014	\$2,769.04	1599A
CLM/2011/147051	Subst BV	Scope Addition	56	EQR\LorcanG	\$0.00	16-Apr-2015	\$0.01	finalisation
CLM/2011/147051	Subst BV	Scope Addition	56	EQR\LorcanG	\$0.00	16-Apr-2015	-\$0.01	finalisation

S241	CLOSED OUT-Maintain Canterbury Limited ***** Total	Claims	\$38,785.39	Certs	\$38,785.39	Payables	\$0.00
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M000 **Materials**

EQC Claim Num	Line Type	Approval Type	Transaction Type	Internal Ref	CAS Batch	CAS Date	Line Value	Invoice No
CLM/2011/147051			Creditors Invoices	EQ1704006LH-22	11925	20-Apr-2017	\$469.57	93866

M000	Materials Total	Claims	\$0.00	Certs	\$0.00	Payables	\$469.57
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EQR Property Overview Report

Company Fletcher EQR (division of FCC) as agent for EQC

Printed Date: 26-04-2018

EQC Property ID	Property Address	Vulnerable?	Property F Status	Property Finalisation Indicator						
2010019012	7 ROLLESBY STREET, HOON HAY		F3 - Complete & Finalised	Some Finalisation has taken place						
Main Contractor:	CLOSED OUT-Maintain Canterbury Limited ***** (S241)		Property F2'd By:	William Conran		F2 Completed Date:	08-01-2018			
Cont Managing Hub:	<MULTIPLE>		Property F3'd By:	William Conran		F3 Completed Date:	08-01-2018			
SH22	BaseLevel Foundations Limited									
EQC Claim Num	Line Type	Approval Type	Claim No	Claimed By	Remaining	Claim Date	This Claim			
CLM/2011/147051	Subfloor Rev BV	Scope Addition	8	EQR\YanL	\$0.00	28-Sep-2017	\$34,962.99			
CLM/2011/147051	Subst BV	Variation	8	EQR\YanL	\$0.00	28-Sep-2017	-\$28,444.49			
EQC Claim Num	Line Type	Approval Type	Cert No	Certified By	Remaining	Certified Date	This Cert	Cert Line Notes		
CLM/2011/147051	Subfloor Rev BV	Scope Addition	8	EQR\YanL	\$0.00	28-Sep-2017	\$34,962.99	INV#: BL0307		
CLM/2011/147051	Subst BV	Variation	8	EQR\YanL	\$0.00	28-Sep-2017	-\$28,444.49	INV#: BL0307		
SH22	BaseLevel Foundations Limited Total					Claims	\$6,518.50	Certs	\$6,518.50 Payables	\$0.00
CONS	Consultants									
EQC Claim Num	Line Type	Approval Type	Transaction Type	Internal Ref	CAS Batch	CAS Date	Line Value	Invoice No		
CLM/2011/147051			Creditors Invoices	EQ1308003LB-33	5808	01-Aug-2013	\$3,837.50	01682279		
CLM/2011/147051			Creditors Invoices	EQ1701002LH-18	11614	20-Dec-2016	\$1,350.00	INV-4591		
CLM/2011/147051			Creditors Invoices	EQ1703002LH-08	11763	31-Jan-2017	\$5,650.00	INV-4770		
CLM/2011/147051			Creditors Invoices	EQ1705011GE-07	12007	30-Apr-2017	\$3,797.50	INV-5485		
CLM/2011/147051			Creditors Invoices	EQ1709013GE-15	12390	31-Aug-2017	\$4,345.00	INV-6422		
CLM/2011/147051			GL Journal Entry	EQR TSR 296	12414	29-Sep-2017	\$5,000.00			
CONS	Consultants Total					Claims	\$0.00	Certs	\$0.00 Payables	\$23,980.00
HOCO	Homeowner Cash Out									
EQC Claim Num	Line Type	Approval Type	Transaction Type	Internal Ref	CAS Batch	CAS Date	Line Value	Invoice No		
CLM/2011/147051			Creditors Invoices	EQ1710004GE-03	12452	06-Oct-2017	\$2,261.76	HOCO176		
HOCO	Homeowner Cash Out Total					Claims	\$0.00	Certs	\$0.00 Payables	\$2,261.76
Property Total						Claims	\$45,303.89	Certs	\$45,303.89 Payables	\$26,711.33

No Open Complaints / Remedial Issues on this Property

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Cont Managing Hub:	<MULTIPLE>	Not Vulnerable	Property F3'd By:	William Conran	F3 Completed Date:	08-01-2018

Finalisation Documents

EQC Claim Number	Document Type	Hub Zone	File Last Modified Date
CLM/2011/147051	Final Account Agreement	Blenheim	04/12/2014
CLM/2011/147051	Defects Liability Certificate	Blenheim	15/08/2014
CLM/2011/147051	Construction Completion Inspection	Blenheim	05/12/2014
CLM/2011/147051	Defects Liability Certificate		20/12/2017
CLM/2011/147051	Practical Completion Certificate (PCC)	Blenheim	04/12/2014
CLM/2011/147051	Practical Completion Certificate		14/09/2017

Property Total Finalisation Documents Present: 6

Technical Services Referrals

EQC Claim Number	Referral Type	Assignment	Technical Status	Workflow Status	Engineer	Engineer Visit	Gross Recharges
CLM/2011/147051	EQR Claim	Substantive Works - Primary - 10-Feb-2012	Complete - Level 1	COMPLETE - ACTION REQUIRED	Opus	05/06/2013	0.00
CLM/2011/147051	EQR Claim	Remedial Works - Primary - 07-Jun-2016	Received engineer's report - issued to claims - uploaded into Aconex Complete - Level 1	COMPLETE - ACTION REQUIRED	Miyamoto	19/12/2016	5,000.00
		Building Consent Exemption - Approved - 19-04-2017 - BCN/2017/2665					

Property Total 5,000.00

Asbestos Test Information

EQC Claim Number	Claim Address	Asbestos Test Required?	Asbestos Test Result
CLM/2011/147051	7 ROLLESBY STREET	No	<NOT SPECIFIED>

Property Total Number of Claims: 1

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2010019012	7 ROLLESBY STREET, HOON HAY		F3 - Complete & Finalised	Some Finalisation has taken place		
Main Contractor:	CLOSED OUT-Maintain Canterbury Limited ***** (S241)		Property F2'd By:	William Conran	F2 Completed Date:	08-01-2018
Cont Managing Hub:	<MULTIPLE>	Not Vulnerable	Property F3'd By:	William Conran	F3 Completed Date:	08-01-2018

Contractors

Contractor	Accreditation Status	Accreditation Number	Classification	Type of Work on the Property	
S241	CLOSED OUT-Maintain Canterbury Limited *****	Accredited	EQRC0313	Main Contractor	Substantive Works
SH22	BaseLevel Foundations Limited				Remedial Works

Property Total	Number of Contractors:	2
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Scope of Works



Customer: NICOLA GIBSON

Document explanatory note:

This document provides a summary of the earthquake damage identified by the EQC assessment team. Land, building and room by room damage is listed along with an indication of how this damage is to be repaired. A glossary of terms describing the type of damage that may be listed on your Scope of Works is provided at the end of this document.

Assessment of Property at 7 ROLLESBY STREET, HOON HAY, CHRISTCHURCH 8025 on 6/07/2011

Site

Element	Damage	Repair
Land (Exposed - Soil - .06 m2)		

Services

Element	Damage	Repair
Sewerage (Town Connection - PVC Pipe - 5.00 l/m)	No Earthquake Damage	
Water Supply (Town Connection - Plastic - 5.00 l/m)	No Earthquake Damage	

Main Building

Exterior

Elevation (East wall)

Element	Damage	Repair	
Wall Cladding (Brick Veneer - Brick - 28.32 m2)	Cracking	Grind out and repoint mortar	1.60 l/m
	Structural damage	Remove, dispose	0.08 m2
Wall framing (Timber Frame - Timber - 28.32 m2)	No Earthquake Damage		

Elevation (West wall)

Element	Damage	Repair
Wall Cladding (Brick Veneer - Brick - 28.32 m2)		
Wall framing (Timber Frame - Timber - 28.32 m2)	No Earthquake Damage	

Elevation (South wall)

Element	Damage	Repair	
Wall Cladding (Brick Veneer - Brick - 47.52 m2)	Structural damage	Remove, dispose	14.88 m2
Wall framing (Timber Frame - Timber - 47.52 m2)	No Earthquake Damage		

Elevation (North wall)

Element	Damage	Repair
No Damage		

Roof (Concrete tiles)

Element	Damage	Repair	
Roof Covering (Pitched - Concrete tile - 233.64 m2)	Damage to flashings	Repoint ridge capping	32.00 l/m
	Impact damage	Remove, dispose and replace concrete ridge tiles	2.00 l/m
	Structural damage	Remove, dispose, supply and install concrete tiles	2.00 m2
Roof framing (Framed - Timber - 233.64 m2)	No Earthquake Damage		

Foundations (Concrete ring and concrete piles and concrete slab !)

Element	Damage	Repair	
Piles (Ordinary - Concrete - 1.00 item)	Floor has moved less than 100mm	Lift	30.60 m2
Ring foundation (Load bearing - Concrete - 30.60 l/m)	Foundation settlement	Remove, dispose, replace ring foundation	30.60 l/m

Chimney (Exterior) (South wall)

Element	Damage	Repair	
One story chimney (Single Pot - Brick - 1.00 item)	Collapsed chimney	EXT - Brick - Ceiling - 1 POT	1.00 item

Interior**Ground Floor - Lounge (Plus dining)**

Room Size: 4.60 x 6.70 = 30.82 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Paint - 30.82 m2)			
Floor (Chipboard - Carpet - 30.82 m2)	No Earthquake Damage		
Wall covering (Gib - Paint - 54.24 m2)	Cosmetic damage	Rake out, plaster and paint	54.24 m2

Ground Floor - Kitchen

Room Size: 3.00 x 3.05 = 9.15 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Paint - 9.15 m2)	Cosmetic Damage	Rake out, plaster and paint	9.15 m2
Floor (Chipboard - Vinyl tiles - 9.15 m2)	No Earthquake Damage		
Kitchen joinery (Medium Spec - MDF - 1.00 item)	Impact damage	Relevel	1.00 item
Wall covering (Gib - Paint - 29.04 m2)	Cosmetic damage	Rake out, plaster and paint	29.04 m2
Work top (Kitchen work top - Laminate - 2.90 l/m)	Impact damage	Remove, supply, dispose and fix laminate	2.90 l/m

Ground Floor - Hallway

Room Size: 1.35 x 6.00 = 8.10 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Paint - 8.10 m2)	Cosmetic Damage	Rake out, plaster and paint	8.10 m2
Floor (Chipboard - Carpet - 8.10 m2)	No Earthquake Damage		
Wall covering (Gib - Paint - 35.28 m2)	No Earthquake Damage		

Ground Floor - Bedroom ()

Room Size: 3.30 x 3.50 = 11.55 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Paint - 11.55 m2)	Cosmetic Damage	Rake out, plaster and paint	11.55 m2
Floor (Chipboard - Carpet - 11.55 m2)	No Earthquake Damage		
Wall covering (Gib - Paint - 32.64 m2)	Cosmetic damage	Rake out, plaster and paint	32.64 m2

Ground Floor - Family Room

Room Size: 3.60 x 5.00 = 18.00 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Paint - 18.00 m2)	Cosmetic Damage	Rake out, plaster and paint	18.00 m2
Floor (Chipboard - Carpet - 18.00 m2)	No Earthquake Damage		
Wall covering (Gib - Paint - 41.28 m2)	Cosmetic damage	Rake out, plaster and paint	41.28 m2

Ground Floor - Bedroom ()

Room Size: 3.30 x 3.00 = 9.90 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Paint - 9.90 m2)	Cosmetic Damage	Rake out, plaster and paint	9.90 m2
Floor (Chipboard - Carpet - 9.90 m2)	No Earthquake Damage		
Wall covering (Gib - Paint - 30.24 m2)	Cosmetic damage	Rake out, plaster and paint	23.00 m2

Ground Floor - Bathroom

Room Size: 1.70 x 3.00 = 5.10 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Paint - 5.10 m2)	Cosmetic Damage	Rake out, plaster and paint	5.10 m2
Floor (Chipboard - Vinyl - 5.10 m2)	No Earthquake Damage		
Wall covering (Gib - Paint - 22.56 m2)	No Earthquake Damage		

Ground Floor - Toilet

Room Size: 1.70 x 0.80 = 1.36 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
No Damage			

Ground Floor - Laundry

Room Size: 1.98 x 1.70 = 3.37 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
No Damage			

Ground Floor - Room (Other) (Small hallway)

Room Size: 0.91 x 3.00 = 2.73 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Paint - 2.73 m2)	No Earthquake Damage		
Floor (Chipboard - Carpet - 2.73 m2)	No Earthquake Damage		
Wall covering (Gib - Paint - 18.77 m2)	Cosmetic damage	Rake out, plaster and paint	18.77 m2

Ground Floor - Bedroom (Master family bedroom)

Room Size: 4.80 x 3.80 = 18.24 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair	
Ceiling (Gib - Paint - 18.24 m2)	No Earthquake Damage		
Floor (Concrete - Carpet - 18.24 m2)	No Earthquake Damage		
Wall covering (Gib - Paint - 41.28 m2)	Cosmetic damage	Rake out, plaster and paint	41.28 m2

Ground Floor - Walk In Wardrobe

Room Size: 1.72 x 1.53 = 2.63 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair
No Damage		

Ground Floor - En Suite

Room Size: 1.70 x 1.90 = 3.23 (length(m) x width(m) = Area Size(m2))

Stud Height: 2.40 m

Element	Damage	Repair
No Damage		

Garage**Exterior****Elevation (North wall)**

Element	Damage	Repair
No Damage		

Elevation (West wall)

Element	Damage	Repair
No Damage		

Elevation (South wall)

Element	Damage	Repair
No Damage		

Elevation (East wall)

Element	Damage	Repair
No Damage		

Roof (Corrugated metal)

Element	Damage	Repair
No Damage		

Foundations (Concrete slab)

Element	Damage	Repair
No Damage		

Interior**Ground Floor - Room (Other) (Timber frame .)**

Room Size: 4.00 x 13.00 = 52.00 (length(m) x width(m) = Area Size(m²))

Stud Height: 2.40 m

Element	Damage	Repair
No Damage		

Scope of Works - Glossary of Terms

Cosmetic Damage	Cosmetic damage is used to record repairs to an element that can be done in situ e.g. minor cracking to plasterboard. For example a repair strategy may state "rake, stop and paint" and this is carried out without needing to remove or replace the damaged element. Where the plasterboard for example needs to be removed and replaced, this will be recorded as 'structural damage'.
Impact Damage	Impact damage is where an element or part of a building sustains earthquake damage and then breaks away or collapses causing damage to another part of the building. An example is a chimney that has collapsed and caused damage to roof tiles.
Structural Damage	The term structural damage is used where a repair requires an element to be removed and replaced e.g. major cracking to plasterboard or external cladding that has been dislodged. This term does not relate to the structural integrity of the building as a whole, but to the individual element only.

Additional Information

Building Terms	The Department of Building and Housing website has a comprehensive list of common building terms: http://www.dbh.govt.nz/building-az-wxyz
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EQC Full Assessment Report

Claim Number: CLM/2011/147051
Claimant: NICOLA GIBSON
Property Address: 7 ROLLESBY STREET
 HOON HAY
 CHRISTCHURCH 8025

Assessment Date: 06/07/2011 10:13
Assessor: Marshall, Phil
Estimator: Scurr, Steve
Property Occupied By: Owner Occupied

Claimant Setup

Type	Name	Home Number	Mobile Number	Work Number	Email Address
Owner	NICOLA, GIBSON				

Insurance & Mortgage Details

Insurance Details - From Claim Centre

Insurer	Policy Type	Policy Number	Insurance Sighted	Insurance Valid
Tower Insurance Limited	Dwelling		Yes	

Insurance Details - Added in COMET

Insurer	Policy Type	Policy Number	Insurance Sighted	Insurance Valid
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Insurance Details - Comments

Mortgage Details - From Claim Centre

Bank

Mortgage Details - Added in COMET

Bank
TSB BANK

Mortgage Details - Comments

Opt Out

For repairs costing between \$10,000 and \$100,000 the claimant wishes to manage their own repairs? No

Hazards

Hazards: No hazards
Property Sticker: No Sticker

Building Configurations

Leaky Home Syndrome? No

Building Name	Number of floors	Building Finish	Age of house	Footprint	Area (m2)
Main Building	1	Standard	1935 - 1960	T-Shape	128.04
Garage	1	Standard	1935 - 1960	Rectangular	52.85

Full Assessment

Site

Element	Type	Material	Damages	Measure	Rate	Cost
Land	Exposed	Soil	No Earthquake Damage			

General Comments:

Services

Element	Type	Material	Damages	Measure	Rate	Cost
Sewerage	Town Connection	PVC Pipe	No Earthquake Damage			
Water Supply	Town Connection	Plastic	No Earthquake Damage			

General Comments:

Main Building

Exterior

Elevation (East wall)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Brick Veneer	Brick	Cracking			
			Grind out and repoint mortar	1.60 l/m	35.00	56.00
			Structural damage			
			Remove, dispose	0.08 m2	154.00	12.32
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments: brick veneer

Elevation (West wall)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Brick Veneer	Brick				
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments: brick veneer

Elevation (South wall)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Brick Veneer	Brick	Structural damage			
			Remove, dispose	14.88 m2	154.00	2,291.52
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments: brick veneer.

Elevation (North wall)

Damage: No damage

Require Scaffolding? No

General Comments: brick veneer.
Exterior wooden deck

Roof (Concrete tiles)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Roof Covering	Pitched	Concrete tile	Damage to flashings			
			Repoint ridge capping	32.00 l/m	45.00	1,440.00
			Impact damage			

Roof Covering	Pitched	Concrete tile	Remove, dispose and replace concrete ridge tiles	2.00 l/m	60.00	120.00
Structural damage						
			Remove, dispose, supply and install concrete tiles	2.00 m2	95.00	190.00
Roof framing	Framed	Timber	No Earthquake Damage			

General Comments: Sixty percent is new roof.tile repointing needed in older roof area

Foundations (Concrete ring and concrete piles and concrete slab !)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Piles	Ordinary	Concrete	Floor has moved less than 100mm			
			Lift	30.60 m2	386.00	11,811.60
Ring foundation	Load bearing	Concrete	Foundation settlement			
			Remove, dispose, replace ring foundation	30.60 l/m	290.00	8,874.00

General Comments: house shows severe slumping on the south west corner. Re ring/ repile this area

Chimney (Exterior) (South wall)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
One story chimney	Single Pot	Brick	Collapsed chimney			
			EXT - Brick - Ceiling - 1 POT	1.00 item	3,210.00	3,210.00

General Comments: collapsed above roof

Ground Floor - Lounge (Plus dining)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint				
Floor	Chipboard	Carpet	No Earthquake Damage			
Wall covering	Gib	Paint	Cosmetic damage			
			Rake out, plaster and paint	54.24 m2	34.00	1,844.16

General Comments: kitchen runs off the lounge/dining room

Ground Floor - Kitchen

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	Cosmetic Damage			
			Rake out, plaster and paint	9.15 m2	34.00	311.10
Floor	Chipboard	Vinyl tiles	No Earthquake Damage			
Kitchen joinery	Medium Spec	MDF				
			Impact damage			
			Relevel	1.00 item	500.00	500.00
Wall covering	Gib	Paint	Cosmetic damage			
			Rake out, plaster and paint	29.04 m2	34.00	987.36
Work top	Kitchen work top	Laminate	Impact damage			
			Remove, supply, dispose and fix laminate	2.90 l/m	218.00	632.20

General Comments:

Ground Floor - Hallway

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	Cosmetic Damage			
			Rake out, plaster and paint	8.10 m2	34.00	275.40

Floor Chipboard Carpet No Earthquake Damage

Wall covering Gib Paint No Earthquake Damage

General Comments: Repairs by owner are being carried out to walls in hallway.

