

# Building Inspection Report





INSIGHT BUILDING INSPECTIONS

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## RESIDENTIAL INSPECTION

7 Palmside St  
Christchurch, Canterbury Region 8024

Ryan D'Souza

30/06/2025

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Inspector:

Sam Harrison

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Standards of Practice

## SUMMARY



MAINTENANCE ITEM



OBSERVATION



ATTENTION REQUIRED

- ⊖ 1.2.1 Inspection Details - Services: Older fuses
- ↗ 3.3.1 Entrance Way, Hallway - Walls: Wear in wall paper
- ↗ 4.13.1 Kitchen - Rangehood: Loose shroud
- ⊖ 5.4.1 Lounge - Ceilings: Potential Asbestos
- ↗ 5.5.1 Lounge - Windows & Reveals: Aluminium Binding
- ↗ 5.6.1 Lounge - Floors: Moisture damage to floor covering
- ↗ 5.6.2 Lounge - Floors: Tiled kickboard Loose
- ↗ 5.8.1 Lounge - Bench Top/ Cabinetry: Damage to cabinets
- ↗ 7.3.1 Living Room - Walls: Wear in wall paper
- ⊖ 8.3.1 Bedroom One - Walls: General wear to wall linings
- ↗ 9.3.1 Bedroom Two - Walls: Sheet joint cracking
- ↗ 9.6.1 Bedroom Two - Windows & Reveals: Loose hardware
- ↗ 9.6.2 Bedroom Two - Windows & Reveals: Damaged MDF window reveals
- ↗ 10.4.1 Bedroom Three - Wardrobe: Warped door
- ↗ 12.3.1 Bathroom One - Walls: Wear in wall paper
- ↗ 12.6.1 Bathroom One - Floors: Grout repair required
- ↗ 12.9.1 Bathroom One - Vanity Unit: Damaged vanity Doors
- ↗ 12.10.1 Bathroom One - Sink & Tapware: Damaged Sink
- ↗ 13.3.1 Bathroom Two - Walls: Sheet joint cracking
- ↗ 13.3.2 Bathroom Two - Walls: Wear in wall paper
- ⚠ 13.12.1 Bathroom Two - Shower: Elevated moisture levels to shower area
- ↗ 14.3.1 Separate Toilet - Walls: Wear in wall paper
- ↗ 15.3.1 Laundry Room - Walls: Elevated moisture levels to timber skirtings
- ↗ 16.9.1 Roof Space - Ventilation and Insulation - Header Tank: no seismic Restraints
- ↗ 17.2.1 Hot Water Systems - Seismic Restraint: No seismic Restraint
- ⊖ 19.3.1 Grounds - Path & Patios: Cracking to concrete paths
- ↗ 19.5.1 Grounds - Fencing: Rot to timber gate
- ↗ 19.5.2 Grounds - Fencing: Repair to fencing required

- 19.8.1 Grounds - Gully Traps: Low Gully Traps
- 19.8.2 Grounds - Gully Traps: Earthenware drainage
- 20.3.1 Garage - Walls: Step cracking to concrete block wall
- 20.5.1 Garage - Floors: Cracking to floor slab
- 21.4.1 Foundation - Condition of foundation space: Debris
- 21.8.1 Foundation - Insulation: No vapour barrier
- 22.2.1 Roof - Roofing Material: Lichen Growth
- 22.2.2 Roof - Roofing Material: Ponding
- 22.2.3 Roof - Roofing Material: Eroded tiles
- 22.2.4 Roof - Roofing Material: Damaged polycarbonate
- 22.2.5 Roof - Roofing Material: Raised membrane
- 22.5.1 Roof - Gutters & Spouting: Blocked Spouting
- 23.2.1 Carport - Construction Type: Borer
- 23.3.1 Carport - Roofing Material: Lichen
- 23.3.2 Carport - Roofing Material: Dents in the Roof
- 24.3.1 Garage Exterior - Joinery (Windows and Doors): Paint peeling
- 24.3.2 Garage Exterior - Joinery (Windows and Doors): Rot to timber window sills
- 24.3.3 Garage Exterior - Joinery (Windows and Doors): No head Flashings
- 24.4.1 Garage Exterior - Roofing Material: Rust Damage
- 24.4.2 Garage Exterior - Roofing Material: Coating deterioration
- 24.4.3 Garage Exterior - Roofing Material: Replace lead head nails
- 24.5.1 Garage Exterior - Cladding Type: Peeling Paint
- 24.5.2 Garage Exterior - Cladding Type: Timber cupping and cracking
- 24.6.1 Garage Exterior - Fascias & Barge Boards: Paint Peeling
- 24.8.1 Garage Exterior - Visible Point of Discharges: Blocked stormwater riser
- 25.3.1 Home Exterior - Cladding Flashing: No change of cladding flashing
- 25.5.1 Home Exterior - Joinery (Windows and Doors): No head Flashings
- 25.5.2 Home Exterior - Joinery (Windows and Doors): Seals Shrinking
- 25.5.3 Home Exterior - Joinery (Windows and Doors): Poorly sealed window/cladding junction
- 25.6.1 Home Exterior - Vents: Damaged vent pipe
- 25.6.2 Home Exterior - Vents: Corroded metal vent
- 25.9.1 Home Exterior - Fascias & Barge Boards: Borer to fascia
- 25.11.1 Home Exterior - Downpipes & Spouting: Leaking Joints
- 25.12.1 Home Exterior - Visible Point of Discharges: Earthenware drainage
- 28.3.1 Deck/ Balconies/ Pergolas - Decking: Decking hard to cladding
- 28.3.2 Deck/ Balconies/ Pergolas - Decking: No gaps to decking boards