Ground Floor - Bedroom ()

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	Cosmetic Damage			
			Rake out, plaster and paint	11.55 m2	34.00	392.70
Floor	Chipboard	Carpet	No Earthquake Damage			
Wall covering	Gib	Paint	Cosmetic damage			
			Rake out, plaster and paint	32.64 m2	34.00	1,109.76

General Comments:

Ground Floor - Family Room

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	Cosmetic Damage			
			Rake out, plaster and paint	18.00 m2	34.00	612.00
Floor	Chipboard	Carpet	No Earthquake Damage			
Wall covering	Gib	Paint	Cosmetic damage			
			Rake out, plaster and paint	41.28 m2	34.00	1,403.52

General Comments:

Ground Floor - Bedroom ()

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	Cosmetic Damage			
			Rake out, plaster and paint	9.90 m2	34.00	336.60
Floor	Chipboard	Carpet	No Earthquake Damage			
Wall covering	Gib	Paint	Cosmetic damage			
			Rake out, plaster and paint	23.00 m2	34.00	782.00

General Comments: Repairs to 3 walls only, owner diy on 4th wall

Ground Floor - Bathroom

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	Cosmetic Damage			
			Rake out, plaster and paint	5.10 m2	34.00	173.40
Floor	Chipboard	Vinyl	No Earthquake Damage			
Wall covering	Gib	Paint	No Earthquake Damage			

General Comments: Plus shower

Ground Floor - Toilet

Damage: No damage

Require Scaffolding? No

General Comments:

Ground Floor - Laundry

Damage: Damage but not earthquake related

Require Scaffolding? No

Non Earthquake Notes: Diy repairs renovations to room

General Comments:**Ground Floor - Room (Other) (Small hallway)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	No Earthquake Damage			
Floor	Chipboard	Carpet	No Earthquake Damage			
Wall covering	Gib	Paint	Cosmetic damage			
			Rake out, plaster and paint	18.77 m2	34.00	638.18

General Comments:**Ground Floor - Bedroom (Master family bedroom)****Damage:** Earthquake damage**Require Scaffolding?** No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	No Earthquake Damage			
Floor	Concrete	Carpet	No Earthquake Damage			
Wall covering	Gib	Paint	Cosmetic damage			
			Rake out, plaster and paint	41.28 m2	34.00	1,403.52

General Comments:**Ground Floor - Walk In Wardrobe****Damage:** No damage**Require Scaffolding?** No**General Comments:****Ground Floor - En Suite****Damage:** No damage**Require Scaffolding?** No**General Comments:****Garage****Exterior****Elevation (North wall)****Damage:** No damage**Require Scaffolding?** No**General Comments:** Vertical metal siding**Elevation (West wall)****Damage:** No damage**Require Scaffolding?** No**General Comments:** Older weatherboard siding.3m wide roller door**Elevation (South wall)****Damage:** No damage**Require Scaffolding?** No**General Comments:** vertical metal siding**Elevation (East wall)****Damage:** No damage**Require Scaffolding?** No**General Comments:** vertical metal siding**Roof (Corrugated metal)****Damage:** No damage**Require Scaffolding?** No**General Comments:** low pitch gable roof**Foundations (Concrete slab)****Damage:** Damage but not earthquake related

Require Scaffolding? No

Non Earthquake Notes: Large crack from middle of roller door towards the rear.uneven floor

General Comments: older floor

Ground Floor - Room (Other) (Timber frame .)

Damage: No damage

Require Scaffolding? No

General Comments: older garage in reasonable condition. Cobination of tin and weatherboard ext.linings

Fees

Fees

Name	Duration	Estimate
Council fees - Dwelling less than 250k	1.00	2,500.00
Council fees - Demolition fee	1.00	430.00
Scaffold hire - Mobile single lift aluminium	2.00	300.00
Engineers report	1.00	3,555.00
Contents movement fee	1.00	723.58

Overheads

Name	Estimate
Preliminary and general	3,152.59
Margin	5,006.85
GST	8,261.30

Scope Of Works Estimate

Property

Description	Estimate
Site	0.00
Services	0.00
	0.00

Main Building

Name	Description	Estimate
Exterior	Foundations (Concrete ring and concrete piles and concrete slab !)	20,685.60
	Roof (Concrete tiles)	1,750.00
	Elevation (East wall)	68.32
	Elevation (North wall)	0.00
	Chimney (Exterior) (South wall)	3,210.00
	Elevation (South wall)	2,291.52
	Elevation (West wall)	0.00

28,005.44

Floor	Description	Estimate
Ground Floor	Bathroom	173.40
	Bedroom ()	1,118.60
	Bedroom ()	1,502.46
	Bedroom (Master family bedroom)	1,403.52
	En Suite	0.00
	Family Room	2,015.52
	Hallway	275.40
	Kitchen	2,430.66
	Laundry	0.00
	Lounge (Plus dining)	1,844.16
	Room (Other) (Small hallway)	638.18
	Toilet	0.00
	Walk In Wardrobe	0.00

11,401.90

11,401.90

Garage

Name	Description	Estimate
Exterior	Foundations (Concrete slab)	0.00
	Roof (Corrugated metal)	0.00
	Elevation (East wall)	0.00
	Elevation (North wall)	0.00
	Elevation (South wall)	0.00
	Elevation (West wall)	0.00

0.00

Floor	Description	Estimate
Ground Floor	Room (Other) (Timber frame .)	0.00

0.00

0.00

Fees

Description	Estimate
Council fees - Dwelling less than 250k	2,500.00
Council fees - Demolition fee	430.00

Scaffold hire - Mobile single lift aluminium	300.00
Engineers report	3,555.00
Contents movement fee	723.58
	7,508.58

Overheads

Description	Estimate
Preliminary and general	3,152.59
Margin	5,006.85
GST	8,261.30
	16,420.74
Total Estimate	63,336.66

Inspection Sign Off

Description	Answer	comments
Land Damage		
Is there land damage?	No	
Contents Damage		
Has the contents schedule been left with claimant?	No	
Have the contents been sighted?	No	
Was a full inspection done?		
In roof space	Yes	
On roof?	Yes	
Under sub floor?	Yes	
Decline Claim		
Recommend Declining Claim	No	
Next Action:		

Previous Claim Numbers (recorded manually in field)

- 2010/019012

File Notes**Urgent Works Items**

Maintain.


 15066
 TC3

EQC Claim Assessment

Address	7 ROLLESBY STREET, HOON HAY, CHRISTCHURCH, 8025	EQC Claim Number	CLM/2011/147051
Hazards	No hazards	EQC Assessor (L,F)	Marshall, Phil
Inspection Date	06-Jul-2011	Placard	No Sticker
		EQC Estimator (L,F)	Scurr, Steve

Claimants				
Name	Home Phone	Work Phone	Mobile Phone	Email Address
GIBSON NICOLA				

Property Detail - Services		
Element	Description / Damage / Repair Strategy	Measure
Water Supply	Town Connection, Plastic	5 m
Sewerage	Town Connection, PVC Pipe	5 m

Property Detail - Site		
Element	Description / Damage / Repair Strategy	Measure
Land	Exposed, Soil	0.06 m2

MAIN BUILDING	(Age 1935 - 1960)	Area 128.0m2	Footprint T-Shape
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Structure

Element	Description / Damage / Repair Strategy	Measure
Elevation (East wall)		
Wall framing	Timber Frame, Timber (28.32 m2)	
Wall cladding	Brick veneer, Brick (28.32 m2)	
	Cracking	
	Grind out and repoint mortar	1.6 m
	Structural damage	
	Remove, dispose	0.08 m2

Comments: brick veneer

Element	Description / Damage / Repair Strategy	Measure
Elevation (West wall)		
Wall framing	Timber Frame, Timber (28.32 m2)	
Wall cladding	Brick veneer, Brick (28.32 m2)	

Comments: brick veneer

Element	Description / Damage / Repair Strategy	Measure
Elevation (South wall)		
Wall framing	Timber Frame, Timber (47.52 m2)	
Wall cladding	Brick veneer, Brick (47.52 m2)	
	Structural damage	
	Remove, dispose	14.88 m2

Comments: brick veneer. □

EQC Claim Number CLM2011/147051

Element	Description / Damage / Repair Strategy	Measure
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Elevation (North wall)**Comments:** brick veneer. Exterior wooden deck

Element	Description / Damage / Repair Strategy	Measure
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Foundations (Concrete ring and concrete piles and concrete slab I)

Piles	Ordinary, Concrete (1.00 Item)	
	Floor has moved less than 100mm	
	Lift	306 m2
Ring foundation	Load bearing, Concrete (30.60 m)	
	Foundation settlement	
	Remove, dispose, replace ring foundation	306 m

Comments: house shows severe slumping on the south west corner. Re ring/ repile this area

Element	Description / Damage / Repair Strategy	Measure
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Roof (Concrete tiles)

Roof Covering	Pitched, Concrete tile (233.64 m2)	
	Damage to flashings	
	Repoint ridge capping	2 m
	Impact damage	
	Remove, dispose and replace concrete ridge tiles	2 m
	Structural damage	
	Remove, dispose, supply and install concrete tiles	2 m2
Roof framing	Framed, Timber (233.64 m2)	

Comments: Sixty percent is new roof. tile repointing needed in older roof area

Element	Description / Damage / Repair Strategy	Measure
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Chimney (Exterior) (South wall)

One story chimney	Single Pot, Brick (1.00 Item)	
	Collapsed chimney	
	EXT - Brick - Ceiling - 1 POT	1 Item

Comments: collapsed above roof**Ground Floor**

Room / Element	Description / Damage / Repair Strategy	Measure
----------------	--	---------

Lounge Plus dining (L=6.7m W=4.6m H=2.4m)

Floor	Chipboard, Carpet (30.82 m2)	
Wall covering	Gib, Paint (54.24 m2)	
	Cosmetic damage	
	Rake out, plaster and paint	54.24 m2
Ceiling	Gib, Paint (30.82 m2)	

Room - Comments: kitchen runs off the lounge/dining room**Room - Additional Notes:****Kitchen (L=3.1m W=3.0m H=2.4m)**

Floor	Chipboard, Vinyl tiles (9.15 m2)	
Ceiling	Gib, Paint (9.15 m2)	

EQC Claim Number CLM2011/147051

		Cosmetic Damage	
		Rake out, plaster and paint	9.15 m2
Wall covering	Gib, Paint (29.04 m2)		
		Cosmetic damage	
		Rake out, plaster and paint	29.04 m2
Work top	Kitchen work top, Laminate (2.90 m)		
		Impact damage	
		Remove, supply, dispose and fix laminate	29 m
Kitchen joinery	Medium Spec, MDF (1.00 Item)		
		Impact damage	
		Relevel	1 Item
Kitchen joinery	Medium Spec, MDF (1.00 Item)		

Room - Additional Notes:**Hallway (L=6.0m W=1.4m H=2.4m)**

Floor	Chipboard, Carpet (8.10 m2)		
Ceiling	Gib, Paint (8.10 m2)		
		Cosmetic Damage	
		Rake out, plaster and paint	8.1 m2
Wall covering	Gib, Paint (35.28 m2)		

Room - Comments: Repairs by owner are being carried out to walls in hallway.**Room - Additional Notes:****Bedroom room (L=3.5m W=3.3m H=2.4m)**

Floor	Chipboard, Carpet (11.55 m2)		
Wall covering	Gib, Paint (32.64 m2)		
		Cosmetic damage	
		Rake out, plaster and paint	32.64 m2
Ceiling	Gib, Paint (11.55 m2)		
		Cosmetic Damage	
		Rake out, plaster and paint	11.55 m2

Room - Additional Notes:**Family Room (L=5.0m W=3.6m H=2.4m)**

Floor	Chipboard, Carpet (18.00 m2)		
Wall covering	Gib, Paint (41.28 m2)		
		Cosmetic damage	
		Rake out, plaster and paint	41.28 m2
Ceiling	Gib, Paint (18.00 m2)		
		Cosmetic Damage	
		Rake out, plaster and paint	18 m2

EQC Claim Number CLM2011/147051

Room - Additional Notes:**Bedroom** (L=3.0m W=3.3m H=2.4m)

Floor Chipboard, Carpet (9.90 m2)

Wall covering Gib, Paint (30.24 m2)

Cosmetic damage

Rake out, plaster and paint

23 m2

Ceiling Gib, Paint (9.90 m2)

Cosmetic Damage

Rake out, plaster and paint

9.9 m2

Room - Comments: Repairs to 3 walls only, owner diy on 4th wall**Room - Additional Notes:****Bathroom** (L=3.0m W=1.7m H=2.4m)

Floor Chipboard, Vinyl (5.10 m2)

Wall covering Gib, Paint (22.56 m2)

Ceiling Gib, Paint (5.10 m2)

Cosmetic Damage

Rake out, plaster and paint

5.1 m2

Room - Comments: Plus shower**Room - Additional Notes:****Toilet** (L=0.8m W=1.7m H=2.4m)**Room - Additional Notes:****Laundry** (L=1.7m W=2.0m H=2.4m)**Room - Non Earthquake Damage Notes:** Diy repairs renovations to room**Room - Additional Notes:****Room (Other) Small hallway** (L=3.0m W=0.9m H=2.4m)

Floor Chipboard, Carpet (2.73 m2)

Wall covering Gib, Paint (18.77 m2)

Cosmetic damage

Rake out, plaster and paint

18.77 m2

Ceiling Gib, Paint (2.73 m2)

Room - Additional Notes:**Bedroom Master family bedroom** (L=3.8m W=4.8m H=2.4m)

Floor Concrete, Carpet (18.24 m2)

EQC Claim Number CLM2011/147051

Wall covering	Gib, Paint (41.28 m2)	
	Cosmetic damage	
	Rake out, plaster and paint	41.28 m2

Ceiling Gib, Paint (18.24 m2)

Room - Additional Notes:

Walk In Wardrobe (L=1.5m W=1.7m H=2.4m)

Room - Additional Notes:

En Suite (L=1.9m W=1.7m H=2.4m)

Room - Additional Notes:

GARAGE	Age 1935 - 1960	Area 52.9m2	Footprint Rectangular
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Structure

Element	Description / Damage / Repair Strategy	Measure
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Elevation (North wall)

Comments: Vertical metal siding

Element	Description / Damage / Repair Strategy	Measure
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Elevation (West wall)

Comments: Older weatherboard siding. 3m wide roller door

Element	Description / Damage / Repair Strategy	Measure
---------	--	---------

Elevation (South wall)

Comments: vertical metal siding

Element	Description / Damage / Repair Strategy	Measure
---------	--	---------

Elevation (East wall)

Comments: vertical metal siding

Element	Description / Damage / Repair Strategy	Measure
---------	--	---------

Foundations (Concrete slab)

Comments: older floor

Non Earthquake Damage Notes: Large crack from middle of roller door towards the rear. uneven floor

Element	Description / Damage / Repair Strategy	Measure
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Roof (Corrugated metal)

Comments: low pitch gable roof

Ground Floor

Room / Element	Description / Damage / Repair Strategy	Measure
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Room (Other) Timber frame . (L=13.0m W=4.0m H=2.4m)

EQC Claim Number CLM2011/147051

Room - Comments: older garage in reasonable condition. Cobination of tin and weatherboard ext.linings

Room - Additional Notes:

End Of Assessment

Maintain Canterbury Ltd		Gst:	
Contractor Address:	PO Box 7809 Sydenham Christchurch 8023	Email:	mike@maintaincanterbury.co.nz
Contact Information:	0508 MAINTAIN	Acc'd Nr:	



Please send any pricing queries to:

3

tommy@360construction.co.nz

7 Rollesby Street, Hoon Hay.
clm/2011/147051

Claimant Details: Nicola Gibson, [REDACTED]
 Claimant Number: [REDACTED]
 Scope Date: 6/7/11
 Relevant Documents: 1. EQC Scope dated 6/7/11 in 6 number pages.
 2. EQC Scope Changes dated 1/8/13 in 2 number pages.
 3. Opus Engineers Report dated 10/7/13 in 29 number pages.

QUOTATION

21 October 2013

To whom it may concern,

Thank you for the opportunity to price for earthquake repairs to the above mentioned property.

Based on the documentation listed above our quote value for this property is (excl. GST): \$ 36,767.44

Please note that as per Fletcher EQR request the attached reports are not based on an add/omit exercise. As such the column denoted 'As EQC Scope' represents the items which remain exactly as the original EQC scope of works only. All new items and items which have changed in remediation strategy appear in the column denoted 'Scope Change', i.e. when the remediation strategy for an item has been changed the item is shown as a full variation only with no allowance in the 'As EQC Scope' column for the original item.

Therefore, and *for your budget allocation purposes only*, we provide the below summary based on an add/omit exercise

1 Works based on EQC Scope of Works only (including items which have since changed remedy)	\$ 5,850.45
2 Price for variation items (includes full value of New Items and the Extra Over or Saving Value only for items which have changed in strategy)	\$ 30,916.99
3 Total Quote Value (excl. GST)	\$ 36,767.44
	PLUS GST \$ 5,515.12
	<u>\$ 42,282.56</u>

GENERAL NOTES / EXCLUSIONS / TAGS:

1. TAG: External South, Any damage found on wall framing after removing bricks to be dealt with as a variation.

Maintain Canterbury Ltd

PO Box 7809 Sydenham Christchurch 8023,

mike@maintaincanterbury.co.nz

0508 MAINTAIN

7 Rollesby Street, Hoon Hay.,clm/2011/147051

Quote EXCL GST: \$36,767.44

Quote INCL GST: \$42,282.56

ROOM SUMMARY

	As EQC Scope	Scope Change
Row Labels	Sum of As EQC	Sum of Variation
-		

*****_		
*P&G-	\$3,445.00	\$3,566.46
Bathroom 1-	\$163.20	
Bedroom Main-Family (3.8x4.8x2.4)		\$1,011.15
Bedroom- [REDACTED] (3x3.3x2.4)		\$2,846.40
Bedroom- [REDACTED] Room(3.5x3.3x2.4)		\$1,587.69
Chimney (Bwic)-		\$2,520.00
External Wall (East)-	\$84.28	
External Wall (South)-		\$2,879.28
External Wall (West)-		\$62.35
Family Room-		\$4,648.09
Foundation-		\$7,491.30
Hall-		\$534.60
Kitchen-	\$954.73	
Lounge-	\$1,203.25	
Roof-		\$2,779.95
Room (other)-Small Hallway		\$411.73
Toilet1-		\$578.00
Total	\$5,850.45	\$30,916.99

Maintain Canterbury Ltd

PO Box 7809 Sydenham Christchurch 8023,

Email:

mike@maintaincanterbury.co.nz

Phone Number:

0508 MAINTAIN

7 Rollesby Street, Hoon Hay., c/m/2011/147051

Quote EXCL GST: **\$36,767.44**Quote INCL GST: **\$42,282.56**

	Qty	Rate	As EQC Scope	Scope Change

(blank)				
*P&G-				
P&G Site Clean - Final Builders clean--	450.00	\$1.00	\$450.00	✓
P&G Protection--Floor	465.00	\$1.00	\$465.00	✓
Floor Coverings Lift and relay existing carpet---m2--For engineering report floor repairs.	78.00	\$16.13		\$1,257.75 ✓
P&G Allowance to hire Container--For contents	675.00	\$1.00		\$675.00 ✓
Timber Floors Remove Particle Board floor and replace--6x access holes to access piles to repair.	12.00	\$90.31		\$1,083.71
P&G Project Management, Scoping, Customer Liason, Supervision--One hour per day over 6 weeks.	1,350.00	\$1.00	\$1,350.00	✓
P&G Site Clean -Periodic per day--Per day over 6 weeks	30.00	\$20.00	\$600.00	✓
P&G Skips --	2.00	\$290.00	\$580.00	✓
P&G Electrician - disconnections & reconnections--Hallway 3x elects, PIR Pletza and smoke alarm. Bedroom [REDACTED] Elects walls x 3, Ceiling x 2. Family room elects walls x 4, ceiling x 2, PIR. Bedroom [REDACTED] elects walls x 3, ceiling x 2, Bathroom elects ceiling x 4. Toilet walls x1.	550.00	\$1.00		\$550.00 ✓
Bathroom 1-				
Gib Ceiling Cosmetic Rake, plaster, paint (r1)--	5.10	\$32.00	\$163.20	
External Wall (East)-				
Wall Cladding Grind out and Remortar/Epoxy brickwork and the like---m--	1.60	\$43.00	\$68.80	
Wall Cladding Remove, dispose and replace single skin brickwork. 70 series--	0.08	\$193.50	\$15.48	
External Wall (South)-				
Wall Cladding Remove, dispose and replace single skin brickwork. 70 series--	14.88	\$193.50		\$2,879.28
External Wall (West)-				
Wall Cladding Grind out and Remortar/Epoxy brickwork and the like---m--	1.00	\$43.00		\$43.00
Wall Cladding Remove, dispose and replace single skin brickwork. 70 series--Remove and replace 1 brick	0.10	\$193.50		\$19.35
Hall-				
Gib Ceiling Cosmetic Strip and replace lining paper and Paint (r2)--	8.10	\$66.00		\$534.60
Kitchen-				
Gib Walls Cosmetic Paint per m2--	20.00	\$21.50	\$430.00	
Gib Walls Cosmetic Rake, plaster---m--	2.00	\$12.36	\$24.73	
Kitchen General - Materials, --Relevel 1 Item	500.00	\$1.00	\$500.00	
Roof-				
Roof General --Roof Quote by O'Donnell Brick and Tile for roof repairs	2,779.95	\$1.00		\$2,779.95
Toilet 1-				
Gib Walls Cosmetic Paint per m2--	12.00	\$21.50		\$258.00
Bath/WC/Sink/Shower Plumber --Remove and reinstate toilet for repair.	120.00	\$1.00		\$120.00
Gib Walls Cosmetic Strip and replace lining paper--	5.00	\$40.00		\$200.00
-				
-				
Foundation-				
Piles Jack and pack piles ---Nr--23m2	16.00	\$119.25		\$1,908.00
Piles Labour Per Hour--Floor area 7.3m2 to be notched.	5.00	\$45.00		\$225.00
Ring Foundation Dunnage Jacks--Install temporary Dunnage Jacks in order to lift up around ring foundation. When lifted to a safe height then pack and notch to ensure proper releveilling. When releveilled and is strong enough to take the load bearing remove the dunnage jacks. 30m to be releveilled @ \$150. \$4650.	4,650.00	\$1.00		\$4,650.00
Ring Foundation Crack Repair up to 5mm--lm--6 cracks at different sections.	6.00	\$118.05		\$708.30
Chimney (Bwic)-				

Maintain Canterbury Ltd

PO Box 7809 Sydenham Christchurch 8023,

Email:

mike@maintaincanterbury.co.nz

Phone Number:

0508 MAINTAIN

7 Rollesby Street, Hoon Hay.,clm/2011/147051Quote EXCL GST: **\$36,767.44**Quote INCL GST: **\$42,282.56**

	Qty	Rate	As EQC Scope	Scope Change
ChimneyBricklayer --ChimneySingle Level to ceiling remove/repair only - (excl wall/ceiling repair),				
External - Take down to ceiling height (16 hrs), Dispose (\$290), Repair roof (\$650).	1,660.00	\$1.00		\$1,660.00
P&GScaffold ext walls--Scaffold quote by Daveron Scaffolding Ltd.	860.00	\$1.00		\$860.00
Lounge-				
Gib Walls CosmeticPaint per m2--	54.24	\$21.50	\$1,166.16	
Gib Walls CosmeticRake, plaster---m--	3.00	\$12.36	\$37.09	
Bedroom [REDACTED] Room(3.5x3.3x2.4)				
Gib Walls CosmeticPaint per m2--	32.64	\$21.50		\$701.76
Gib Walls CosmeticRake, plaster---m--	10.00	\$12.36		\$123.63
Gib Ceiling Cosmetic Strip and replace lining paper and Paint (r2)--	11.55	\$66.00		\$762.30
Family Room-				
Gib Walls CosmeticPaint per m2--	41.00	\$21.50		\$881.50
Gib Ceiling Cosmetic Strip and replace lining paper and Paint (r2)--	18.00	\$66.00		\$1,188.00
Gib Walls StructuralRemove gib, dispose, reline using 10mm gib, stop and paint---m2--Under coat only.	10.00	\$105.96		\$1,059.59
Gib Walls CosmeticStrip and replace Wallpaper (r2)--	31.00	\$49.00		\$1,519.00
Bedroom [REDACTED] 3x3.3x2.4)				
Gib Ceiling Cosmetic Strip and replace lining paper and Paint (r2)--	9.90	\$66.00		\$653.40
Gib Walls CosmeticStrip and replace Wallpaper and Paint (r2)--	30.00	\$73.10		\$2,193.00
Room (other)-Small Hallway				
Gib Walls CosmeticPaint per m2--	18.00	\$21.50		\$387.00
Gib Walls CosmeticRake, plaster---m--	2.00	\$12.36		\$24.73
Bedroom Main-Family (3.8x4.8x2.4)				
Gib Walls CosmeticPaint per m2--	41.28	\$21.50		\$887.52
Gib Walls CosmeticRake, plaster---m--	10.00	\$12.36		\$123.63
Total			\$5,850.45	\$30,916.99



Works Order

Fletcher EQR acting as agent for EQC
(divn of FletcherConstruction)
P O Box 80105
CHRISTCHURCH 8440

Telephone 03 341 9900
Facsimile 03 343 4167

To:

Maintain Canterbury Limited
P O Box 7809
Sydenham
Christchurch 8023
Phone 0508624682
Email mike@maintaincanterbury.co.nz

Order No **E028-00150**

Please quote Works Order Number on
all invoices, correspondences etc

Accreditation Number **EQRC0313**
Contractor Code **S241**

From:

Hub **Blenheim**
Works Order Date **01-Nov-2013**

Project Number **E028**

Please proceed with the works outlined in the attached approved Scope of Works for:

EQC Claim Number	Address	Start Date	\$ Ex. GST
CLM/2011/147051	7 ROLLESBY STREET, HOON HAY	01-Feb-2014	36,767.46
NZ Govt Goods and Services Tax Is Not Included In This Total			Total Cost 36,767.46

The above stated contract price is deemed to be a complete price to undertake and complete the works as detailed within the attached Scope of Works. The Scope of Works shall not be varied without Fletcher EQR's prior written consent. No additional costs will be accepted unless approved by a written Variation Order issued and signed by Fletcher EQR. Any request for payment based on an invalid variation instruction will be refused.
All Works shall be completed in accordance with the approved Scope of Works unless varied as above.

Authorised By **Shaun Matthews**

On behalf of Fletcher Construction

as agent for Earthquake Commission Signature

IMPORTANT

This Works Order is only valid when authorized and signed by a Fletcher EQR Quantity Surveyor.
This Works Order is to be read in conjunction with the attached approved Scope of Works referencing this Works Order.
If no Scope of Works is attached please contact the issuing Quantity Surveyor for a copy of the Scope of Works.
This Works Order is subject to the terms and conditions contained in the Short Form Agreement for engagement of contractors between the parties.
Please send all invoices and correspondence to the Fletcher EQR Hub responsible for issuing this Works Order.

The Contractor is responsible for all Warranties to be passed onto the homeowner.
No additional private work is to be undertaken. Fletcher EQR reserves the right to terminate the contract and de-accredit any contractor working on site without approval.
EQC and Fletcher EQR employ zero tolerance in relation to fraud and will prosecute offenders.

Works Order

Fletcher EQR acting as agent for EQC
(divn of FletcherConstruction)
P O Box 80105
CHRISTCHURCH 8440

Telephone 03 341 9928
Facsimile 03 343 4167

To:

BaseLevel Foundations Limited
P O Box 20-152
Edgware
CHRISTCHURCH
Phone 0800 404 440
Email Rudi@maidengroup.co.nz

Order No E034-09891

Please quote Works Order Number on
all invoices, correspondences etc

Accreditation Number
Contractor Code SH22

From:

Hub EQR Central Hub
Works Order Date 23-Jun-2017


Project Number E034

Please proceed with the works outlined in the attached approved Scope of Works for:

EQC Claim Number	Address	Start Date	\$ Ex. GST
CLM/2011/147051	7 ROLLESBY STREET, HOON HAY		34,962.99
NZ Govt Goods and Services Tax Is Not Included In This Total			Total Cost 34,962.99

The above stated contract price is deemed to be a complete price to undertake and complete the works as detailed within the attached Scope of Works. The Scope of Works shall not be varied without Fletcher EQR's prior written consent. No additional costs will be accepted unless approved by a written Variation Order Issued and signed by Fletcher EQR. Any request for payment based on an invalid variation instruction will be refused.
All Works shall be completed in accordance with the approved Scope of Works unless varied as above.

Authorised By **Enda Kavanagh**
On behalf of Fletcher Construction
as agent for Earthquake Commission Signature


IMPORTANT

This Works Order is only valid when authorized and signed by a Fletcher EQR Quantity Surveyor.
This Works Order is conditional upon evaluation and acceptance by the Fletcher EQR Contract Supervisor of the SSSP (and Task Analysis where applicable). You may not proceed with any work without this signed acceptance.
This Works Order is to be read in conjunction with the attached approved Scope of Works referencing this Works Order.
If no Scope of Works is attached please contact the Issuing Quantity Surveyor for a copy of the Scope of Works.
This Works Order is subject to the terms and conditions contained in the Short Form Agreement for engagement of contractors between the parties.
Please send all invoices and correspondence to the Fletcher EQR Hub responsible for issuing this Works Order.
The Contractor is responsible for all Warranties to be passed onto the homeowner.
No additional private work is to be undertaken. Fletcher EQR reserves the right to terminate the contract and de-accredit any contractor working on site without approval.
EQC and Fletcher EQR employ zero tolerance in relation to fraud and will prosecute offenders.



Completed By:	Enda Kavanagh	Claim Number:	2011 / 147051
Date:	23/06/2017	Customer Name:	Nicola Gibson
Page	3 OF 3	Address:	7 Rollesby Street Hoon Hay Christchurch

Preliminaries And General

Line Items:

[illegible]

* Unit categories to be used as follows:
Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week, Cubic metre
calculations must include length, breadth and depth figures. Square metre calculations must include length and
breadth figures.

Sub Total	\$3,830.00
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SUB TOTAL (Excluding GST)	\$3,830.00
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Scope of Works



Completed By:	Enda Kavanagh	Claim Number:	2011 / 147051
Date:	23/06/2017	Customer Name:	Nicola Gibson
Page	3 OF 3	Address:	7 Rollesby Street
			Hoon Hay
			Christchurch

TOTALS PAGE :

P & G's Page:

P & G's - Page 3 \$3,830.00

P & G's Page - Sub Total \$3,830.00

Building Damage Page:

Scope Of Works Page 1 \$31,132.99

Scope Of Works Pages - Sub Total \$31,132.99

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week. Cubic metre calculations must include length, breadth and depth figures. Square metre calculations must include length and breadth figures.

Sub Total \$34,962.99

GST \$5,244.45

TOTAL \$40,207.44





Variation Order

Fletcher EQR acting as agent for EQC
(divn of FletcherConstruction)
P O Box 80105
CHRISTCHURCH 8440

Telephone 03 341 9900
Facsimile 03 343 4167

Variation Order No E028-00150-01

To:

Maintain Canterbury Limited
P O Box 7809
Sydenham
Christchurch 8023
Phone 0508624682
Email Bronwyn@maintaincanterbury.co.nz

Please quote Variation Order Number / Works Order Number
on all invoices, correspondences etc

Work Order No E028-00150
Accreditation Number EQRC0313
Contractor Code S241

From:

Hub Blenheim
Works Order Date 31-Mar-2014

Project Number E028

Please proceed with the works outlined in the attached approved Variation To Works Order for:

EQC Claim Number	Address	Start Date	\$ Ex. GST
CLM/2011/147051	7 ROLLESBY STREET, HOON HAY	10-Mar-2014	2,017.94
NZ Govt Goods and Services Tax Is Not Included In This Total			Total Cost 2,017.94

The above stated variation price is deemed to be a complete price to undertake and complete the works as detailed within the attached Variation To Works Order. The Variation To Works Order shall not be varied without Fletcher EQR's prior written consent. No additional costs will be accepted unless approved by a further written Variation Order issued and signed by Fletcher EQR. Any request for payment based on an invalid variation instruction will be refused.
All Works shall be completed in accordance with the approved Scope of Works unless varied as above.

Authorised By **Maryam Din**

On behalf of Fletcher Construction

as agent for Earthquake Commission Signature

IMPORTANT

This Variation Order is only valid when authorized and signed by a Fletcher EQR Quantity Surveyor.
This Variation Order is to be read in conjunction with the attached approved Variation To Works Order.
If no Variation To Works Order is attached please contact the issuing Quantity Surveyor for a copy of the Variation To Works Order.
This Variation Order is subject to the terms and conditions contained in the Short Form Agreement for engagement of contractors between the parties.
Please send all invoices and correspondence to the Fletcher EQR Hub responsible for issuing this Variation Order.

The Contractor is responsible for all Warranties to be passed onto the homeowner.
No additional private work is to be undertaken. Fletcher EQR reserves the right to terminate the contract and de-accredit any contractor working on site without approval.
EQC and Fletcher EQR employ zero tolerance in relation to fraud and will prosecute offenders.

Variation to Works Order



Claim Number	2011/147051	Contractor Name	Maintain Canterbury
Customer Name	Nicola Gibson	Supervisor	Nick Johnson
Main Contact		Date	21/03/2014
Property Address	7 Rollesby Street	Customer email	
Phone			

For all Variations please contact your Contract Supervisor before proceeding with any work. *This section must be filled out by the contractor in full with as much supporting information as possible: Descriptions, Repair Strategies, Quantities, Units, Rates, Photos where appropriate - The contractor must ensure the reason for the variation is clearly stated (For example - unforeseen additional scope required, alternative repair strategy required etc...) and that works to be undertaken have not been previously allowed for.*

Section 1 Completed by Contractor

Reason for Submitting a Variation

before the existing paper was hung. Therefore some areas that have been stripped have taken the paper off the gib and plaster off the nails etc and need to be skimmed before they are re-papered as listed below and shown in the attached photos. In other areas listed below stripping has commenced and has been stopped due to the damage this has caused to the gib in these areas as listed below and shown in the attached photographs. Additional damage has also been noted on the bathroom walls which requires repair as per attached photos. This was noted after the releveling at the address and this could have contributed/worsened this damage.

Item	Description	Quantity	Unit	Rate	Amount
Hallway					
1	Hallway - Negative variation - Gib ceiling cosmetic strip lining	8.10	m2	-15.00	-\$121.50
2	Hallway - Seal and Skim (2 coats) ceiling	8.10	m2	28.40	\$230.04
Bedroom					
3	Bedroom - Negative variation - Gib ceiling cosmetic strip lining paper.	9.90	m2	-15.00	-\$148.50
4	Bedroom - Seal and Skim (2 coats) ceiling	9.90	m2	28.40	\$281.16
Bedroom					
5	Bedroom - Skim (2 coats) and seal ceiling	11.05	m2	28.40	\$328.02
Family Room					
6	Family Room - Skim (2 coats) and seal ceiling	18.00	m2	23.40	\$511.20
7	Family Room - Negative variation - Gib walls cosmetic strip	31.00	m2	-15.00	-\$465.00
8	Family Room - Seal and Skim (2 coats) walls	31.00	m2	28.40	\$880.40
Bathroom					
9	Walls - Rake out and plaster walls	3.00	lm	12.36	\$37.08
10	Paint walls	22.56	m2	21.50	\$485.04
Total					\$2,017.94

Section 2 Completed by Contract Supervisor

Instruction given for work to proceed Yes ☐ No ☐ Work sighted Yes ☒ No ☐

Notes

Name Nick Johnson Date 28/03/14 Signature [Signature]

Section 4 Completed by Quantity Surveyor

Claimed \$ 2017.94 Hub Name Bennham

Variation Total \$ 2017.94 Hub Number E

Tax Invoice/Payment Claim No. E018-00150-01

Name Angela Din Date 28/3/14 Signature [Signature]

Section 5 Completed by EQC Representative

Instruction given for work to proceed Yes ☒ No ☐ Work sighted Yes ☐ No ☒

Notes

Name G.J. Scott Date 28/3/14 Signature [Signature]

Variation Order

Fletcher EQR acting as agent for EQC
(divn of FletcherConstruction)
P O Box 80105
CHRISTCHURCH 8440

Telephone 03 341 9928
Facsimile 03 343 4167

Variation Order No E034-09891-01

To:

BaseLevel Foundations Limited
P O Box 20-152
Edgeware
CHRISTCHURCH
Phone 0800 404 440
Email Rudi@maidengroup.co.nz

Please quote Variation Order Number / Works Order Number
on all invoices, correspondences etc

Work Order No E034-09891
Accreditation Number
Contractor Code SH22

From:

Hub EQR Central Hub
Works Order Date 15-Sep-2017

Project Number E034

Please proceed with the works outlined in the attached approved Variation To Works Order for:

EQC Claim Number	Address	Start Date	\$ Ex. GST
CLM/2011/147051	7 ROLLESBY STREET, HOON HAY	07-Aug-2017	-28,444.49
NZ Govt Goods and Services Tax Is Not Included In This Total			Total Cost -28,444.49

The above stated variation price is deemed to be a complete price to undertake and complete the works as detailed within the attached Variation To Works Order. The Variation To Works Order shall not be varied without Fletcher EQR's prior written consent. No additional costs will be accepted unless approved by a further written Variation Order issued and signed by Fletcher EQR. Any request for payment based on an invalid variation instruction will be refused.
All Works shall be completed in accordance with the approved Scope of Works unless varied as above.

Authorised By **Yan Luo**

On behalf of Fletcher Construction
as agent for Earthquake Commission Signature



IMPORTANT

This Variation Order is only valid when authorized and signed by a Fletcher EQR Quantity Surveyor.
This Variation Order is to be read in conjunction with the attached approved Variation To Works Order.
If no Variation To Works Order is attached please contact the issuing Quantity Surveyor for a copy of the Variation To Works Order.
This Variation Order is subject to the terms and conditions contained in the Short Form Agreement for engagement of contractors between the parties.
Please send all invoices and correspondence to the Fletcher EQR Hub responsible for issuing this Variation Order.

The Contractor is responsible for all Warranties to be passed onto the homeowner.
No additional private work is to be undertaken. Fletcher EQR reserves the right to terminate the contract and de-accredit any contractor working on site without approval.
EQC and Fletcher EQR employ zero tolerance in relation to fraud and will prosecute offenders.

07 SEP 2017

Variation to Works Order



Claim Number	2011/2665	Contractor Name	Baselevel Foundations Ltd
Customer Name		Supervisor	Jovan
Main Contact		Date	7/09/2017
Property Address	7 Rollesby Street	Customer email	
Phone			

For all Variations please contact your Contract Supervisor before proceeding with any work.

This section must be filled out by the contractor in full with as much supporting information as possible: Descriptions, Repair Strategies, Quantities, Units, Rates, Photos where appropriate - The contractor must ensure the reason for the variation is clearly stated (For example - unforeseen additional scope required, alternative repair strategy required etc...) and that works to be undertaken have not been previously allowed for.

Section 1

Completed by Contractor

Reason for Submitting a Variation
Change in repair strategy as per engineering

Item	Description	Quantity	Unit	Rate	Amount
1	Original works	1	ea	\$34,962.99	\$34,962.99
	Original works Credit	1	ea	\$34,962.99	-\$34,962.99
	Scope of works attached	1	ea	\$8,468.50	\$8,468.50
Total					\$8,468.50

Section 2

Completed by Contract Supervisor

Instruction given for work to proceed Yes ☒ No ☐ Work sighted Yes ☒ No ☐

Notes Remediation of subfloor fixings on Type B foundation complete. Repair of Type C foundation revised from relevel to FLC - HO to CS. PS 3 + PS 4 issued. Photos + docs attached.

Name Jovan Andric

Date 11/9/17

Signature

Section 4

Completed by Quantity Surveyor

Claimed - \$28,444.49 Hub Name

Variation Total - \$28,444.49 Hub Number E

Name Van Luo

Date 15/09/17

Signature

Section 5

Completed by Representative

Instruction given for work to proceed Yes ☒ No ☐ Work sighted Yes ☒ No ☐

Notes Approved pending rates review by Q.S.

Name B. Thompson

Date 11/9/17

Signature

Defects Liability Certificate

Claim Number	CLM/2011/147051		
Date of Completion	5/05/2014	Date defect period ends	3/08/2014
Property address	7 ROLLESBY STREET, HOON HAY		
Main contractor	Maintain Canterbury Limited		
Principal	Earthquake Commission (EQC)		

End of Defects Liability Period

The Principal is required to issue a Defects Liability Certificate. The NBC SW Standard Conditions rule 13.1 states that:

The Principal must certify to the Contractor when in relation to the Contract Works or a Separate Section of them:-

- (a) the Defects Liability Period has ended; and
- (b) the Contractor has completed all minor omissions and corrected all minor defects referred to in rule 12.1; and
- (c) the Contractor has completed agreed deferred work.

This Certificate

This is to certify that in accordance with rule 13.1, the above named Contract Works the Defect Liability Period has ended, all deferred work has been completed and all defects have been corrected.

The issuing of this certificate does not affect the Contractor's liability to fulfil any obligation in the Contract which remains unperformed or not properly performed.

The Principal has used all reasonable care and skill in the preparation of this Certificate

This certificate cannot be relied on for any other purpose.