# 1: INSPECTION DETAILS

## Information

**Client Information: ID Number**  
30062025

**Client Information: Scope of inspection**  
Building Condition report

**Weather Conditions**  
Recent Rain

**Site Conditions**  
Damp

**Orientation (Main Living Areas)**  
North

**Site Exposure**  
Medium. (BRANZ Maps)

**Client Present**  
No

**In Attendance**  
Access available (Inspector Only)

**House Occupied**  
No

**Style**  
Single-level

**Type of Building**  
House

**Occupancy**  
Vacant

**Services: Sewage Disposal**  
Public

**Services: Water Source**  
Public

**Services: Meter Board**  
Left side of home



## Property Overview

## General information

This report provides a general overview of the condition of the property identified above, based on a visual inspection carried out in accordance with NZS 4306:2005 – Residential Property Inspection. As with all properties, ongoing maintenance and occasional improvements will be necessary over time. The items or improvements recommended in this report are typical for a property of this age and type.

Inspector(s): Sam Harrison  
Company: Insight Building Inspections  
Qualifications: Qualified Builders

### Certification

I certify that I have conducted this inspection in accordance with the requirements of NZS 4306:2005 – Residential Property Inspection. I am suitably qualified and competent to undertake this inspection.

### Important Note

This inspection report does not constitute a determination of compliance with any Act, regulation, or bylaw. It is not a warranty or guarantee against future defects or issues arising after the date of inspection.

## Scope

The scope of this inspection is outlined in our Terms and Conditions. It is limited to a visual Pre-Purchase or Pre-Sale Inspection carried out in accordance with NZS 4306:2005 – Residential Property Inspection.

## Report Content

This report is the property of Insight Building Inspections Ltd and the client, Ryan D'Souza. Use or reliance on this report by any unauthorised person is strictly prohibited. Insight Building Inspections Ltd accepts no liability for any use or interpretation of this confidential report by third parties.

## General Visual Summary

Fair

### Condition Category Descriptions:

**Good** – Performing as intended with no notable defects.

**Reasonable** – Some wear and tear consistent with age; no urgent repairs required.

**Fair** – Functioning but with visible deterioration or minor defects that may need future attention.

**Poor** – Significant defects or damage; likely requires repair or replacement.

*These categories are based on a visual inspection carried out in accordance with NZS 4306:2005 and are intended to give an overall summary of condition only. Refer to the full report for specific details.*



**Services: Fuse Board**  
Inside the home, Garage



**Limitations**

General

**VACANT**

This property was vacant at the time of inspection. Some defects—particularly those related to plumbing or drainage—may not become evident until the property is in regular use.

General

**EARTHQUAKE ASSESSMENT**

No significant EQ damage visible at the time of the inspection, In my professional opinion and based on my observations during the inspection it appears all the EQC work has been completed to a satisfactory standard.

Where an EQC Scope of Works has been provided prior to or at the time of inspection, it may be reviewed and commented on within this report. Any such assessment is limited to a visual, non-invasive inspection conducted at the time of the building inspection.

The inspector cannot confirm the adequacy or reasonableness of any completed repairs, nor identify repairs that are not visually evident. This report does not verify whether all earthquake-related repairs have been completed or whether the property has any unrepaired damage not visible at the time of inspection.