Contracts supervisor

NICK JOHNSON

Date of issue 15/08/2014

on behalf of Fletcher EQR acting as agent to EQC

Defects Liability Certificate

Claim Number				CLM/2011/147051			
Date of Completion		14/09/2017		Date defect period ends		13/12/2017	
Property address		7 ROLLESBY STREET, HOON HAY					
Main contractor		BaseLevel Foundations Limited					
Principal		Earthquake Commission (EQC)					
End of Defects Liability Period							
<p>The Principal is required to issue a Defects Liability Certificate. The NBC SW Standard Conditions rul 13.1 states that:</p> <p>The Principal must certify to the Contractor when in relation to the Contract Works or a Separate Section of them:-</p> <p>(a) the Defects Liability Period has ended; and</p> <p>(b) the Contractor has completed all minor omissions and corrected all minor defects referred to in rule 12.1; and</p> <p>(c) the Contractor has completed agreed deferred work.</p>							
This Certificate							
<p>This is to certify that in accordance with rule 13.1, the above named Contract Works the Defect Liability Period has ended, all deferred work has been completed and all defects have been corrected.</p> <p>The issuing of this certificate does not affect the Contractor's liability to fulfil any obligation in the Contract which remains unperformed or not properly performed.</p> <p>The Principal has used all reasonable care and skill in the preparation of this Certificate</p> <p>This certificate cannot be relied on for any other purpose.</p>							

Contracts supervisor

Jovan Andric

Date of issue 13/09/2017

on behalf of Fletcher EQR acting as agent to EQC

Practical Completion Certificate

Claim Number	CLM/2011/147051	Date of Completion	15/09/2017
Property address	7 ROLLESBY STREET, HOON HAY		
Main contractor	BaseLevel Foundations Limited		
Principal	Earthquake Commission (EQC)		

Practical Completion

Practical Completion means that the Contract Works, or a Separate Section of them attain Practical Completion when information and warranties listed in the Specific Conditions have been provided and when, except for:-

- (a) Work which the principal and the Contractor have agreed to defer for completion during the Defects Liability Period and
- (b) minor omissions and minor defects which the Principal and the Contractor agree
 - (i) the Contractor has reasonable grounds for not correcting promptly; and
 - (ii) do not prevent the Contract Works, or a Separate Section of them, from being used for their intended purpose; and
 - (iii) can be corrected without prejudicing the convenient use of the Contract Works or a Separate Section of them,

the contractor has fulfilled its obligations under the Contract.

This Certificate

This is to certify that in accordance with rule 12.1, the Contract Works have been inspected and qualified for Practical Completion on the date shown below.

The Defects Liability period as detailed in rule 13.1 commences on this date and continue for a period of 3 months.

The Principal has used all reasonable care and skill in the preparation of this Certificate

It is provided in accordance with and subject to rule 1.2 Principal's main obligations.

This certificate cannot be relied on for any other purpose.

Contracts supervisor

Jovan Andric

Date of issue

14/09/2017

on behalf of Fletcher EQR acting as agent to EQC

Schedule **E3** **Practical Completion Certificate**

Contract: ~ *Maintain Canterbury*
 Location: ~ *7 Rolleston*
 Principal: ~ EQC

Practical Completion

Practical Completion means that the Contract Works, or a Separate Section of them attain Practical Completion when information and warranties listed in the Specific Conditions have been provided and when, except for:-

- (a) Work which the Principal and the Contractor have agreed to defer for completion during the Defects Liability Period and
- (b) minor omissions and minor defects which the Principal and the Contractor agree
 - (i) the Contractor has reasonable grounds for not correcting promptly; and
 - (ii) do not prevent the Contract Works, or a Separate Section of them, from being used for their intended purpose; and
 - (iii) can be corrected without prejudicing the convenient use of the Contract Works or a Separate Section of them,

the Contractor has fulfilled its obligations under the Contract.

This Certificate

This is to certify that in accordance with rule 12.1, the Contract Works have been inspected and qualified for Practical Completion on ~.

The Defects Liability period as detailed in rule 13.1 commenced on this date and continue for a period of ~.

The Principal has used all reasonable care and skill in the preparation of this Certificate.

It is provided in accordance with and subject to rule 1.2 Principal's main obligations.

The certificate cannot be relied on for any other purpose.

Signed by/date:



05/08/14
 (Date signed)

Fletcher EQR acting as an agent of EQC

MS-SF0702 CONSTRUCTION COMPLETION INSPECTION

Address
Claim Number
Contractor
Contract Supervisor

7 Rollersby Street, Hoon Hay,
CLM/2011/147051
Maintain Canterbury
Nick Johnson

Inspection completed by:

Date

Others present:

Nick Johnson
Nicola Gibson
Pamela Johnson

02/05/14

H/O
Contractor.

- This document is a record of the Construction Completion Inspection carried out at the above address. It documents that all work specified in the Scope of Work and authorised by the Works Order (including all Variations to that work order) and has been carried out by the Contractor to a workmanlike standard, is in accordance with any regulations, and is to the satisfaction of Fletcher EQR acting as agent to EQC

1.	All work completed as per approved Scope of Work?	<input checked="" type="radio"/> Y	<input type="radio"/> N
2.	Line by Line check of Scope of Work and Scope Changes is completed	<input checked="" type="radio"/> Y	<input type="radio"/> N
3.	All Variations completed (detail below)?	<input checked="" type="radio"/> Y	<input type="radio"/> N
4.	Any quality issues or minor defects? (detail below)	<input checked="" type="radio"/> Y	<input type="radio"/> N
5.	Any significant deferred work? (detail below)	<input type="radio"/> Y	<input checked="" type="radio"/> N
6.	All consented or restricted work carried out and associated inspections completed (if required)?	<input type="radio"/> Y	<input checked="" type="radio"/> N

* Advise Contractor that PS3, Memorandum of Building and any Inspection records and evidence is required to be submitted at time of invoicing

ALL VARIATIONS COMPLETED (BRIEF DESCRIPTION)

VO1
VO2
VO3
VO4

Hallway / bedrooms

VO per scope

Quality

✓

Y

MINOR DEFECTS

Minor defects are considered those that can be remedied promptly and do not have any impact on the overall quality or finish of the work. The Contracts Supervisor is to follow-up and ensure all minor defects are rectified by the date shown below.

1.
2.
3.
4.
5.

Ref to notes.

Date that all minor defects will be rectified:

9/5/14 CA

10

MS-SF0702 CONSTRUCTION COMPLETION INSPECTION

SIGNIFICANT DEFERRED WORK

Significant Deferred Work is that work defined in the Scope of Work that cannot be completed until a later time (i.e. Garage rebuilds, external painting, awaiting components from overseas etc.).

Brief description:

Proposed Date for commencement of Significant Deferred Work:

/ /



10. SIGNATURES

This is to advise that the earthquake repair work performed under this contract has been reviewed and it has been agreed that works has been completed as per **Approved Scope of Work** and **Approved Variations**, excluding any minor defects noted.

Contract Supervisor

Nick Johnson

Contractor

2/5/14

DAMIAN JOHNSON

Works Manager / EQC (if attending)

2/5/14

/ /

Homeowner (or their authorised representative)

Nicola Gibson

Name

Signature

2/5/14

Date

If the Homeowners signature is not obtained for any reason please state the reason below:



NOTES

- Repair strategy failed in the Family room
- ceiling, Remove & replace, replace lining paper.
- Contractor change of repair to full skin joints all been fiber fused. At contractor's cost.

FOR OFFICE USE

ECM UPDATED

JW

5/5/14

ALL MINOR DEFECTS CONFIRMED AS RECTIFIED*

u

/ /

ALL ACTIONS COMPLETED (PCC Issued etc)

u

/ /

Initials

Date



6 April 2017

██████████
Christchurch City Council
54 Hereford Street
Christchurch



miyamoto.

Subject: 7 Rollesby Street, Hoon Hay, Christchurch 8025
Project Number: 160520

Dear ██████████

Please find enclosed our Structural Repair Package for the remedial structural works at the above address. Miyamoto International NZ Ltd (MINZ) anticipates that this documentation will form the application for Exemption from Building Consent to cover the proposed works. It is our recommendation that no works commence until the building consent exemption is approved by council.

MINZ recommends that the contractor is provided with a full copy of the approved exemption documentation, that a full copy is held on site and that the contractors note the engineers' inspections schedules listed in the same documentation, where applicable.

We trust the above and attached is sufficient for your needs, however please do let us know if you require any further information or have any queries.

Yours sincerely,

Patrick Harvey
Senior Structural Engineer
027 560 3492
Pharvey@miyamotointernational.com

cc,
Aimee Dodge
Earthquake Recovery (EQR)
PO Box 80105, Riccarton
Christchurch 8440
Aimee.Dodge@eqr.co.nz

122 Victoria Street, Christchurch 8013 • PO Box 137, Christchurch 8141 • P 64 03 377 4895
Auckland • Christchurch • Wellington • Christchurch • New Zealand • Costa Rica • Colombia • Haiti
Liberia • Italy • Turkey • India • Nepal • Bangladesh • Thailand • Japan



Structural Repair Package

Address: 7 Rollesby Street, Hoon Hay, Christchurch 8025

Date: 6 April 2017

Project Number: 160520

Client: Fletcher Construction

122 Victoria Street, Christchurch 8013 • PO Box 137, Christchurch 8013 • P 61 03 377 4095
Auckland • Christchurch • Wellington • California • Nevada • Costa Rica • Colombia • Haiti
Liberia • Italy • Turkey • India • Nepal • Bangladesh • Thailand • Japan

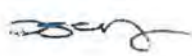

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Structural Design Package Tracking: 7 Rollesby Street, Hoon Hay, Christchurch 8025

Revision	Status	Date	Prepared by	Reviewed by
A	Application for Exemption from Building Consent	6 April 2017	Patrick Harvey	Matt Harris

Authorisation

Author's Signature		Reviewer's Signature	
Name	Patrick Harvey	Name	Matt Harris
Title	Senior Structural Engineer	Title	NZ Engineering Director

Miyamoto International New Zealand Ltd
122 Victoria Street | Christchurch 8013

www.miyamotointernational.co.nz

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Design Features Report

Executive Summary

Miyamoto International NZ Ltd (Miyamoto) has been engaged by Fletcher Construction to develop a Structural Repair Package to remediate the earthquake related damage to the dwelling foundation located at 7 Rollesby Street, Hoon Hay, Christchurch 8025. The design is based on discussions with the client and preliminary documents received from Fletcher Construction.

Site Description

The site is flat and falls under Technical Category 3 (TC3) land category.

Proposed Works

The proposed work is to repair the dwelling foundation only.

The work will comprise of the following:

- Rectification of previous repair work, which will include installing DPC between bearer and new piles, using stainless steel fixings, removal of all temporary props and repair of cracks to the concrete foundation wall.
- Repair to the cracks of the perimeter foundation wall.
- Using the Mainmark method (pressure grouting) or low mobility grout to the lift the slab and concrete perimeter foundation wall to correct the floor levels

All works will be compliant with compliance schedule B1: Structure.

Quality Assurance

The area of the timber floor and perimeter foundation will be raised under the guidance of both the Geotechnical engineer and Structural engineer. The foundation repair work has been designed by a structural CPEng engineer using current Building Code Standards and MBIE Repairing and rebuilding houses affected by the Canterbury earthquakes. For QA/compliance, the structural engineer has provided an Inspection Schedule in order to inspect the works and a Producer Statement Design (PS1).

The floor re-levelling works is to be undertaken by a suitably qualified and experienced contractor, with post repair inspection by the engineer. The subfloor work will be inspected by the engineer after completion. The repair techniques specified are in accordance with accepted repair techniques for earthquake-related repairs including current Building Code Standards and MBIE documentation, with input from a Chartered Professional Engineer (CPEng structural).

During construction, the following inspections will be completed and site records issued on completion.

7 Rollesby Street, Hoon Hay, Christchurch 8025

- Inspect sub floor re-levelling work (packers, flitch plates and fixings) as per the construction drawings.
- Inspect subfloor rectification works.
- Inspect finish Floor level on completion.

Work carried out on site will be completed by a Licensed Building Practitioner and a PS3 will be provided from them in support of the completed works. The contractor is to ensure that access to the subfloor is available until all inspections have been completed and signed off.

Appendices

A.1: PS1



Building Code Clause(s): _____

PRODUCER STATEMENT – PS1 – DESIGN*(Guidance on use of this form are printed on the reverse side)***ISSUED BY:***(Design Firm)***TO:***(Owner/Developer)***TO BE SUPPLIED TO:***(Building Consent Authority)***IN RESPECT OF:***(Description of Building Work)***Miyamoto International (NZ) Ltd****Fletcher Earthquake Recovery (FEQR)****Christchurch City Council****Residential Rebuild following earthquake damage.****The proposed work is to repair the dwelling foundation only.****The work will comprise of the following:**

- Rectification of previous repair work, which will include installing DPC between bearer and new piles, using stainless steel fixings, removal of all temporary props and repair of cracks to the concrete foundation wall.
- Repair to the cracks of the perimeter foundation wall.
- Using the Mainmark method (pressure grouting) or low mobility grout to the lift the slab and concrete perimeter foundation wall to correct the floor levels

All works will be compliant with compliance schedule B1: Structure.**7 Rollesby Street, Hoon Hay, Christchurch 8025****AT:***(Address)***Town/City:** **Christchurch** **LOT:** **47** **DP:** **22401** **SO:** _____

We have been engaged by the owner/developer referred to above to provide:

Specific structural design of house foundation.services in respect of the requirements of Clause(s) **NZS1170, NZBC (B1/VM4)** of the Building Code for:☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☐ Compliance Documents issued by Ministry of Business, Innovation & Employment: _____ or
(verification method/acceptable solution)☐ Alternative solution as per the attached schedule _____

The proposed building work covered by this producer statement is described on the drawings titled:

7 Rollesby Street, Hoon Hay, Christchurch 8025and numbered: **160520: RS01, RS02, RS03, RS04, RS06**

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:(i) Site verification of the following design assumptions: The sub grade beneath new foundations have been confirmed by a geotechnical engineer. Conditions as detailed on drawings, actual field conditions to be verified by contractor. Any discrepancies to be reported to engineer.

(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b) the persons who undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring / observation:

☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ as per agreement with owner/developer (Architectural)I, **Peter Lam** am: ☒ CPEng **251479** # ☐ Reg Arch _____ #
(Name of Design Professional)I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: _____

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*

The Design Firm is a Member of ACENZ: ☒

SIGNED BY: Peter Lam

(Name of Design Professional)

(Signature) ON BEHALF OF: Miyamoto International (NZ) Ltd

(Design Firm)

Date 28/02/2017

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.

THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, IPENZ AND NZIA

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suit of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design	Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;
PS2 Design Review	Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent ;
PS3 Construction	Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011 ²
PS4 Construction Review	Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate. This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5 for Engineers³). The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

¹ Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2013

² NZIA Standard Conditions of Contract SCC 2011

³ Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)

⁴ PN Guidelines on Producer Statements

www.acenz.org.nz

www.ipenz.org.nz

www.nzia.co.nz



CONSTRUCTION MONITORING REQUIREMENTS

Level of monitoring required: CM2 (see inspection schedule on next page)

Level	Review	Comment
CM1	Monitor the outputs from another party's quality assurance programme against the requirements of the plans and specifications. Visit the works at a frequency agreed with the client to review important materials of construction critical work procedures and/or completed plant or components. Be available to advise the constructor on the technical interpretation of the plans and specifications	This level is only a secondary service. It may be appropriate where - For the design consultant when another party is engaged to provide a higher level of construction monitoring or review during the period of construction or - When the project works are the subject of a performance based specification and performance testing is undertaken and monitored by others.
CM2	Review, preferable at the earliest opportunity, a sample of each important work procedure, material of construction and component for compliance with the requirements of the plans and specifications and review a representative sample of each important completed work prior to enclosure or completion is appropriate. Be available to provide the constructor with technical interpretation of the plans and specification.	This level of service is appropriate for smaller projects of a routine nature being undertaken by an experienced and competent constructor and where a higher than normal risk of non-compliance is acceptable. It provides for the review of a representative sample of work procedures and materials of construction. The assurance of compliance of the finished work is dependent upon the constructor completing the work to at least the same standard as the representative sample reviewed.
CM3	Review, to an extent agreed with the client, random samples of important work procedures, for compliance with the requirements of the plans and specifications and review important completed work prior to enclosure or on completion as appropriate. Be available to provide the constructor with technical interpretation of the plans and specifications.	This level of service is appropriate for medium sized projects of a routine nature being undertaken by an experienced constructor when a normal risk of non-compliance is acceptable.
CM4	Review, at a frequency agreed with the client, regular samples of work procedures, materials of construction and components for compliance with the requirements of the plans and specifications and review the majority of completed work prior to the enclosure or on completion as appropriate.	This level of services is appropriate for projects where a lower than normal risk of non-compliance is required.
CM5	Maintain personnel on site to constantly review work procedures, materials of construction and components for compliance with the requirements of the plans and specifications and review completed work prior to enclosure or on completion as appropriate.	This level of service is appropriate for - Major projects -Projects where the consequences of failure are critical -Projects involving innovative or complex construction procedures. The level of service provides the client with the greatest assurance that the completed work complies with the requirements of the plans and specifications.

CONSTRUCTION MONITORING REQUIREMENTS

Number of inspections expected for level of monitoring indicated above:

1/ Inspect ground bearing capacity

2/ Inspect sub floor re-levelling work (packers, flitch plates and fixings) as per the construction drawings.

3/ Inspect subfloor rectification works.

4/ Inspect finish Floor level on completion.

- a. Construction monitoring inspections must be completed by the engineer to enable a PS4 to be issued.
- b. Please allow a minimum of 48hrs (2 working days) notice prior to requiring an inspection.
- c. The engineer may combine the inspections noted above, or require further inspections, at his/her discretion.

All/any enquiries to be directed to our Christchurch Office:

Patrick Harvey C/- Miyamoto International (NZ) Ltd
122 Victoria Street
Christchurch 8013
New Zealand
Phone: 03 377 4095

A.2: LBP

Form 2A

Memorandum from licensed building practitioner: Certificate of design work Section 45 and Section 30C, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: 7 Rollesby Street

Suburb: Hoon Hay

Town/City: Christchurch

Postcode: 8025

THE OWNER

Name(s):

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies (✓)	
<input type="checkbox"/>	sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design myself – no other person will be providing any additional memoranda for the project
<input type="checkbox"/>	lead designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
<input type="checkbox"/>	lead designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memoranda relating to their specific RBW design
<input checked="" type="checkbox"/>	specialist designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I, Peter Lam supervised the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
Tick (✓) if included Cross (X) if excluded	[If appropriate, provide details of the restricted building work]	[Specify whether you carried out this design work or supervised someone else carrying out this design work]	[If appropriate, specify references]

Primary structure

All RBW Design work relating to B1	()		() Carried out () Supervised	
Foundations and subfloor framing	(✓)	<i>Foundation repair</i>	() Carried out (✓) Supervised	See plans and refer to attached design features report
Walls	()		() Carried out () Supervised	
Roof	()		() Carried out () Supervised	
Columns and beams	()		() Carried out () Supervised	
Bracing	()		() Carried out () Supervised	
Other	()		() Carried out () Supervised	

EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2

(This section was removed as it is not applicable to the designer's scope of works)

FIRE SAFETY SYSTEMS: C1 – C6

(This section was removed as it is not applicable to the designer's scope of works)

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

WAIVERS AND MODIFICATIONS

Waivers or modifications of the building code are required (✓) Yes () No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>
B1	<i>This memorandum applies only to those parts of the building that we propose to repair or replace. We are unable to certify other parts of the building outside of the scope of the proposed repairs/replacement.</i>

ISSUED BY

Name: Peter Lam		LBP or Registration number: 251479	
The practitioner is a:		() Design LBP () Registered architect	(√) Chartered professional engineer
Design Entity or Company (optional): Miyamoto International NZ Ltd			
Mailing address (if different from below):			
Street address / Registered office: 122 Victoria Street			
Suburb: Central Christchurch		Town/City: Christchurch City	
PO Box/Private Bag: PO Box 137		Postcode: 8013	
Phone number: 03 377 4095		Mobile:	
After Hours:		Fax:	
Email address: plam@miyamotointernational.com		Website: Miyamotointernational.co.nz	

DECLARATION

I Peter Lam

BE(Hons)Civil, MIPENZ, CPEng

state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code; or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature:



Date: 06/04/17

A.3: MINZ Engineering Report and Associated Drawings

STRUCTURAL ASSESSMENT REPORT 01

Claim Number: CLM/2011/147051 Inspection Date: 19.12.2016
 Report Number: 01 Report Date: 20.01.2017
 Project Location: 7 Rollesby Street, Hoon Hay
 Prepared By: Daven Nair

Contact Info:

122 Victoria Street
 Christchurch 8013
 PO Box 137, Cashel Street
 Christchurch 8140
 New Zealand
 +64 (03) 377 4095

Inspection by:

Miyamoto International NZ (MINZ)
 Peter Lam
 Daven Nair

EQC:**Signed:**

Daven Nair

Reviewed:

Patrick Harvey

1. Introduction

Miyamoto International NZ Ltd (MINZ) have been instructed by EQC to carry out a limited visual structural assessment at the above property, on issues identified following completion of a Post Repair Enquiry Subfloor Inspection and Engineering Triage process by FEQR.

1.1 Scope of Works

Our scope of work covered in this report comprises:

1. Complete a visual, non-intrusive site investigation and provide a report stating our findings and our opinion as to the extent of previously carried out remedial works and current floor levels.
2. Determine whether the remedial works as identified, including damage to the foundations if identified, is capable of being repaired.
3. Determine whether or not further releveling is required to achieve a performance based lift.