The inspector relies solely on information supplied by the client and does not accept responsibility for identifying or reviewing all relevant EQC documentation. Any EQC Scopes of Work not provided, not reviewed, or not fully inspectable are excluded from this report. The client is advised to undertake their own due diligence regarding earthquake repairs and claims.

## Observations

### 1.2.1 Services

#### **OLDER FUSES**



Older-style rewirable fuses are still in use at the switchboard.

It is recommended that these be replaced with modern circuit breakers by a licensed electrician to improve safety and compliance with current electrical standards.



## 2: GENERAL

		IN	NI	NP	O
2.1	General	X			
2.2	Moisture Testing	X			
2.3	Check council records	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

### Information

#### Moisture Testing: Areas

Doors, Windows, Wet Areas, 360 Degrees surrounding walls of wet areas

#### Check council records: Check council records



#### General: How To Read This Report

##### How to Read This Report

Items in this report are colour-coded to help prioritise findings:

**Red – Attention Required:** These items represent significant defects, safety concerns, or urgent maintenance requirements that should be addressed promptly.

**Orange – Observation Only:** These are non-critical observations noted during the inspection. They do not require immediate action but may be relevant for monitoring or future consideration.

**Blue – General Maintenance:** These are standard maintenance items that are typically expected for a property of this age and type. Addressing them will help maintain the home in good condition.

Each comment includes a summary of the issue, its location, and a recommendation for next steps.

**General: Sam Harrison Certificate of Inspection in Accordance with NZS 4306:2005**

Site, Subfloor, Roof exterior, Exterior, Interior, Roof space, Services

Inspector: Sam Harrison

Contact Phone: 027 217 6629

Company: Insight Building Inspections Qualifications:

Qualified Builder (LPB)

Any limitations to the coverage of the inspection are detailed in the written report.

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspection - and I am competent to undertake this inspection.

Signature:



An inspection carried out in accordance with NZS 4306:2005 is not a statement that a property complies

with the requirement of any act, regulation or bylaw, nor is the report a warranty against any possible problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

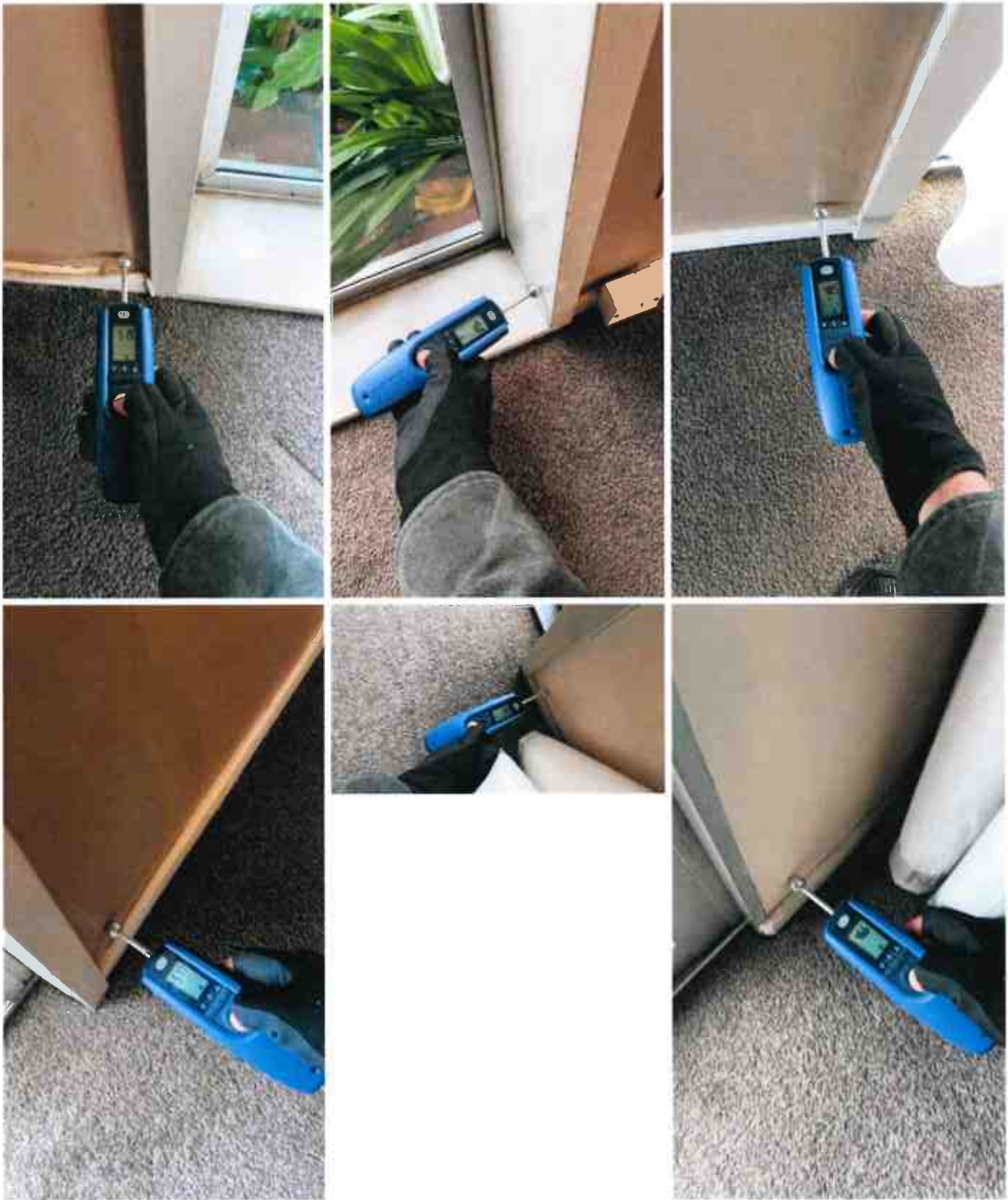
**General: Interior General Information.**

The interior has been inspected in accordance with NZS 4306:2005 – Residential Property Inspection. This includes a visual assessment of accessible walls, ceilings, floors, doors, windows, and built-in fixtures. For detailed guidance on inspection scope and limitations, refer to the NZS 4306:2005 standard.

As a general safety measure, we recommend installing and testing new smoke alarms upon taking possession of the property. Smoke alarms should be replaced at least every five years, or as specified by the manufacturer.

### Moisture Testing: Results

Moisture readings - Normal throughout









## Limitations

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General

### **OBSTRUCTED VIEW**

The condition of walls behind coverings, panelling, and furnishings could not be assessed. This inspection includes only the visible and accessible portions of interior surfaces and fixtures. Floor coverings and furniture may conceal damage or defects, and the condition of subfloor structures beneath coverings is not inspected.

Cosmetic wear and tear, such as minor marks, scuffs, or general aging, is considered typical and is not reported. Identifying the source of odours or similar subjective conditions falls outside the scope of this inspection.

The presence of insulated (double-glazed) glass units was noted where visible; however, determining the condition or failure of seals may not be possible due to temperature, weather, and lighting conditions at the time of inspection.

All fireplaces should be inspected and cleaned regularly by a qualified professional to ensure safety. Large or prolonged fires may overheat the firebox and flue, potentially causing internal damage that is not visible during a standard inspection.

For further clarity on specific areas or elements concealed at the time of inspection, we recommend speaking with the current property owner.

General

### **REPORT INTENTION**



This report represents a reasonable attempt to identify significant defects observed during a visual inspection carried out in accordance with NZS 4306:2005 – Residential Property Inspection. It is not an exhaustive assessment of every aspect of the property.

Minor defects are typical in most homes and may include blemishes, corrosion, cracking, weathering, general wear and tear, unevenness, or surface damage to materials and finishes. These are generally considered part of ongoing maintenance and redecoration commonly undertaken during the early years of ownership.

While some minor defects may be noted, it is neither practical nor within the scope of this standard report to identify all minor imperfections. No invasive testing, probing, or movement of furniture or appliances was undertaken as part of this visual inspection.

This report is intended only as a general guide to help the Client make their own evaluation of the overall condition of the dwelling and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the Inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions, which by the nature of their location are concealed, camouflaged or difficult to inspect, are excluded from the report.

General

### **SECURITY SYSTEMS AND SMOKE DETECTORS**

Security systems and smoke detectors were sighted but not tested as part of this visual inspection. Functionality and compliance should be confirmed by a qualified professional.

General

### **EXCLUDED FROM SCOPE**

The following systems and conditions fall outside the scope of this inspection and are therefore not assessed. This includes, but is not limited to:

Environmental hazards such as asbestos, lead-based paint, formaldehyde, mould, or flammable/toxic material, Pest infestations

Playground equipment

The efficiency of insulation, heating, or cooling systems

Internal, concealed, or underground drainage or plumbing

Systems that are shut down, inoperative, or otherwise inaccessible

Water wells, including water quality or quantity

Zoning compliance or planning regulations

Intercoms, security systems, and heat or motion sensors  
Cosmetic concerns or compliance with current building codes

Any general comments made about the above items are for informational purposes only and do not constitute an inspection or professional opinion.