4. Provide suitable repair methodologies if the house is capable of being repaired, including indicative plans/drawings/sketches as appropriate.

1.2 Methodology

In order to prepare this report, we have undertaken the following;

1. Review the following documents:
 - a. Fletcher EQR (FEQR) Technical Correspondence report MS-SF2010 dated 21.09.2016 and related FEQR file documents related to claim number CLM/2011/147051 as listed in the FEQR report.
 - b. Ministry of Business, Innovation and Employment guidance document, "Repairing and Rebuilding Houses Affected by the Canterbury Earthquakes", December 2012, Version 3 (MBIE) and additional updates.
2. Inspection of the property and carry out a visual non-intrusive investigation of the house, subfloor and perimeter concrete foundations, including identification and review of previously carried out remedial works to the subfloor and earthquake damage to the existing perimeter foundation.
3. Undertake a floor level survey using a "Technidea Zip Level Pro 2000".
4. Record and photograph observed damage as appropriate.

2. Summary of Site Observations and Discussions

The original scope of the repair work involved the following:

- Jack and pack/notch bearers to achieve target levels.
- Repair of cracks to the perimeter foundation wall.

Below are the findings of the site inspection:

1. A walk-over inspection was carried out around the dwelling. There are a number of locations where cracks are present on the concrete perimeter foundation wall (photo 1), the cracks are less than 0.5mm wide. Some of the cracks appear to have been repaired but it is difficult to determine whether they have been repaired correctly as it has been plastered over (photo 2). The concrete foundation wall under the decked area was not inspected due to the lack of access.
2. The extension at the eastern side was constructed approximately 9 years ago (built 2007) and the extension appears to be founded on a concrete slab. The original construction of the house is suspended timber floor with a perimeter foundation wall.
3. New windows (aluminum joinery) have been installed recently (post-earthquake).
4. A floor level survey was carried out throughout the house and focused on areas where the previous survey by FEQR had identified floor gradients exceeding 1:200. Based on the level survey, the maximum recorded floor variation is 60mm in the house.

- a. Based on the level survey, the levels have improved on the western side of the property. The recorded floor slopes are marginally greater than 1:200 on the western side (where works have been carried out), but is considered acceptable as a performance based lift.
 - b. Based on the level survey, the eastern side of the property (extension area) does not appear to have any floor levelling works carried out.
5. The FEQR Post Repair Enquiry (PRE) report dated 19/04/2016 identified the following:
 - a. One tilting pile close to the perimeter wall observed (photo 3).
 - b. 7 packed piles with plastic packers observed. 3 of them notched and packed. All packers not fixed to bearer (photos 4 and 5).
At one location (near the chimney area, photo 4) a bearer is supported by a stringer which is bolted to the foundation wall. This is not considered to be an acceptable solution.
 - c. Bearer to pile fixings are not as per FEQR detail.
 - d. Flitch plates missing on notched bearers.
 - e. One crack on the internal face of the concrete perimeter foundation wall noted less than 5mm wide (photo 6).
6. A brief discussion was carried out with the Home-owner. The Home-owner had no concerns or expressed any views.

3. Geotechnical Considerations

MINZ geotechnical engineers, together with MINZ structural engineers, reviewed the geotechnical logs and reports provided by Fletcher Construction, in conjunction with the New Zealand Geotechnical Database (NZGD) to identify relevant information pertaining to this site.

KGA Geotechnical, on behalf of MINZ, carried out the following shallow ground investigation on 3 March 2017 comprising:

- 2 hand-augered (HA) boreholes and dynamic cone penetration (DCP) tests (logs attached).

Based on the analysis of the shallow geotechnical investigations, together with the existing information, we consider the following to be relevant and applicable to complete the proposed remediation strategy:

- The property is located on TC3-mapped land.
- Groundwater was encountered at 2.0m below ground level (bgl) during the on-site subsurface investigation.
- The GNS Science Median Groundwater Surface Elevations Layer on the NZGD indicates a median groundwater table between ground level and 1.0m bgl.
- MINZ geotechnical engineer identified a Geotechnical Ultimate Bearing Capacity (GUBC) of 200 kPa at 0.5m bgl in natural soils for re-levelling purposes. A GUBC of 300 kPa was identified at 1.9m bgl. This should be confirmed at the base of the excavation during the

construction phase. There are no restrictions with regard to re-levelling strategies on this site.

4. Recommendation

In our professional engineering opinion, taking into account the relevant engineering standards and codes, including Table 2.3 of the MBIE Guidance, re-levelling of the floor is required to achieve a performance based lift and meet MBIE Guidance tolerances.

1. We recommend that the following floor areas be re-levelled to the targeted levels indicated on the attached floor plan:
 - Floor area on the eastern side (extension) as indicated on RS02 – by lifting the concrete slab and perimeter beam as shown on RS02 using a low mobility grout injection system.
2. The re-levelling should be undertaken using the current FEQR specified repair techniques. This will include the following work:
 - Removal of existing floor coverings/tiles in the affected rooms and placing aside for reuse.
 - Using a specialist Contractor to inject low mobility grout below the slab and concrete beam to correct the floor levels as indicated on RS02. The proposed re-levelling plan and target levels are indicators only and when lifting, the levels are only to be adjusted as long as the benchtops are level, the doors and windows are functional and there is no additional damage to the building structure. The Contractor is to monitor doors and windows, any horizontal surfaces and wall linings. If damage is resulting due to floor re-levelling, work should be stopped immediately. It is envisaged that the concrete foundation beam will be lifted in increments.
 - Re-checking after works using Ground Penetrating Radar testing to ensure that there are no voids under the slab.
 - Reinstatement of the floor and floor coverings as required.
 - Please note that the specialist contractor will need to provide sufficient geotechnical investigation/advice to confirm the proposed technique.

We also recommend that issues with workmanship of previous sub-floor repairs (as identified in Post Repair Enquiry report) are rectified. This will include:

- Repair of all cracks as per FEQR specifications (RS06).
- Fixing of the packer to the bearer in the subfloor as the FEQR specifications (RS03).
- Fixing of flitch plates to notched bearers as per the FEQR specifications (RS04).
- Fixing of bearer to piles as per FEQR specification for all bearers than have been worked on.

We further recommend that the tilted pile be replaced and the connection of the bearer near the chimney area rectified. This will involve removing the wall plate and ensuring the bearer is fixed to the foundation wall as per NZS 3064: 2011.

5. Attachments

1. Photographs
2. Engineering Design Drawings

6. Limitations

- a. The investigation of the existing building comprised a visual inspection, limited on-site non-destructive investigation and the review of available documentation.
- b. This report is for the structural aspects of the building only. MINZ does not report on cosmetic damage or provide recommendations for cosmetic repairs or those required for weathertightness.
- c. Carrying out works documented in this report does not preclude damage to the building, internal fixtures and fittings resulting from future earthquakes. Buildings with a New Building Standard (NBS) rating of 100% can still experience significant structural and non-structural damage (e.g. internal wall and ceiling treatments, fixtures and fittings, shelves, lights, services, etc.) following a design earthquake event and may be deemed impractical to repair or be unusable for a period.
- d. This report has been undertaken for the client exclusively and is intended for their sole use and benefit. No other party should rely on this report without the prior written consent of Miyamoto International NZ Ltd. MINZ undertakes no duty, nor accepts any responsibility to any third party who may rely upon or use this report. The basis of MINZ's advice and our responsibility to our Client is set out in the terms of engagement with our Client.
- e. The level of pre-earthquake damage and damage exacerbated due to the earthquakes cannot be precisely quantified in all instances. MINZ has carried out this investigation and provided recommendations based on past experiences as a professional engineering firm specialising in seismic assessment and remedial solutions, the expertise of our engineers, and sound judgement based on accepted engineering practices, to the best of our abilities.

A.1: Site Photos

The following photos provide visual references and damage of the property witnessed on the day of the inspection.



Photo 1: Crack on concrete perimeter foundation wall



Photo 2: Plaster over repaired crack



Photo 3: Tilted pile close to concrete perimeter wall

© 2017 Miyamoto International NZ Ltd

This observation is limited to structural elements and their connections that are exposed to view and made accessible by the contractor. Observations made by the structural engineer are not a substitute for general or special inspection requirements.



Photo 4: Packer not fixed to bearer and bearer supported by wall plate



Photo 5: Packer and fixings not as per FEQR detail

© 2017 Miyamoto International NZ Ltd

This observation is limited to structural elements and their connections that are exposed to view and made accessible by the contractor. Observations made by the structural engineer are not a substitute for general or special inspection requirements.



Photo 6: Concrete on inside face of concrete perimeter foundation wall

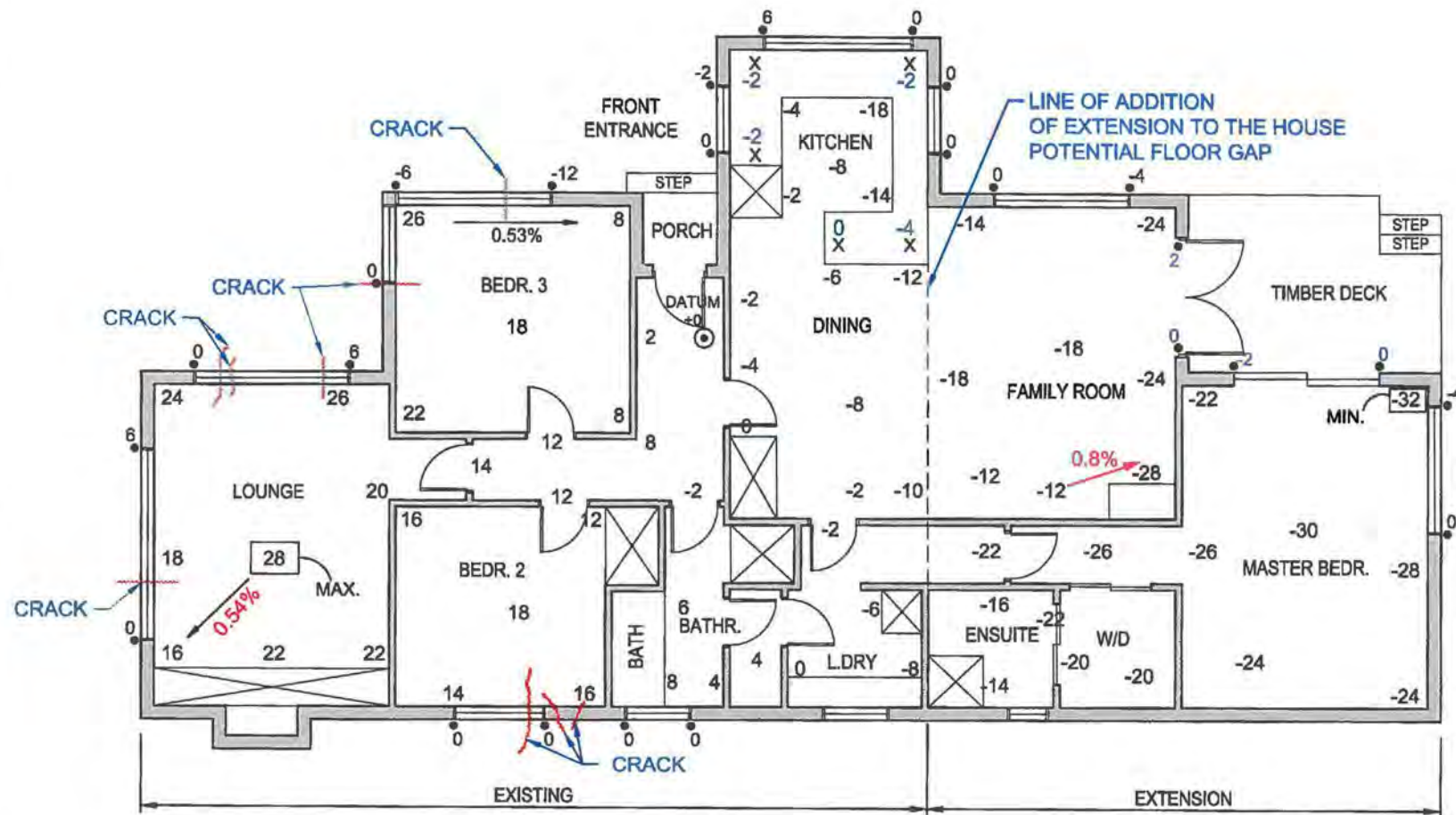
miyamoto.

122 Victoria Street
PO BOX 137 Cashel Street
Christchurch, 8140

T: 64 03 377 4095
miyamotointernational.co.nz
totalseismic@miyamotointernational.com

ENGINEERING DESIGN 7 ROLLESBY STREET, HOON HAY, CHRISTCHURCH 8025

SHEET LIST	
SHEET N°	SHEET NAME
RS01	FLOOR LEVELS
RS02	REMEDIAL WORKS PLAN
RS03	PILE PACKING DETAIL
RS04	BEARER NOTCHING
RS06	FOUNDATION CRACK REPAIR



1 FLOOR LEVELS PLAN
1 : 100 @ A4

LEGEND

⊙	DATUM	0 DATUM
-	22	SPOT LEVEL (mm)
•	00	WINDOW SILL LEVEL (mm)
•	00	DOOR SILL LEVEL (mm)
x	00	BENCH LEVEL (mm)

miyamoto.

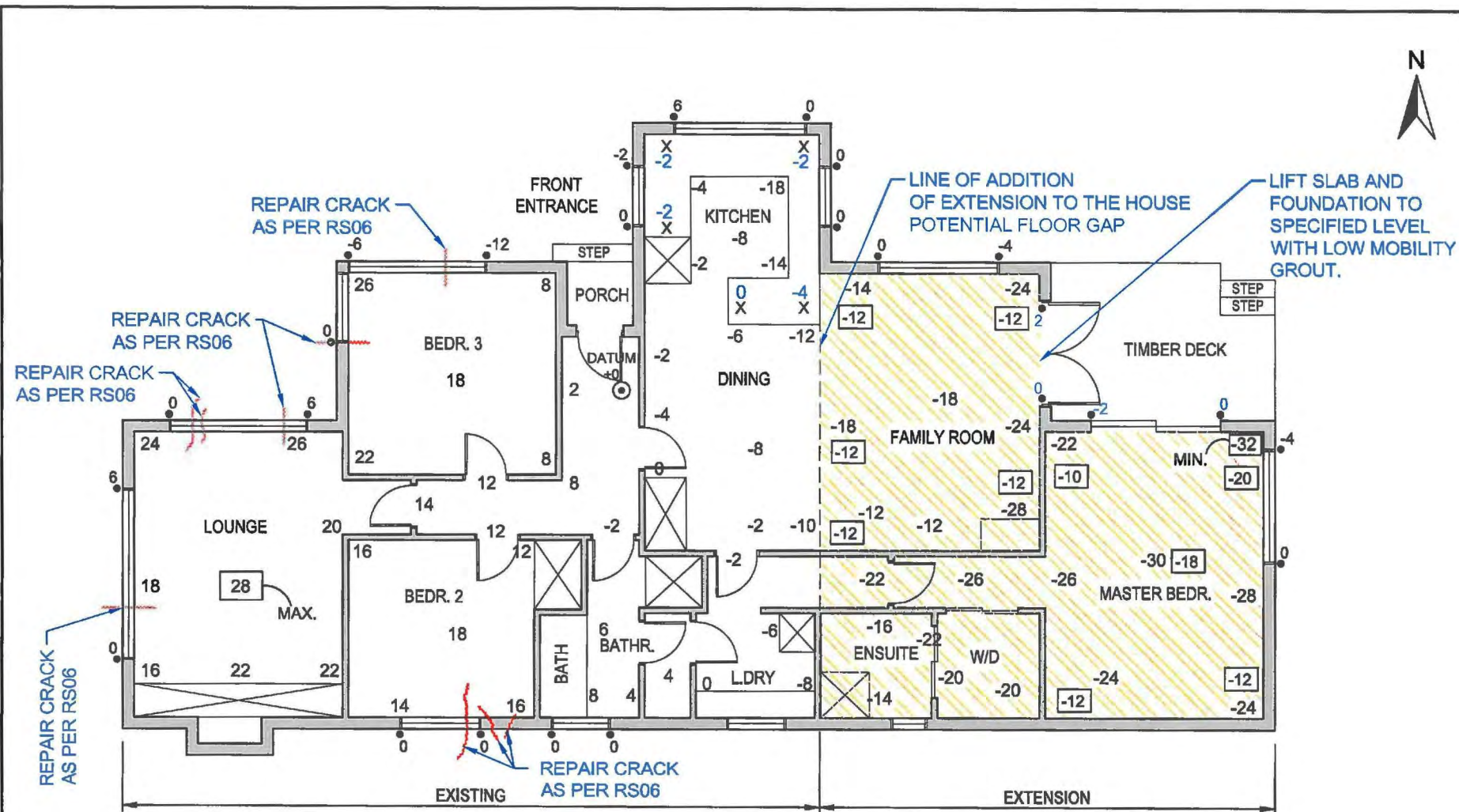
ENGINEERING DESIGN
7 ROLLESBY STREET, HOON HAY,
CHRISTCHURCH 8025

REVISION HISTORY

REV	DATE	DESCRIPTION
A	28/04/2017	FOR COMMENT

CLIENT:	FEQR
PROJECT No.:	180520
DATE:	20-12-2016
DRAWN:	CC
ENGINEER:	PL
APPROVED:	KM
SHEET No.:	SIZE: A4

RS01



1 REMEDIAL WORKS PLAN

1: 100 @ A4

LEGEND

⊙	DATUM	0 DATUM
-	22	SPOT LEVEL (mm)
•	00	WINDOW SILL LEVEL (mm)
•	00	DOOR SILL LEVEL (mm)
x	00	BENCH LEVEL (mm)

miyamoto.

ENGINEERING DESIGN
7 ROLLESBY STREET, HOON HAY,
CHRISTCHURCH 8025

T: 64 03 377 4038
miyamotointernational.co.nz
tola@miyamotointernational.com
123 Victoria Street
PO BOX 137 Cashel Street
Christchurch, 8140

REVISION HISTORY

REV	DATE	DESCRIPTION
A	23/03/2017	FOR COMMENT

CLIENT:	FEQR
PROJECT No.:	160520
DATE:	20-12-2016
DRAWN:	CC
ENGINEER:	PL
APPROVED:	KM
SHEET No.:	SIZE: A4

RS02

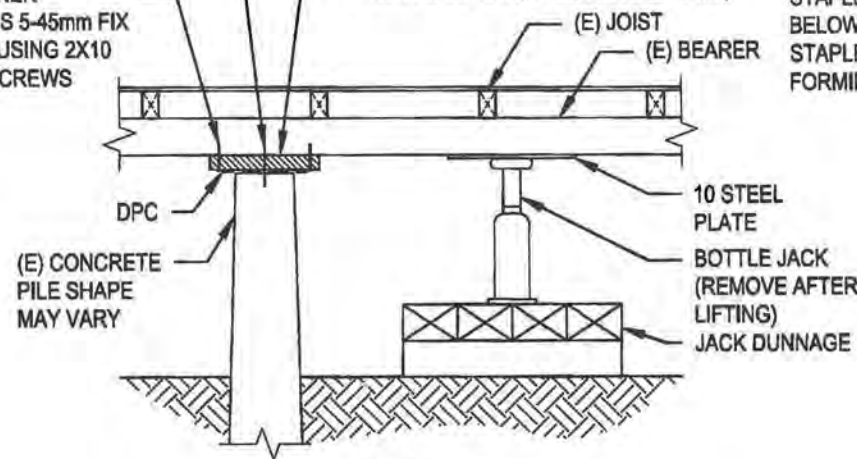
4.0mm SS WIRE THROUGH THE PILE AND STAPLED WITH 4 STAPLES. ONE STAPLE DRIVEN BELOW THE HOOK AND 3 STAPLES OVER THE 2 WIRES FORMING THE HOOK
WHERE PACKER THICKNESS IS 5-45mm FIX TO BEARER USING 2X10 GAUGE SS SCREWS

MAX. 2 LAYERS OF EITHER INCOMPRESSIBLE LOW CREEP PACKER (MIN. THICKNESS 5.0mm) OR H3.2 F8 PLYWOOD (GRADE CD, MIN. THICKNESS 7.0mm ALL CUT EDGES TO BE TREATED WITH TANALITH, CREOSOTE OR SIM.)