General

## **COMPLIANCE**

This inspection report should not be interpreted as a compliance inspection for any governmental or non-governmental codes, regulations, or standards. It is not intended to serve as a warranty or guarantee regarding the current or future performance, condition, or adequacy of the structure or its components.

This report does not provide any express or implied warranty of merchantability or fitness for purpose. It should not be relied upon as a certification of the property's condition.

Any opinions expressed about the adequacy, capacity, or remaining life of components are general estimates only, based on typical performance of similar materials or systems. Actual performance may vary significantly.

General

## **SYSTEMS LIMITATIONS**

The inspection and reporting of the condition, installation, or performance of building systems (such as plumbing, electrical, heating, or cooling) is limited to a visual assessment only and does not include testing or operation beyond basic functions, where accessible.

Any comments provided relate solely to visible components and reflect the opinion of the inspector, who is not a qualified plumber, electrician, gasfitter, or service technician. A full evaluation of system performance, safety, or compliance would require a specialist assessment by a licensed professional.

All systems should be serviced in accordance with the manufacturer's specifications. We recommend requesting service records and maintenance documentation from the property owner where available.

Moisture Testing

## **MOISTURE METERS & WEATHERTIGHTNESS**

## Moisture Meter Use and Limitations

This report does not and cannot provide any form of waterproofing guarantee. It is not possible—nor is it required—to simulate conditions that would induce moisture ingress during a standard pre-purchase inspection.

However, the inspector actively looks for signs of moisture ingress and carries out spot checks, primarily around windows, doors, and other identified risk areas using a non-invasive moisture meter.

Moisture meters used during this inspection may include the Gann BL Compact B2 and the Trotec T660, both of which are calibrated in accordance with the respective manufacturer's specifications. These devices are used in their non-invasive mode, which is considered a useful screening tool but is not conclusive. The condition and treatment type of any internal timber framing is unknown and cannot be confirmed by this inspection.

### Understanding the Meter Readings

Manufacturers of non-invasive moisture meters stipulate that percentage readings should not be relied upon, as these devices provide relative values rather than absolute moisture content. Accurate moisture percentages can only be obtained using invasive probe testing.

Gann BL Compact B2 Reference Guide (0–100 scale):

This meter displays relative values and is best used to compare readings between known dry and suspect areas. While not a direct measurement of moisture content, the following ranges are commonly referenced:

0 – 40 = Dry

41 – 70 = Possible Moisture

71 – 100 = Likely Elevated Moisture

Trotec T660 Reference Guide (digit scale):

<40 digits = Dry

40–80 digits = Damp

>80 digits = Wet

In addition, reference values (sourced from Protimeter standards) are sometimes used as general context:

Normal: up to approximately 16%

Slightly High: 17%–22%

Higher: 23%–30%

Very High: 30%+

According to NZS 3602:2003, H1.2-treated framing timber should not exceed 20% moisture content, and framing must be ≤14% before internal linings are installed during construction.

### Limitations and Recommendations

While non-invasive moisture readings are a helpful indicator, they cannot detect concealed moisture in all scenarios and do not confirm absence of moisture-related issues. Elevated readings—especially those exceeding 20% if converted from probe measurements—may suggest risk of timber decay and should be investigated further.

Moisture levels can also be seasonal, and areas with advanced timber decay may read dry due to fibre breakdown. Plumbing leaks may also not be detected if inactive at the time of inspection.

Where readings are elevated or concern exists due to construction design or visual evidence, further investigation may be recommended. This may involve invasive testing with the written consent of the property owner. Such investigation should be conducted by a suitably qualified Building Surveyor or Specialist Weathertightness Assessor.

Insight Building Inspections surveyors are trained in the correct use of moisture meters and understand their scope and limitations. Meters are typically used from the interior of the property, as external testing is often impractical depending on cladding type and weather conditions. The lack of an elevated reading does not confirm that a property is free from moisture-related issues.