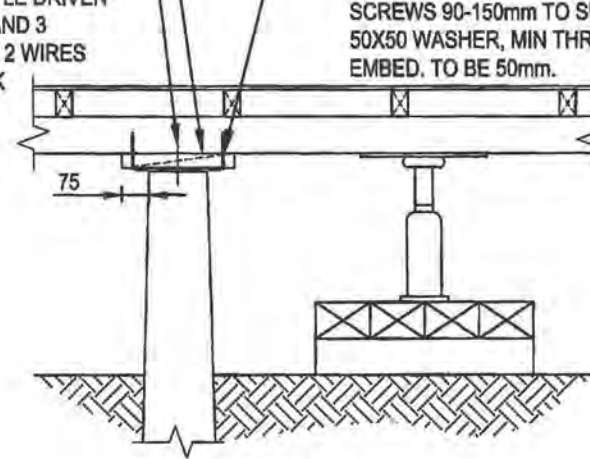
RIPPED TIMBER PACKER H3.2 TREATED THICKNESS= 30-90mm.

4.0mm SS WIRE THROUGH THE PILE AND STAPLED WITH 4 STAPLES. ONE STAPLE DRIVEN BELOW THE HOOK AND 3 STAPLES OVER THE 2 WIRES FORMING THE HOOK

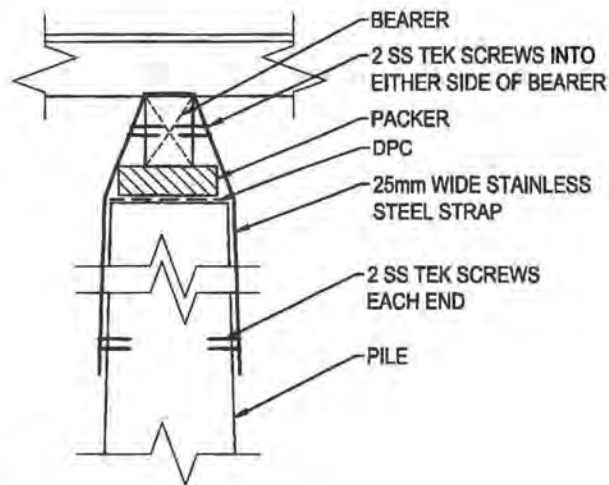
WHERE PACKER THICKNESS IS 5-45mm FIX TO BEARER USING 2X10 GAUGE SS SCREWS. WHERE PACKER THICKNESS GREATER THAN 45mm, FIX PACKER WITH 2 M12 SS. COACH SCREWS 90-150mm TO SUIT, WITH 50X50 WASHER, MIN THREAD EMBED. TO BE 50mm.



PACKING 5-30mm



PACKING 30-90mm



RECONNECTION TO BEARER

1:10

NOTES:

- JACK & PACK EXISTING BEARERS TO LIFT SUBFLOOR FRAMING TO DESIRED LEVEL. REINSTATE CONNECTIONS TO NZS3604:2011 OR TO DETAILS SHOWN.
- USE PLASTIC SHIMS TO PACK BEARER TO APPROPRIATE LEVEL X=5-30mm.
- USE H3.2 RIPPED TIMBER PACKER TO BRING FLOOR TO APPROPRIATE LEVEL, MIN. TIMBER PACKER THICKNESS 30mm.
- ALL SAWN TIMBER PACKERS SHALL BE INSTALLED WITH THE GRAIN PARALLEL TO THE BEARER.
- MAXIMUM PACKING HEIGHT TO BE 90mm OTHERWISE NEW PILES REQUIRED.
- NEW PILE FIXINGS TO COMPLY WITH NZS3604:2011 SECTION 6.
- CONFIRM LEVELS ON SITE PRIOR TO RE-LEVELLING.
- ALL FIXINGS TO BE TYPE 304 SS.
- TO BE READ IN CONJUNCTION WITH ENGINEER'S TECHNICAL REPORT AND SPECIFICATION.
- ALL FIXINGS TO BE APPROXIMATELY PRE-DRILLED TO PREVENT SPLITTING.

PILE PACKING

1:20

miyamoto.

ENGINEERING DESIGN
7 ROLLESBY STREET, HOON HAY,
CHRISTCHURCH 8025

T: 03 377 4005
m: 021 123 4567
PO BOX 197 Christchurch
christchurch 8140

REVISION HISTORY

REV	DATE	DESCRIPTION
A	23/09/2017	FOR COMMENT

CLIENT: FEQR

PROJECT No.: 160520

DATE: 20-12-2016

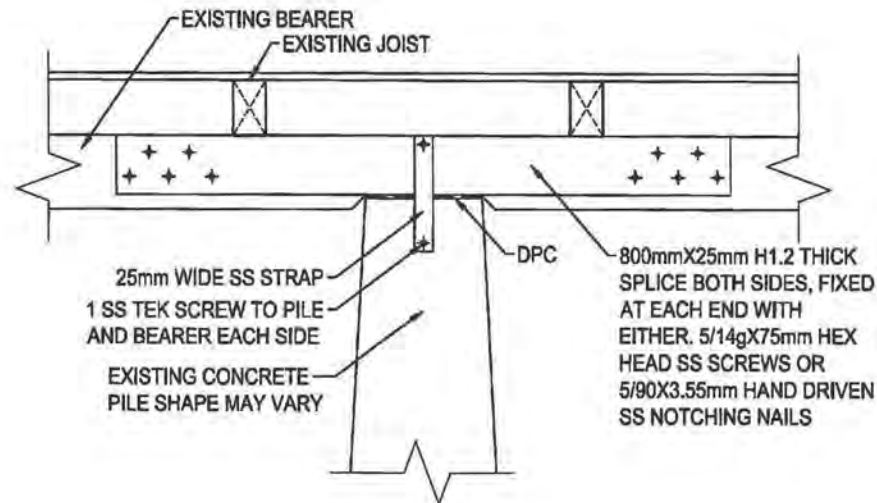
DRAWN: CC

ENGINEER: PL

APPROVED: KM

SHEET No.: SIZE: A4

RS03



NOTES:

- ALL CONSTRUCTION AND FIXINGS IN ACCORDANCE WITH THE BUILDING CODE & NZS 3604:2011.
- ALL STEEL FIXINGS TO BE TYPE 304 SS.
- ALL NEW TIMBER SHALL BE RADIATA PINE SG8 GRADE.
- WHERE HARDWOOD TIMBER PREVENTS NAIL DRIVING DRILL PILOT HOLES TO 0.8XDIA OF FIXING TO ASSIST PLACEMENT.
- FOR ALL PILES A DAMP PROOF COURSE OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED BETWEEN THE PILE AND THE FRAMING TIMBER OR PACKER.
- ALL DIMENSIONS SHOWN ARE MIN. UNLESS NOTED OTHERWISE.
- TO BE READ IN CONJUNCTION WITH SPECIFICATION.
- FOR ANCHOR PILES, PLEASE CONTACT THE ENGINEER FOR A SPECIFIC CONNECTION DETAIL.
- MAX NOTCH SIZE $\frac{1}{3}$ DEPTH OF BEARER OR 25mm WHICHEVER IS LESS

BEARER NOTCHING

1:10

miyamoto.

T: 64 03 777 4053
 info@miyamotointernational.co.nz
 total - laminate 2m, wood international.com

ENGINEERING DESIGN
 7 ROLLESBY STREET, HOON HAY,
 CHRISTCHURCH 8025

REVISION HISTORY

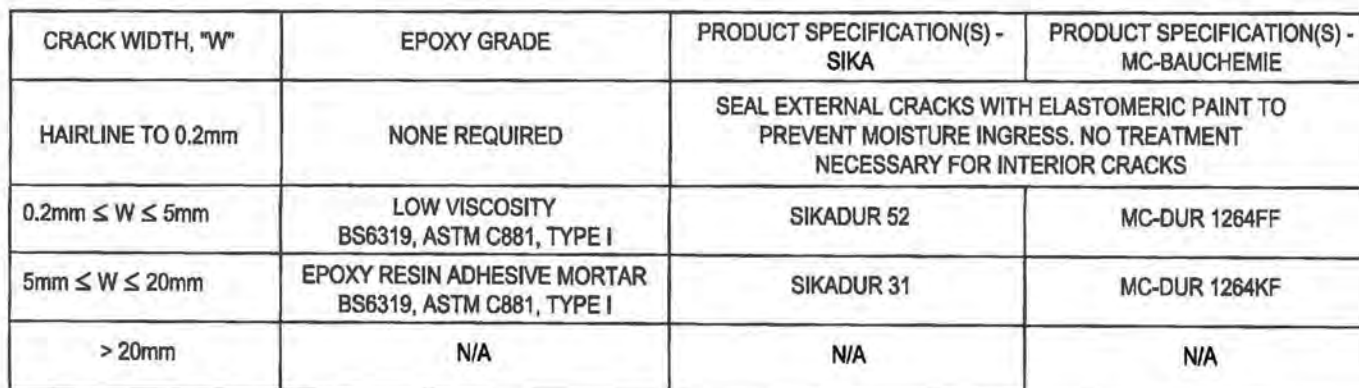
REV	DATE	DESCRIPTION
A	23/09/2017	FOR CONSENT

CLIENT:	FEQR
PROJECT No.:	180520
DATE:	20-12-2016
DRAWN:	CC
ENGINEER:	PL
APPROVED:	KM
SHEET No.:	SIZE: A4

RS04

22 Victoria Street
PO BOX 197 Cashel Street
T: 04 03 377 4115
myamole@emotional.co.nz

ENGINEERING DESIGN
7 ROLLESBY STREET, HOON HAY,
CHRISTCHURCH 8025



1:10

REVISION HISTORY		
REV	DATE	DESCRIPTION
A	25/03/2017	FOR CONSENT

CLIENT:	FEQR
PROJECT No.:	180520
DATE:	20-12-2018
DRAWN:	CC
ENGINEER:	PL
APPROVED:	KM
SHEET No.:	SIZE: A4

RS06

A.4: Application for a Discretionary Exemption for Building Consent Christchurch City Council



24 March 2017

Christchurch City Council
Civic Offices
53 Hereford Street, Christchurch
PO Box 73013
Christchurch, 8154

EARTHQUAKE RECOVERY

Central Office
PO Box 80105, Riccarton
Christchurch 8440
New Zealand
Further queries
EQC 0800 Damage (0800 328 243) or
Email info@eqc.govt.nz
www.eqc.govt.nz

Dear [REDACTED]

Re: Miyamoto International New Zealand Ltd Application for Exemption on CHRP repairs

Fletcher EQR (EQR) is currently working on the remaining CHRP claims for 2017. Miyamoto International New Zealand Ltd (MINZ) has been employed by EQR to produce engineer designed reports for a package of properties identified as having outstanding earthquake related damage.

As per the attachment, and our discussions with you on Thursday 23 March 2017, EQR has developed a quality assurance process that MINZ will follow for the construction phase of the claims.

The contractor base that EQR is utilising for 2017 is classified as tier 1 contractors who have been selected through an in-house assessment and accreditation process to perform residential repairs – there are approximately 30 contractors that been selected to continue with the programme. This accreditation, assessment and selection process has been based on the contractors:

- Performance prior to 2017
- Technical ability and capability to perform the construction repairs in 2017
- Qualifications i.e. LBP
- Health and Safety policy and history
- Signing of a Short Form Agreement (SFA) on the NZIA National Building Small works Conditions of Agreement 2010 – the SFA forms a contract between the contractor and the Earthquake Commission (EQC) with EQR administering the contract

Throughout the repair process EQR will remain the project management office for the identified work and will monitor both the contractor and MINZ as its contractual obligations between EQC and EQR.

Yours faithfully,

A handwritten signature in black ink, appearing to read "Paul King".

Paul King
Technical Services Manager
The Fletcher Construction Company Limited

Attachments:

1. EQR Quality Assurance flow chart

Work Instruction

FEQR Construction Monitoring Process and Sign-off

Quality Assurance Process on CHRP (Christchurch Recovery Programme) MINZ Claims



LEGEND:

CON	Contractor	MINZ	Miyamoto International NZ Ltd
CS	Contract Supervisor	PS3	Producer Statement 'Construction'
DLP	Defect Liability Period	PS4	Producer Statement 'Construction Review'
FEQR	Fletcher's Earthquake Recovery	RBW	Restricted Building Works
LBP	Licensed Building Practitioner	WM	Works Manager



B1, B2

Building Code Clause(s):

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW(Guidance on use of Producer Statement (formerly page 2) is available at www.ipenz.nz)**ISSUED BY:**

(Construction Review Firm)

Miyamoto International (NZ) Ltd**TO:**

(Owner/Developer)

FEQR**TO BE SUPPLIED TO:**

(Building Consent Authority)

Christchurch City Council**IN RESPECT OF:**

(Description of Building Work)

Residential Repair following earthquake damage

[Note: This PS4 Certificate does not cover the non-structural repair/re-levelling of the concrete slab in the family room and the master bedroom at the West end of the house using Floor Levelling Compound (FLC). This work was not carried out at the specific request of the current home owner].

AT:

(Address)

7 Rollesby Street, Hoon Hay, Christchurch 8025**Town/City:** **Christchurch****LOT:****DP:****SO:**We **Miyamoto International (NZ) Ltd**

(Construction Review Firm)

have been engaged by

FEQR

To provide ☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ observation as per agreement with owner/developer **FEQR**

or ☐ other _____ services

in respect of the requirements of clause(s) **B1, B2** of the Building Code for the building work described in documents relating to Building Consent No. **N/A [Non-Exemption]** and those relating to Building Consent Amendment(s) Nos. **NIL** issued during the course of works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions/variation(s) No. **NIL** (copies attached)

or by the attached Schedule ☐ have been issued during the course of the works.

On the basis of ☒ this review ☐ these review(s) and information supplied by the contractor during the course of the works and on behalf of the firm undertaking this Construction Review, I believe on reasonable grounds that:

☒ All or ☐ Part only of the building works have been completed in accordance with the relevant requirements of the Building Consent and Building Consent Amendments identified above, with respect to the Clause(s) **B1, B2**

of the Building Code. I also believe on reasonable grounds that the persons who have undertaken this construction review have the necessary competency to do so.

I, **Peter Lam** am: ☒ CPEng **251479** # ☐ Reg Arch #

(Name of Construction Review Professional)

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: **BE(Hons) Civil, MIPENZ, CPEng**

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*

The Construction Review Firm is a Member of ACENZ: ☒

SIGNED BY: **Peter Lam**

(Signature)

(Name of Construction Review Professional)

ON BEHALF OF: **Miyamoto International (NZ) Ltd**

(Construction Review Firm)

Date **05 September 2017**

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form is to accompany **Form 6 or 8 of the Building (Forms) Regulations 2004** for issue of a Code Compliance Certificate.

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suit of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design	Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;
PS2 Design Review	Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent ;
PS3 Construction	Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011 ²
PS4 Construction Review	Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate. This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5 for Engineers³). The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

¹ Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2013

² NZIA Standard Conditions of Contract SCC 2011

³ Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)

⁴ PN Guidelines on Producer Statements

www.acenz.org.nz

www.ipenz.org.nz

www.nzia.co.nz





PRODUCER STATEMENT PS3 – CONSTRUCTION

ISSUED BY: BASELEVEL FOUNDATIONS LTD

TO FLETCHER EQR

IN RESPECT OF: Under floor repairs and New Piles .
AT: 7 ROLLESBY STREET

The above Contractor has contracted to Fletcher EQR to carry out and remediate the repairs to the sub floor. Repair tasks have been monitored by EQR engineers at 7 ROLLESBY STREET

Project Description; Remove non- compliant packing to piles under floor and make good packers and connections with stainless steel, repair to notched bearers and install filch plates, install two new timber piles and repair two minor cracks in the ring foundation, as per engineering details.

All work has been supervised by an LBP.

This producer statement is confirmation by the above named contractor that they have carried out the foundation repairs and improvements in Accordance with the drawings, specifications (and site amendments) that are part of the contract and engineers documents.

I Graham Ryken a duly authorised representative of the above company believe on reasonable grounds that the above building contractor has carried out and completed all of the non-structural requirements and works in accordance with the contract and engineers advise. All restricted building work was completed under the supervision of a suitable Licensed Building Practitioner all inspections have been carried out by a Structural engineer.

A handwritten signature in blue ink, appearing to read 'Graham Ryken', written over a dotted line.

Graham Ryken
LBP: 109573, Carpentry, Site 2, F1, F2,

Dated; 7 September 2017
10 Settlers cres
Woolston
Christchurch 8023



Work covered by this statement has been supervised and checked by a suitably qualified tradespersons and Engineer.

It is confirmed that all work has been carried out in accordance with the relevant Building Code clauses associated with this project.

B1, B2,

Code Clauses relevant to this project include (but not limited to);

B1 – structural; B2 – durability; C2 – Means of escape; D1 – Access; E1 – surface water; E2 – external moisture; F2 – hazardous building materials; F4 – safety from falling; F7 – warning systems;

Items that have been performed by this contractor that may have been missed from being inspected by Building Consent Authority or Engineer etc. are specifically noted below;

Disclaimer;

The following items are elements that may be regarded as non-compliant or past poor trade practice, but this company has not been engaged to remedy, we have however raised the issue with the owners or others, with possible solutions;

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: **7 ROLLESBY STREET**

Suburb: **HOONHAY**

Town/City: **CHRISTCHURCH**

Postcode: **8025**

THE PROJECT

Building consent number: **2017/2665**

THE OWNER(S)

Name(s): **NICOLA GIBSON**

Mailing address: **7 ROLLESBY STREET**

Suburb: **HOONHAY**

PO Box/Private Bag:

Town/City: **CHRISTCHURCH**

Postcode: **8025**

Phone number

Email address:

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK		
PRIMARY STRUCTURE		
Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input checked="" type="checkbox"/>	REPAIRS TO NON COMPLIANT CONNECTIONS	<input checked="" type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised
Walls <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Bracing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS		
Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: **Graham Ryken**

LBP number: **BP 109573**

Class(es) licensed in:

Site 2, Carpentry, F1, F2.

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: **10 Settlers Cres**

Suburb: **Woolston**

Town/City: **Christchurch**

PO Box/Private Bag

Postcode:

Phone number:

Mobile: **0212465037**

After hours: **0212465037**

Fax:

Email address: **graham@baselevel.co.nz**

Website: **www.baselevel.co.nz**

DECLARATION

I, **Graham Ryken** carried out or supervised the restricted building work recorded on this form.

Signature:



Date:

7-9-2017

Schedule **E1(a) Contractor's Producer Statement for Construction PS3**

Contract: CLM/2011/147051

Location: 7 Rollesby St

Issued by

Contractor: Maintain Canterbury Limited

LBP Licence No BP105279

Preamble

The Contractor is required to complete this Producer Statement for Construction PS3 within 5 days of the completion of the Contract Works and issue it to the Hub Supervisor.

This Producer Statement will be relied upon to confirm that the Building Works has, to the best of the Contractors knowledge, been performed in compliance with the NZ Building Code.

Statement IMike Barnsley..... (name of LPB) undertook or supervised the following building work and confirm that I am satisfied on reasonable grounds that the work performed is in compliance with the NZ Building Code and, where a building consent is applicable, in compliance with the Building Consent.

Description of the work covered by this statement:

Claim Number:CLM/2011/147051

Earthquake repairs and redecoration as per EQC Scope of works and approved variation orders.

Signed by/date:



20/4/14

(Date signed)

MS-SF0509



FINAL ACCOUNT AGREEMENT

CLAIM NUMBER:

2011

147051

Property Address: 7 Rollesby St

Date 5/05/14

Hoon Hay

Hub Blenheim

Christchurch

Contracts Supervisor Nick Johnson

Property Contact Name: Nicola Gibson

Contractor Details Maintain Canterbury Ltd

Accreditation No EQRC0313

Contact details Ph. (1) 03 9290080

Ph. (2) 021 567361

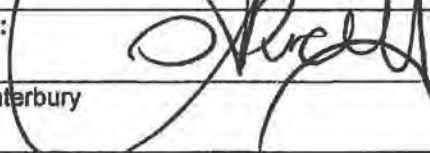
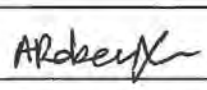
email admin@maintaincanterbury.co.nz

Original Contract Value	(Ex GST)	\$ 36767.46
Variations	(Ex GST)	\$ 2017.94
Final Contract Value	(Ex GST)	\$ 38785.40
Less Previous Payments	(Ex GST)	\$ 31431.90
GST Amount		\$ 5817.81
Amount for Final payment	(Including GST)	\$ 8456.51

We hereby confirm that this statement represents the full and Final Contract Value and amount outstanding for all matters relating to this subcontract.

Contract Start Date: 5/3/14

Contract Finish Date: 30/4/14

Signature of Contractor:		Date: 5/05/14
Print Name: Shaun Matthews		
Signature of Contracts Supervisor:		Date: 5/05/14
Print Name: Nick Johnson		
Signature of Quantity Surveyor:		Date: 5/05/14 7/5/14
Print Name: Shaun Matthews ALYN ROBERTS		

MS-SF2014



EXEMPT BUILDING WORKS RECORD

THIS IS A RECORD OF THE DECISION TO COMPLETE EARTHQUAKE REPAIRS WITHOUT BUILDING CONSENT AS THE WORKS DESCRIBED HAVE BEEN DETERMINED AS EXEMPT FROM THE NEED FOR BUILDING CONSENT.

Claim Number 2011 / 147051

Street Address 7 Rollesby Street

Suburb Hoon Hay

City/Town Christchurch

A brief description of the work is as follows (and as otherwise described within the body of the claim file);

Remedial work to subfloor fixings
Pile replacement
Crack repair to perimeter foundation

Accordingly I have determined that this work is exempted under Schedule 1 (1) of the Building Act 2004

Name (print) Ivan Andric Signature [Signature]

Position Contract Supervisor Hub Central Date 14/9/17

Provided to homeowner/agent Name) Date
(Provided to the property owner or his/her authorised agent on request only).

Note¹ The homeowners/agents may apply for exemption status if the building work falls within Exempted building work under Schedule 1 to the Building Act 2004. This exemption information should be read in conjunction with any supplementary guidance issued by The Ministry of Business Innovation & Employment and by the relevant Councils (i.e. - CCC Form B390).

Note² Only work that falls within, Part 1, clauses 3-31 of Schedule 1 to the Building Act 2004 is recorded on this form.

Note³ Work exempted under Part 2 of Schedule 1 to the Building Act 2004 is not to be recorded on this form. For this work, claimants should refer to the formal "Exemption from building consent" records of the relevant City or District Council



19 April 2017

Miyamoto International New Zealand Limited
PO Box 137
Christchurch
Christchurch 8140

Dear Sir/Madam

Building Act exemption: BCN/2017/2665
7 Rollesby Street Hoon Hay
Structural Repair

Building Act exemption approved

We have considered your application, under Schedule 1, clause 2(a) of the Building Act 2004, for exemption from the requirement to obtain building consent.

We are satisfied that the completed work is likely to comply with the building code, provided it is carried out in accordance with your proposal. Therefore, your application has been approved.

You can download stamped copies of your proposal documents from onlineservices.ccc.govt.nz. Please forward copies to the building owner.

Advice

- All building work must comply with the Building Act, building code, and all other applicable laws.
- This letter does not provide any approval that may be required, other than that stated.
- This approval is valid if the work is completed within two years of **19 April 2017**.
- Ensure all works also comply with the Christchurch City Plan, contact the duty planner on 941 8999 with any queries on this.
- Please ensure all quality assurance procedures offered in the application are followed, including engineer construction monitoring and written sign off via producer statements. Construction Review Statement (PS4) and supporting evidence (Construction statements, site records/reports, photographs etc) should be provided to council on completion – propertyfileinfo@ccc.govt.nz

As the Council does not inspect the work, it is recommended that completion verification documents be supplied to the Council on completion of the work. These will be placed on the file for the property, and may prove beneficial for future enquiries (for example, land information memoranda (LIMs) or property file requests).

Yours sincerely



Andrew Eames
Building Control Officer
Building Certification & Exemption Team
Consenting & Compliance Group

MS-SF0409



EXEMPT BUILDING WORK FILE RECORD

CLAIM NUMBER:

2011 147051

THIS IS A RECORD OF THE DECISION TO COMPLETE EARTHQUAKE REPAIRS WITHOUT BUILDING CONSENT. THE WORKS DESCRIBED HAVE BEEN DETERMINED AS EXEMPT FROM THE NEED FOR BUILDING CONSENT.

PROPERTY ADDRESS: 7 Rollesby Street
PROPERTY CONTACT NAME: Nicola Gibson

DATE: 2/5/14
HUB: Blenheim Road.
CONT. SUPERVISOR: Nick Johnson

CONTACT DETAILS: PH.(1) EMAIL:
PH.(2)

CONTRACTOR: Maintain Canterbury
SITE SUPERVISOR NAME:

CONTACT DETAILS: PH. EMAIL:

A brief description of the work is as follows (and as otherwise described within the body of the claim file);

As per scope.

Accordingly I have determined that this work is exempted under Schedule 1() of the Building Act 2004

This assessment and record was completed by myself as an authorised agent of The Fletcher Construction Company Limited, acting under the delegated authority of the company to determine exempted work on behalf of the owner.

Provided to homeowner/agent Name:  Date: 6/5/14
(provided to the property owner or his/her authorised agent on request only).

Note¹ The homeowners/agents authority to apply Exemption status is given in the Building Act 2004, Schedule 1, this exemption information is augmented by supplementary guidance issued by The Department of Building & Housing and by the relevant Councils (i.e. - CCC Form B390).

Note² Only work prescribed within Schedule 1(a- j) and (m & n) of the Building Act 2004 is recorded on this form.

Note³ Work Exempted under Schedule 1(k) of the Building Act 2004 is not to be recorded on this form. Claimants should refer to the formal "Exemption from building consent" records of the relevant City or District Council. (viewing EQR Aconex File Recording System may assist).

Note⁴ For background information refer to 'Your guide to the repair process (with Fletcher EQR)' the home owners information bulletin provided by EQR staff, usually the Community Liaison Officer, just prior to or at the time of the scoping of the works.

Note⁵ This record applies to earthquake damaged residential buildings in the Canterbury Region following earthquake events of 2010/2011.

Note⁶ Building remediation work for the majority of Fletcher EQR projects is completed by Licensed Building Practitioners (LBP's)

Note⁷ This record will usually be completed by the Contracts Supervisor, but may be completed by his/her immediate (Hub) Works Manager.

Note⁸ This record is held in the Fletcher EQR Aconex File Recording System (an online information management system).

FILING AN EXEMPT BUILDING WORK RECORD EXPLANATORY NOTE

Every EQR project is required to comply with both the Building Act (2004) and its Regulation (1992).

Building work usually entails the issuing of a building consent to the property owner or their authorised agent. On completion of the work the local or district Council 'signs off' that work and issues a Code Compliance Certificate (a CCC) confirming compliance with the Building Act. The Council is also compelled to hold that information on its property files. This record is heavily relied on for its completeness at the time that properties change hands.

It's estimated that 90%¹ of Fletcher EQR Projects won't need a Building Consent because they're exempted under criteria set in the first Schedule of the Building Act. The majority² of all exempted work may be completed "as of right", no Council approval is required (the exception is Schedule 1 Item [K] of the Act).

This creates a unique situation and potential problem for homeowners as Fletcher EQR customers.

The issue is that the Exemption process has no requirement to create file records of the sort that Councils keep on individual property files. The property file is used to detail "all that the Council knows" when a LIM³ is requested.

A LIM⁴ can be requested by anyone, it's most commonly sought by a potential buyer at the time of a possible sale.

In the EQR 'Homeowners Guide' (p2, 'Building Consent Issues') we have specifically discussed the issue of Consents and exemptions. We have undertaken to act as agent in making Consent or Exemption decisions. We have also undertaken to assist with documentation and to make available that record if the homeowner wishes. The record is supplied for the homeowner's personal file but they may choose to lodge it as a formal record with their Council.

For consistency and ease of process we will use the 'Exempt Building Work' form. This should be completed by the Contracts SuperSupervisor at (or about) the time of the scoping exercise as this will usually be the point at which a decision about the need for a consent is made (if the form is not completed then, there's a risk it will be overlooked).

This 'adequacy of file records' is an unfamiliar issue for homeowners, few will understand the significance of the availability of suitable documentation and the importance of filing that information with their respective Councils.

This EQ event is unprecedented and purchaser's legal representatives will be looking for a form of documentation related to repair works. We are assisting Homeowners by anticipating their requests, be they current or future by consistently completing the 'Exempt Building Work' File Record. It must be filed in the Aconex filing system.

When completing the form, the majority of EQR work (99.9%) will fall within the Schedule 1(a) category, it becomes 1(k) only when Council approval has been asked for and given.

Note¹ this stems from the current estimate¹ that somewhere between 10 – 12% of all EQR works will require a Building Consent

Note² Work prescribed within Schedule 1(a- j) and (m & n) of the Building Act 2004. Schedule 1(k) requires Councils (discretionary) approval.

Note³ When each house is transacted, a Land Information Memoranda (a LIM), will be requested by the purchaser's lawyer as a standard part of the conveyance procedure. The LIM records all works completed under a Building Consent (and any item 'K' Exemption where applicable) as well as a myriad of other information relevant to that property. The LIM uptake in Canterbury is one of the highest in New Zealand.

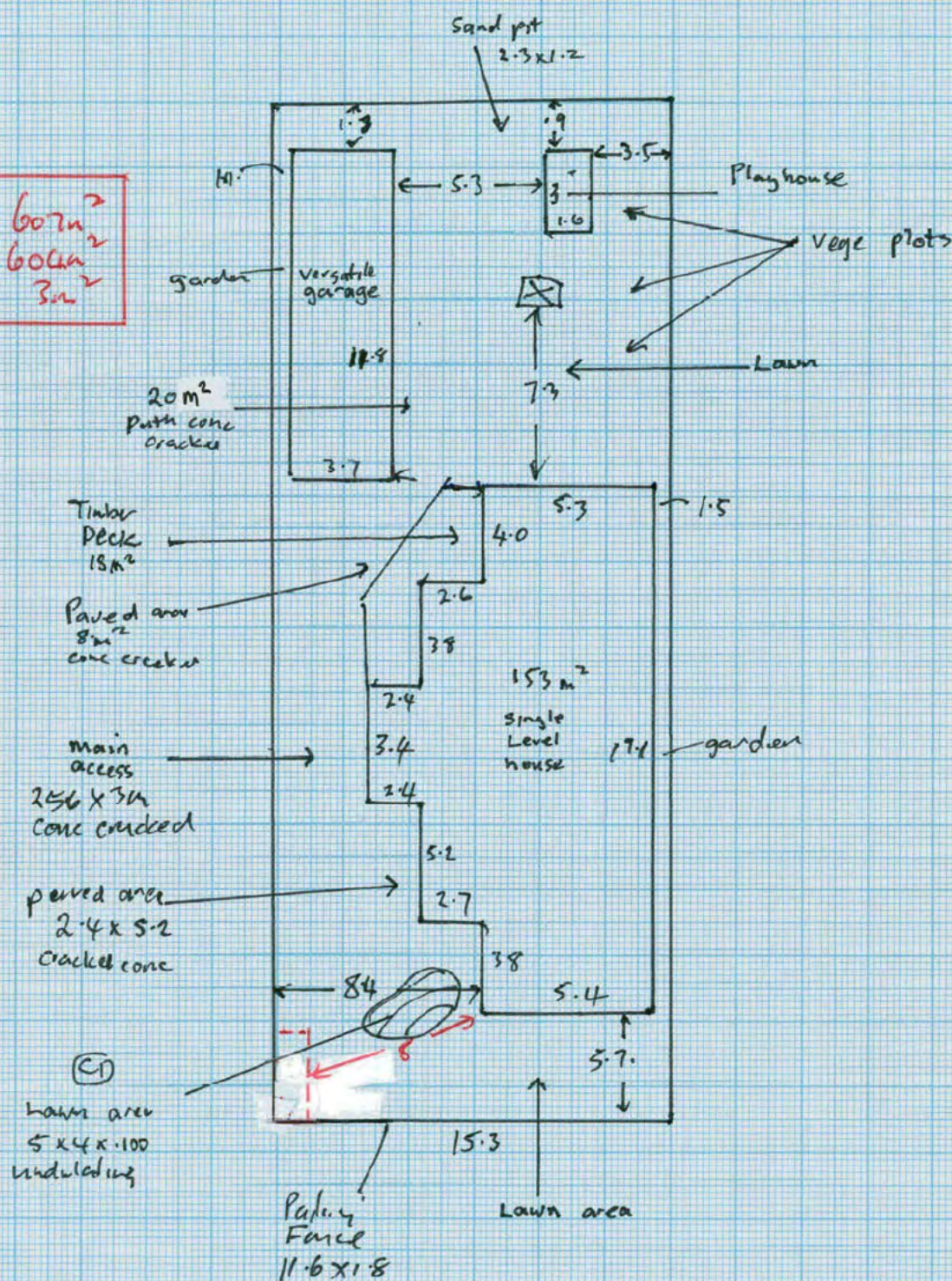
Note⁴ The gaining of a LIM to facilitate a property transaction is driven by LGOIMA, this stands for – 'Local Government Official Information and Meetings Act 1987 No 174 (as at 01 November 2010), Public Act'. S4 (a) requires Councils "to provide for the availability to the public of official information held by local authorities"....4 (b) "to provide for proper access by each person to official information relating to that person". This Act compels the authorities to disclose "what's known" about a property.

LAND DOCUMENTS

The following information contains documents relating to the land assessments that were either cash settled or declined:

The attached land document(s) help NHC Toka Tū Ake identify information that may be relevant to its assessment of your residential land claims. They are not intended to form a complete technical report on land damage to your land. The land information, including valuations, repair costs and estimates, do not necessarily reflect the final land settlement received

18/4/13



power 8m
phone 8m
water 8m
sewer 30m
S/water. 50m

Rollesby ST

CHILD 1914

Scope of Works

EQC

Completed by: Brian GillinDate: 18/4/13 Page: 1 of 1
dd / mm / yy

CLM / 2011 / 147051
 NICOLA GIBSON
 7 ROLLESBY STREET
 HOON HAY
 CHRISTCHURCH
 H: & W: [REDACTED]
 M: [REDACTED]

Description: **Damage to Land**

Repair Strategy: Removal and/or import materials and labour to repair land

20 m²

Description – Removal of Debris/Minor Works	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Transporter- machine	each					\$160	
Machine Hire	hrs					\$110	
Truck Hire	hrs					\$100	
Labour	hrs					\$45	
Contaminated Spoil Removal	m ³					\$100	
Spoil Removal/Tip Fees (clean)	m ³					\$20	
Skip (4m ³)	each					\$190	
Materials	each						

NB A Small/Minor Works cost may only be applied when there is only land repair to the site/property; a total area of damage under 15m²; no further works required

Description - Supply and level hard fill	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Land Under Residential Buildings (Type 'A') – Supply and level hard fill	m ²					\$12	
Land Under Access way (Type 'B') – Supply and level hard fill	m ²					\$12	
Land Under Pavers/Patio/Concrete (Type 'C') – Supply and level hard fill	m ²					\$12	
Land Under Lawn Areas (Type 'C') - Level and Seed	m ²	20	1	100	20	\$10	200
Lateral Spread Cracks under 10mm but greater than 5mm	Lm					\$25	
Lateral Spread Cracks greater than 10mm	Lm					\$90	

* Unit categories to be used as follows:

Each, Sheet, Kilogram, Linear metre, Square metre, Cubic metre, Per hour, Per day, Per week.

Cubic metre calculations must include length, breadth and depth figures.

Square metre calculations must include length and breadth figures.

Sub-total

\$ 200

P&G, Margin & GST (Figure x 1.3662)

\$ 183.16

Total

\$ 273.24^c

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 V1.35, FEB 2013
 18/4/13

Scope of Works

Completed by: Brian Collin

Date:

18/4/13
dd / mm / yy

Page: 1 of 1


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 NICOLA GIBSON
 7 ROLLESBY STREET
 HOON HAY
 CHRISTCHURCH
 H: & W: [REDACTED]
 M:
Description: **Enabling Works – 8/9 – Dwellings**

Dwelling Type

Ring Foundation ☒Piled ☒Concrete Slab ☐Combined Piles/Slab ☒Average finished floor level above ground level: 600 mmUnable to determine ☐ (refer to file note)

Enter this information onto the Enabling Works 8/9 SOW, where P&G, margin and GST will be added.

Description – Creating Access/Reinstating	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Site Establishment	each				1	\$9,000	9000
Dwelling Storage (off site)	each				1	\$5,000	5000
Dwelling Lift 0-150	m ²				1	\$12,200	
150-200	m ²				1	\$13,300	13300
200-250	m ²				1	\$18,500	
250-2 Storey	m ²				1	\$22,000	
Removal of Debris 0-150	m ²				1	\$6,050	
150-200	m ²				1	\$8,250	8250
200-250	m ²				1	\$11,000	
250-2 Storey	m ²				1	\$13,750	
Garage Block	m ²					\$800	
Versatile	m ²				43.66	\$550	24013
Artificial Surfaces	m ²					\$65	
Car Port (reinstate)	m ²					\$200	
Deck (reinstate)	m ²				18	\$240	4320
Patio (reinstate)	m ²					\$185	

Any item where a cost for reinstatement only is provided needs to be costed for deconstruction and removal of waste – assuming that machinery is already on site. Estimate the labour hours and waste volumes below.

Labour	hrs				24	\$45	1080
Contaminated Spoil Removal	m ³					\$100	
Skip (4m ³)	each				2	\$190	380

Total: **65343**
 V1.32, FEB 2013
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 18/4/13

18/4/13

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Page: 1 of 1



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NICOLA GIBSON

7 ROLLESBY STREET

HOON HAY

CHRISTCHURCH

H: & W:

M:

Description:

Enabling Works – 8/9 – Structures

Description – Creating Access/Reinstating	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Transporter- machine	each				1	\$160	160
Machine Hire	hrs				8	\$110	880
Truck Hire	hrs					\$110	
Breaker Hire	day					\$70	
Skip (4m³)	each				2	\$190	380
Contaminated Waste	m³					\$100	
Clean Waste	m³					\$20	
Labour	hrs				8	\$45	360
Pergola/Gazebo	m²					\$100	
Garden Shed/ Glass House	m²					\$100	
Play House/ Sand Pit	sum				2	\$500	1000
Clothes Line/ Kennel	sum				1	\$250	250
Spa Pool	sum					\$1,500	
Swimming Pool (3m dia)	sum					\$1,500	
Swimming Pool (8m x 4m)	sum					\$25,000	
Swimming Pool (15m x 5m)	sum					\$55,000	
B.B.Q	sum					\$1,000	
Pizza Oven	sum					\$1,000	
Fencing 1.8m	l/m				11.6	\$125	1450
Fencing Hebel 1.8m	l/m					\$470	
						Total:	4480



V1.32, FEB 2013
4/19/14

18/4/13

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Page: 1 of 1



NICOLA GIBSON

7 ROLLESBY STREET

HOON HAY

CHRISTCHURCH

H: & W:

M:

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Description:

Enabling Works – 8/9 - Services

Service Type

Sewer

Storm water

Power

Septic Tank

Phone ☒Water Tank ☐Water ☒

Enter this information onto the Enabling Works 8/9 SOW, where P&G, margin and GST will be added.

Description – Creating Access/Reinstating	Units	Length	Breadth	Depth	Quantity	Rate	Cost
Transporter- machine	each				1	\$160	160
Machine Hire	hrs				8	\$110	880
Disconnect/Reconnect	each				5	\$1,000	5000
Sewer	Lm				30	\$120	3600
Storm water	Lm				50	\$110	5500
Power (Underground)	Lm				8	\$68	544
Phone (Underground)	Lm				8	\$30	240
Septic Tank	each					\$18,000	
Water Tank (PVC 10,000 Ltr)	each					\$3,500	
Water (Polybutalyne)	Lm				8	\$50	400
Water Pump (Dis-connect/re-connect)	each					\$500	
					Total	16,324.	

18/4/13
dd/mm/yy

Page: 1 of 1



NICOLA GIBSON
7 ROLLESBY STREET
HOON HAY
CHRISTCHURCH
H: & W: [REDACTED]
M: [REDACTED]

Description:

Enabling Works – 8/9

What is the insured land area to repair (m²)?

607

This sheet summarises costs determined in Enabling Work sheets for structures, services & dwellings.

Please transcribe all sheet figures below and provide a total. Please number all enabling work sheets.

Description is either Services, Dwellings or Structures.

[illegible]

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V1.32, FEB 2013
E D 23/4

nd Sheet



Kōmihana Rūwhenua

Date: 18/4/13

Author: Brian Collins

[illegible]

Total 20.



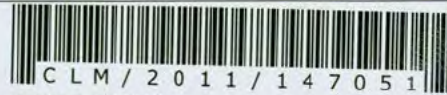
V1.32, FEB 2013

Inspection Summary

EQC

Completed by: Aaron BurnsideDate: 18/4/13
dd / mm / yy

Page: 1 of 1



CLM / 2011 / 147051
 NICOLA GIBSON
 7 ROLLEBY STREET
 HOON HAY
 CHRISTCHURCH
 H: & W: [REDACTED]
 M: [REDACTED]

Time arrived at site: 13 : 30 Time left site: 14 : 15 Was an inspection carried out? Yes ☒ No ☐

Customer present: Yes ☒ No ☐ Customer Name: Nicola Gibson
 Access denied ☐ Loose dogs ☐ Other ☐ If other, please provide reason

If No inspection carried out, why not? ☐ ☐ ☐

Where an inspection has been conducted:

	Yes	No	Notes
- Any land damage under the main access way or other hard surfaces?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Were any bridges or culverts damaged within EQC Cover?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Were any retaining walls damaged within EQC Cover?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Is an engineer required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Is a valuation required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Is a resource consent required for any remediation work? (proximity to protected trees and waterways)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Has anything in this pack been escalated?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Customer has advised of invoices for emergency work?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- Customer advised of next action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>on site</u>
- Was any silt found under the dwelling?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
- If there was nil damage, why was that?	Building removed <input type="checkbox"/> Building repairs have fixed <input type="checkbox"/> No visible damage <input type="checkbox"/>		
- If a potential or actual 8/9 property, was the dwelling present?	Building removed <input type="checkbox"/> Building present <input type="checkbox"/>		

Land Damage to Area A? If Yes, add details

Yes ☐ No ☒

Land Damage to Area B? If Yes, add details

Yes ☐ No ☒

Land Damage to Area C? If Yes, add details

Yes ☒ No ☐ undulating.