### 3: ENTRANCE WAY, HALLWAY

		IN	NI	NP	O
3.1	Main Entrance	X			
3.2	Doors & Frames	X			
3.3	Walls	X			X
3.4	Ceilings	X			
3.5	Windows & Reveals	X			
3.6	Floors	X			
3.7	Lighting Fixtures	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

#### Information

**Doors & Frames: Material**

Aluminium & glass

**Walls: Material**

Plaster Board

**Ceilings: Material**

Plaster Board, Softboard (Pinex)

**Windows & Reveals: Type**

Aluminium, Single Glazed

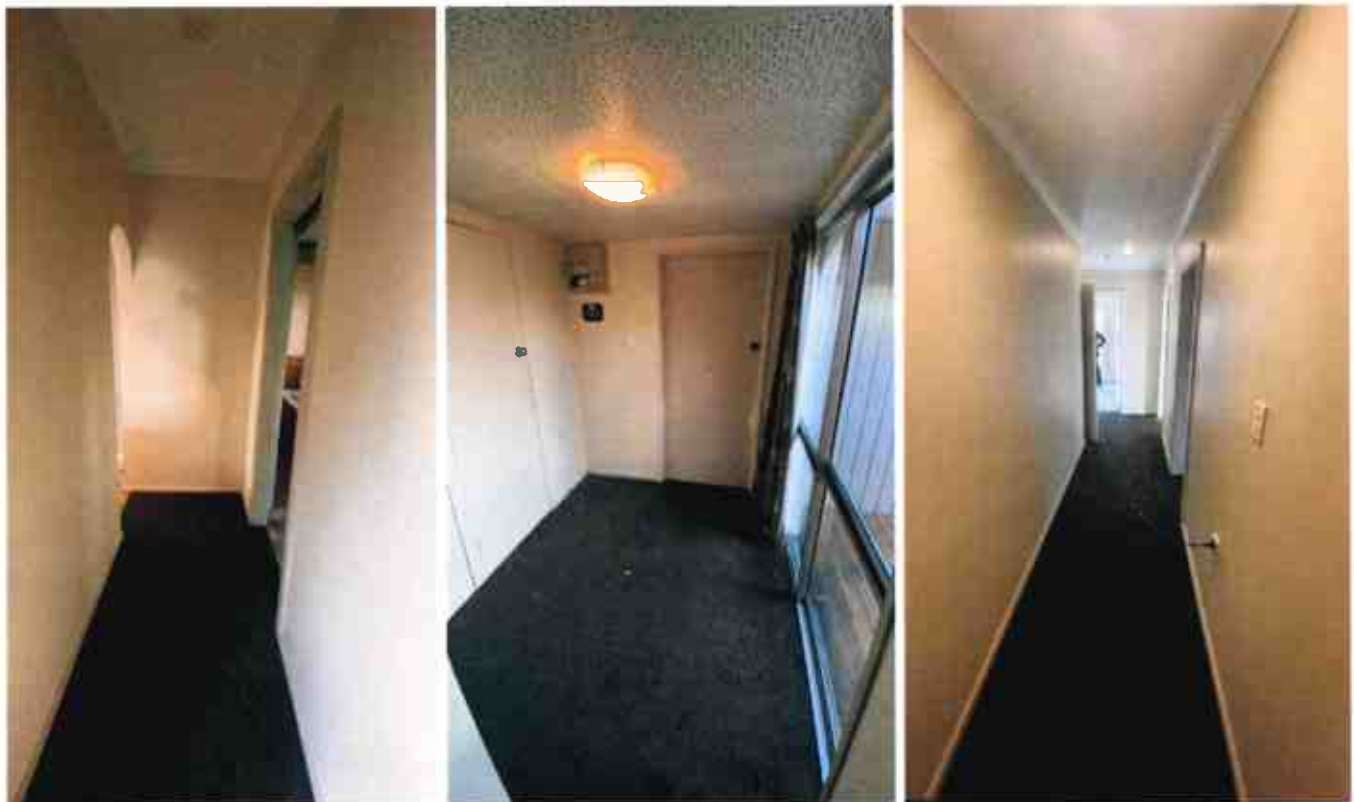
**Floors: Coverings**

Carpet

**Lighting Fixtures: Lights & Power Points**

Lights OK

**Main Entrance: Photo**

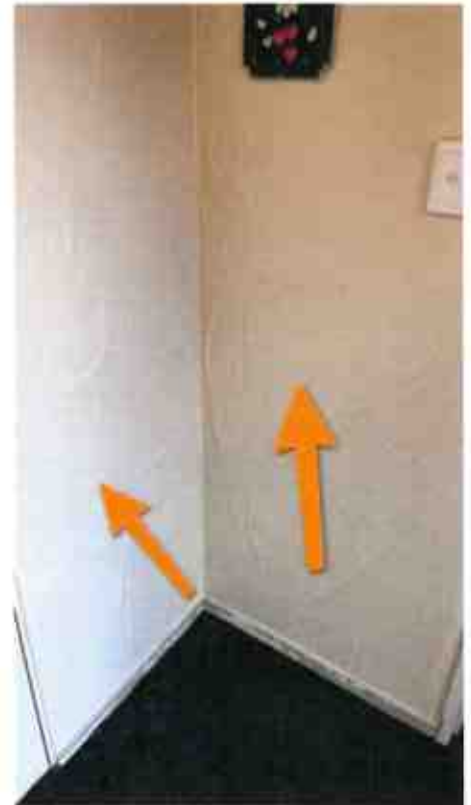


#### Observations

3.3.1 Walls

**WEAR IN WALL PAPER**

Wear or peeling of wall paper is occurring in areas. The wallpaper can be repaired if desired