Total m² of Damaged Land: 20 m²

Notional Land Damage Value @\$300/m² (Incl GST):

\$6000

- nil visible silt/debris or land cracks
- paved areas are responsibility of insurance company

Next action Await confirmation cat 8/9 status



VI.32 FEB 2013
CHECKED



Valuation reference: 22960/39000
Property ID (QPID): 1272707
Date of Inspection: 17/03/2016
Date of Report: 2/08/2016

Earthquake Commission
Canterbury Field Office
PO Box 34-027
Fendalton
Christchurch 8540

Property address: 7 ROLLESBY STREET, HOON HAY, CHRISTCHURCH 8025 (the Property)

VALUATION ASSESSMENT

The amount of Diminution of Value (DOV) assessed for the Property as a result of Increased Liquefaction Vulnerability (ILV) land damage is:

\$ 20,400

Valuation Assessment – Increased Liquefaction Vulnerability reduced the Property's market value

EQC asked us to assess the reduction in market value due to the Increased Liquefaction Vulnerability damage on the Property. We have concluded that the increase in liquefaction vulnerability has reduced the market value of the Property. The amount of the Diminution of Value of the Property is set out above.

In making our assessment, we took into account:

- the vulnerability of the Property to liquefaction before and after the 2010-2011 sequence of Canterbury earthquakes (Canterbury Earthquakes), and
- the extent of the increase in the liquefaction vulnerability on the Property as a result of the physical changes to the land caused by the Canterbury Earthquakes.

We also:

- considered the information provided by EQC's engineers, Tonkin + Taylor. This material includes information on changes in liquefaction vulnerability as a result of the Canterbury Earthquakes, and the practical implications of those changes, and
- adopted the market valuation of the Property as at 3 September 2010. This valuation has been carried out for EQC by Quotable Value Limited (QV).

We have used accepted valuation standards and practice

We carried out our valuation in accordance with the *Diminution of Value Methodology for Increased Liquefaction Vulnerability (for properties with residential building in place)* (Diminution of Value Methodology) which is available at www.eqc.govt.nz/ILV. This methodology was established in June 2016 and complies with accepted valuation standards and practice. The methodology has been endorsed by an Expert Valuation Peer Review Panel and approved by EQC.

QV has assessed the market value of the Property for EQC as at 3 September 2010, the day before the first of the Canterbury Earthquakes. This valuation is made as at 3 September 2010. The valuation is a fair market valuation at that date and is not distorted by the effects of the Canterbury Earthquakes on the property market.

We assessed the amount of the reduction in the value (the Diminution of Value) of the Property as a result of Increased Liquefaction Vulnerability. To assess this, we considered the long-term reduction in market value from the market price that would have been paid for the Property on 3 September 2010, taking into account the physical change that occurred to the land as a result of the Canterbury Earthquakes, and its impact on the vulnerability of the land to liquefaction.

Our valuation is based on some assumptions

We have carried out our valuation on the basis of the assumptions set out in the Diminution of Value Methodology.

We have assumed that the information provided to us is accurate. Should we subsequently become aware that any of the information provided to us was inaccurate, we reserve the right to review our assessment.

About this report

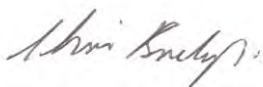
This report is prepared for EQC to assist EQC to determine its liabilities under the Earthquake Commission Act 1993. The report is not intended for any other purpose. It is understood that EQC will provide this report to the EQC customer.

Our assessment relied on information provided to us, including the valuation of the Property as at 3 September 2010 carried out by QV. We are satisfied that QV used an appropriate process in carrying out property valuations as at 3 September 2010.

This report is a summary. As such, it does not provide all the material required by the International Valuation Standards (IVS) reporting standards for a full valuation report. Valuation workings are not included in this summary, but are available to EQC customers upon request by contacting EQC on 0800 326 243 between the hours of 7.00am to 9.00pm Monday to Friday, and 8.00am to 6.00pm on Saturday. The EQC customer should quote their claim number(s) when contacting EQC.

Signed by valuation advisors to EQC

Market Valuation Limited



Chris Bridges
ANZIV, SPINZ
Registered Valuer

Darroch Limited



Ken Blucher
ANZIV, FPINZ
Registered Valuer

Townsend & Associates Limited



Dave Townsend
FNZIV, FPINZ
Registered Valuer



Increased Liquefaction Vulnerability (ILV) Engineering Assessment



Exceptional thinking together

www.tonkintaylor.co.nz

Property details

Property address	7 ROLLESBY STREET, HOON HAY, CHRISTCHURCH 8025
Property ID (QPID)	1272707
Master claim number	CLM/2011/147051
Date	30 October 2015

Engineering assessment

This ILV engineering assessment identifies that the Property	DOES meet the engineering criteria for ILV land damage
--	--

Introduction

This report sets out the engineering results for the individual property above (the Property) to determine whether Increased Liquefaction Vulnerability (ILV) land damage has occurred as the direct result of the Canterbury earthquake sequence.

ILV land damage refers to the physical change to residential land as a result of ground surface

subsidence from the 2010 - 2011 Canterbury earthquake sequence, which materially increased the vulnerability of that land to liquefaction damage in future earthquakes.

More information on ILV can be found on the Earthquake Commission (EQC) website (www.eqc.govt.nz/ILV).

ILV engineering assessment methodology

Tonkin + Taylor (T+T) has undertaken the ILV engineering assessment of the Property in accordance with the ILV Assessment Methodology. This methodology is set out in the report titled Canterbury Earthquake Sequence: Increased Liquefaction Vulnerability Assessment Methodology (T+T, 2015).

A copy of this report is available on the EQC website (www.eqc.govt.nz/ILV).

The ILV Assessment Methodology is designed to consider whether, on the balance of probabilities, two engineering criteria are met for the Property. The engineering criteria are as follows:

Engineering Criterion 1	The residential land has <i>material</i> vulnerability to liquefaction damage after the Canterbury earthquake sequence; and
Engineering Criterion 2	The vulnerability to liquefaction damage of the residential land in future earthquakes has <i>materially</i> increased as a result of ground surface subsidence of the land caused by the Canterbury earthquake sequence.
The material vulnerability under Criterion 1 and the material increase in vulnerability under Criterion 2, are each measured at up to 100 year return period levels of earthquake shaking.	

About the engineering criteria

Both engineering criteria must be met in order for a property to qualify as having ILV land damage.

To determine whether the Property meets the two engineering criteria, T+T has assessed the level of vulnerability to liquefaction and the change in vulnerability to liquefaction. The ILV Assessment Methodology report provides a comprehensive explanation of how this assessment was done. A brief outline is provided below.

Material liquefaction vulnerability is assessed by considering the likelihood of moderate-to-severe liquefaction related land damage at up to 100 year return period levels of earthquake shaking.

A material increase in liquefaction vulnerability is assessed by comparing the likelihood of liquefaction related land damage prior to the Canterbury earthquake sequence with the likelihood of liquefaction related land damage after the Canterbury earthquake sequence. The ILV Assessment Methodology report sets out what can be regarded as material in this context.

Liquefaction and land subsidence do not always result in ILV land damage. Whether or not ILV occurs will depend on the soil and groundwater conditions and the amount of ground surface subsidence.

ILV engineering assessment results

The results of the ILV engineering assessment for the Property are shown below:

Does the Property meet Criterion 1?	Yes
Does the Property meet Criterion 2?	Yes
Does the Property meet the engineering criteria for ILV land damage?	Yes

ILV engineering assessment approach

T+T has used the following inputs for the assessment of ILV land damage:

Ground surface levels	Ground surface levels, relative to sea level. These were derived from aerial LiDAR surveys of the Canterbury region undertaken between 2003 and 2008 and after each of the four main earthquakes in the Canterbury earthquake sequence. Ground surface subsidence is estimated by comparing ground surface levels after each of the four main earthquakes.
Groundwater levels	Groundwater levels throughout Canterbury.
Aerial photography	High resolution aerial photographs taken after each of the four main earthquakes in the Canterbury earthquake sequence.
Land performance observations	Observed land performance, including liquefaction due to the Canterbury earthquake sequence.
Earthquake shaking intensity	Peak Ground Acceleration (PGA) models, which estimate the level of earthquake shaking for each of the four main earthquakes in the Canterbury earthquake sequence.
Subsurface ground information	Soil composition and strength data obtained from extensive geotechnical investigations, including Cone Penetration Tests (CPTs), subsurface drilling, and laboratory tests. Geological maps, soil maps and other historical land use and drainage maps.

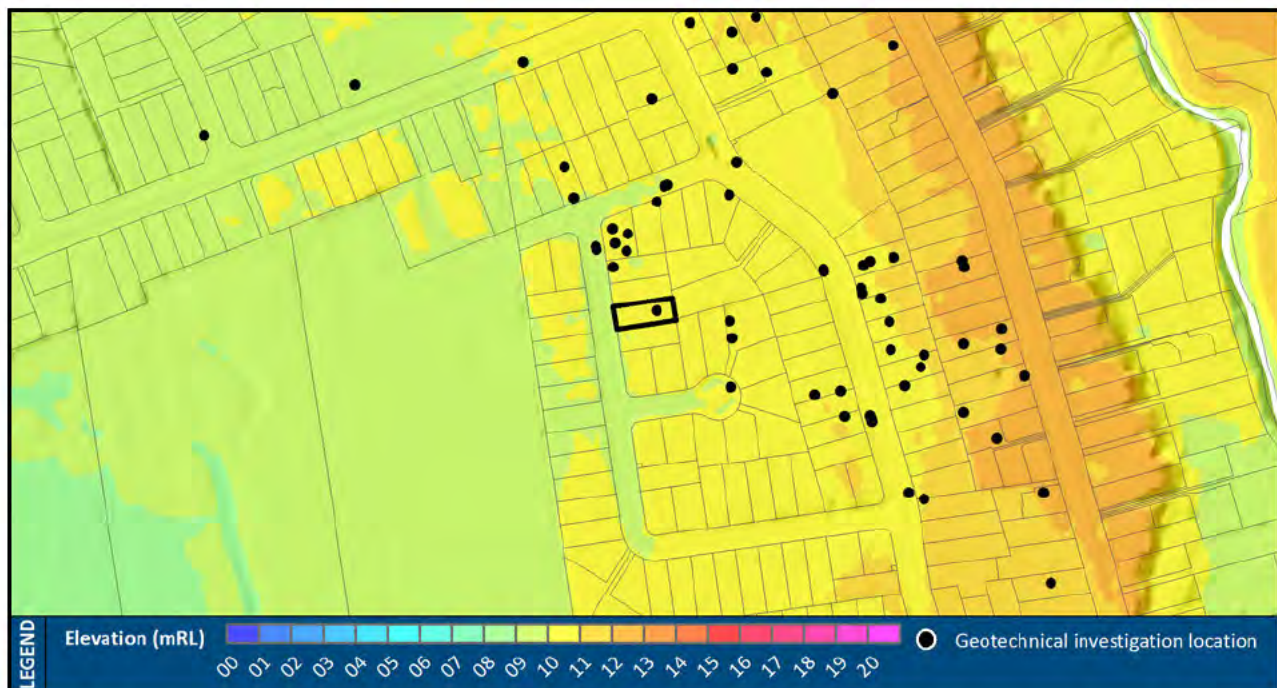
ILV engineering assessment maps

ILV engineering assessment maps are shown on the following pages.

On each of these maps, the Property is shown in the black border in the centre of the map.

An explanation is provided below each map.

The maps show key sources of information that T+T has used in assessing whether the ILV engineering criteria are met.



Map 1: Post Canterbury earthquake sequence ground surface elevation and geotechnical investigation locations

This map shows the ground surface elevation (i.e. the height of the land) following the Canterbury earthquake sequence. The elevation shown is the height above mean sea level.

The black dots show the locations of geotechnical investigations. These comprise a combination of Cone Penetration Tests (CPTs), boreholes and laboratory tests.

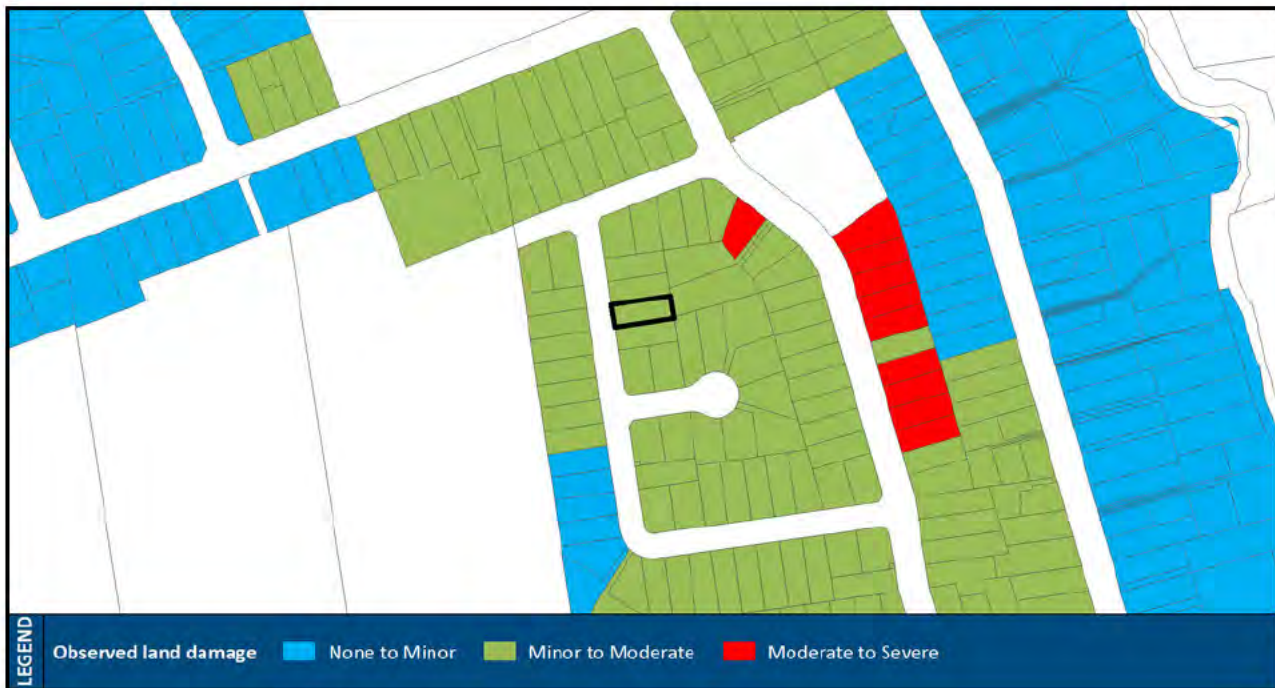
The ground surface elevation was measured using an aerial LiDAR survey, which involved scanning the ground surface from an aircraft. This post-earthquake ground surface elevation survey is a key input into the ILV engineering assessments.



Map 2: Post Canterbury earthquake sequence depth to groundwater

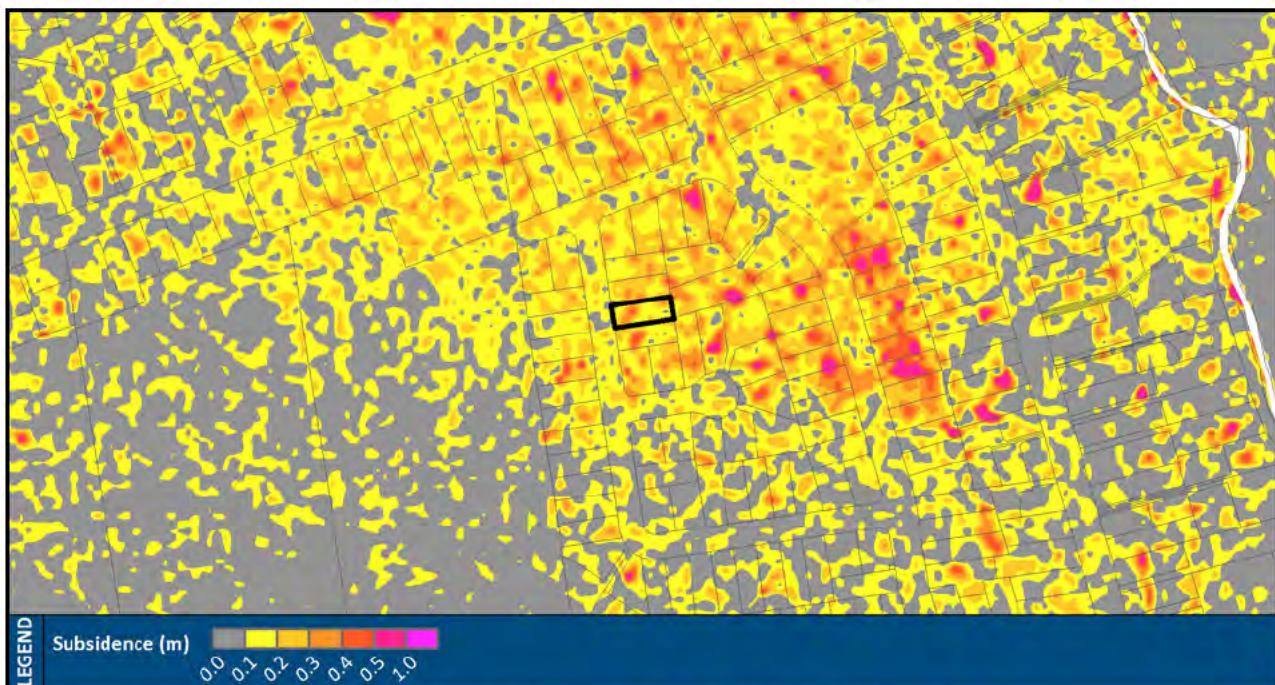
This map shows the median depth to groundwater below the ground surface after the Canterbury earthquake sequence.

Data from approximately 1,000 shallow groundwater monitoring wells have been used in the development of the groundwater model.



Map 3: Worst observed land damage due to the Canterbury earthquake sequence

This map shows the worst observed land damage recorded for the four main earthquakes during the Canterbury earthquake sequence. Descriptions of the observed land damage categories are: **None to Minor** – no observed liquefaction related land damage through to minor observed ground cracking but with no observed ejected liquefied material at the ground surface; **Minor to Moderate** – observed ground surface undulation and minor-to-moderate quantities of observed ejected liquefied material at the ground surface but with no observed lateral spreading; and **Moderate to Severe** – large quantities of observed ejected liquefied material at the ground surface and severe ground surface undulation and/or moderate-to-severe lateral spreading.



Map 4: Total ground surface subsidence due to the Canterbury earthquake sequence

This map shows the estimated total amount of ground subsidence as a result of the Canterbury earthquake sequence. Ground surface subsidence is estimated by comparing ground surface levels after each of the four main earthquakes. Adjustments have been made to the map to remove subsidence or uplift that is not as a result of the Canterbury earthquake sequence (e.g. man-made activities such as earthworks).

Further information

For more information about ILV land damage and the ILV engineering assessment, refer to the EQC website (www.eqc.govt.nz/ILV)

Data references

Parcel database sourced from the LINZ Data Service and licensed by LINZ for re-use under the Creative Commons Attribution 3.0 New Zealand license.

Important notice: The maps in this report were created from data extracted from the Canterbury Geotechnical Database (<https://canterburygeotechnicaldatabase.projectorbit.com>), which were prepared and compiled

for EQC to assist in assessing insurance claims made under the Earthquake Commission Act 1993. The source maps and data were not intended for any other purpose. EQC and its engineers, Tonkin + Taylor have no liability for any use of the maps and data or for the consequences of any person relying on them in any way. This “important notice” must be reprinted wherever these maps or derivatives are reproduced.

Disclaimer

This report was produced for EQC purely for the purposes of assisting EQC to determine whether it has any liabilities under the Earthquake Commission Act 1993. T+T understands that EQC will provide this report to the EQC customer.

The ILV engineering assessment has been undertaken in accordance with EQC’s ILV Policy and the Canterbury Earthquake Sequence: Increased Liquefaction Vulnerability Assessment Methodology. Copies of these documents are available on the EQC website (www.eqc.govt.nz/ILV)