## 4: KITCHEN

		IN	NI	NP	O
4.1	Kitchen	X			
4.2	Doors & Frames	X			
4.3	Walls	X			
4.4	Ceilings	X			
4.5	Windows & Reveals	X			
4.6	Floors	X			
4.7	Lighting Fixtures	X			
4.8	Bench Top/ Cabinetry	X			
4.9	Sink & Tapware	X			
4.10	Dishwasher	X			
4.11	Stove	X			
4.12	Hobbs	X			
4.13	Rangehood	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

### Information

#### Kitchen: Photo



#### Doors & Frames: Material

Hollow core, Timber

#### Walls: Material

Plaster Board

#### Ceilings: Material

Plaster Board

#### Windows & Reveals: Type

Aluminium, Single Glazed

**Floors: Coverings**

Vinyl



**Lighting Fixtures: Lights & Power Points**

Lights OK

**Dishwasher: Brand Westinghouse**



**Stove: Brand Electric**



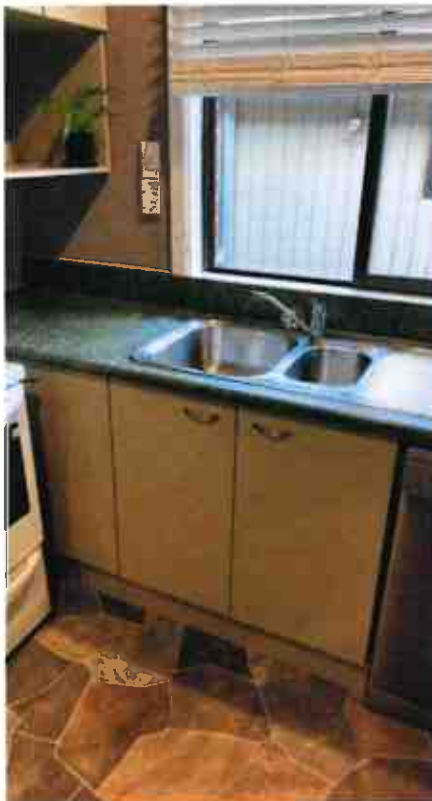
**Hobbs: Type**  
Electric



**Rangehood: Condition**  
Working



**Bench Top/ Cabinetry: Material**  
Laminate, Melamine







# 5: LOUNGE

		IN	NI	NP	O
5.1	Lounge	X			
5.2	Doors & Frames	X			
5.3	Walls	X			
5.4	Ceilings	X			X
5.5	Windows & Reveals	X			X
5.6	Floors	X			X
5.7	Lighting Fixtures	X			
5.8	Bench Top/ Cabinetry	X			X
5.9	Sink & Tapware	X			
5.10	Rangehood	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Lounge: Photo



### Doors & Frames: Material

Hollow core, Timber

### Walls: Material

Plaster Board

### Ceilings: Material

Plaster Board

### Windows & Reveals: Type

Aluminium, Single Glazed

**Floors: Coverings**

Carpet, Tile



**Lighting Fixtures: Lights & Power Points**

Lights OK

**Bench Top/ Cabinetry: Material**

Laminate, Melamine

**Rangehood: Condition**

Not Tested



**Sink & Tapware: Type**  
Stainless steel



**Observations**

5.4.1 Ceilings

**POTENTIAL ASBESTOS**

The texture on the ceiling may be the type that contains Asbestos, although this can only be determined by testing a sample.

Observation



5.5.1 Windows & Reveals

**ALUMINIUM BINDING**

The sliding door is binding and requires adjusting or repair to operate as designed



5.6.1 Floors

**MOISTURE DAMAGE TO FLOOR COVERING**

The flooring to the highlighted area has localised damage due to moisture. Repair or replacement to this area can be made if desired



5.6.2 Floors

**TILED KICKBOARD LOOSE**

The tiled kickboard is loose and requires repair or replacement





1 2 3 4 5

5.8.1 Bench Top/ Cabinetry

**DAMAGE TO CABINETS**

 Maintenance Item

Damage to this cabinetry panel was observed. Localised repair to these areas can be made by a kitchen joiner



## 6: DINING ROOM

		IN	NI	NP	O
6.1	Dining Room	X			
6.2	Doors & Frames	X			
6.3	Walls	X			
6.4	Ceilings	X			
6.5	Windows & Reveals	X			
6.6	Lighting Fixtures	X			
6.7	Floor	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

### Information

#### Dining Room: Photo



#### Doors & Frames: Material

Aluminium & glass

#### Walls: Material

Plaster Board

#### Ceilings: Material

Plaster Board

#### Windows & Reveals: Type

Aluminium, Single Glazed

#### Lighting Fixtures: Lights & Power Points

Lights OK

#### Floor: Coverings

Carpet

# 7: LIVING ROOM

		IN	NI	NP	O
7.1	Living Room	X			
7.2	Doors & Frames	X			
7.3	Walls	X			X
7.4	Ceilings	X			
7.5	Windows & Reveals	X			
7.6	Floors	X			
7.7	Lighting Fixtures	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Doors & Frames: Material

Aluminium & glass



### Windows & Reveals: Type

Aluminium, Single Glazed

### Walls: Material

Plaster Board, Wallpaper

### Ceilings: Material

Plaster Board

### Floors: Coverings

Carpet

### Lighting Fixtures: Lights & Power Points

Lights OK



### Living Room: Photo



## Observations

7.3.1 Walls

### **WEAR IN WALL PAPER**

Wear or peeling of wall paper in areas. Repair can be made if desired





## 8: BEDROOM ONE

		IN	NI	NP	O
8.1	Bedroom One	X			
8.2	Doors & Frames	X			
8.3	Walls	X			X
8.4	Wardrobe	X			
8.5	Ceilings	X			
8.6	Windows & Reveals	X			
8.7	Floors	X			
8.8	Lighting Fixtures	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

### Information

#### Bedroom One: Photo



#### Doors & Frames: Material

Hollow core, Timber

#### Walls: Material

Plaster Board

**Wardrobe: Type**  
Single

**Ceilings: Material**  
Plaster Board

**Windows & Reveals: Type**  
Aluminium, Single Glazed



**Floors: Coverings**  
Carpet

**Lighting Fixtures: Lights & Power Points**  
Lights OK

## Observations

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8.3.1 Walls

### GENERAL WEAR TO WALL LININGS

There is general wear observed to the wall linings consistent with the age of the dwelling. Cosmetic repair can be made if desired





## 9: BEDROOM TWO

		IN	NI	NP	O
9.1	Bedroom Two	X			
9.2	Doors & Frames	X			
9.3	Walls	X			X
9.4	Wardrobe	X			
9.5	Ceilings	X			
9.6	Windows & Reveals	X			X
9.7	Floors	X			
9.8	Lighting Fixtures	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Bedroom Two: Photo



### Doors & Frames: Material

Hollow core, Timber

### Walls: Material

Plaster Board

**Wardrobe: Type**  
Single

**Ceilings: Material**  
Plaster Board

**Windows & Reveals: Type**  
Aluminium, Single Glazed



**Floors: Coverings**  
Carpet

**Lighting Fixtures: Lights & Power Points**  
Lights OK

## Observations

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9.3.1 Walls

### **SHEET JOINT CRACKING**

There is sheet joint cracking to the wall linings, which can be repaired.





9.6.1 Windows & Reveals

**LOOSE HARDWARE**

Some hardware is loose and can be tightened or replaced.



9.6.2 Windows & Reveals

**DAMAGED MDF WINDOW REVEALS**





Some of the MDF frames are damaged and will benefit from replacement. MDF is no longer used for this purpose, as it cannot tolerate prolonged exposure to moisture. The condition of any internal timber is not known.



# 10: BEDROOM THREE

		IN	NI	NP	O
10.1	Bedroom Three	X			
10.2	Doors & Frames	X			
10.3	Walls	X			
10.4	Wardrobe	X			X
10.5	Ceilings	X			
10.6	Windows & Reveals	X			
10.7	Floors	X			
10.8	Lighting Fixtures	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Bedroom Three: Photo



### Doors & Frames: Material

Hollow core, Timber

### Walls: Material

Plaster Board

**Wardrobe: Type**  
Single

**Ceilings: Material**  
Plaster Board

**Windows & Reveals: Type**  
Aluminium, Single Glazed



**Floors: Coverings**  
Carpet

**Lighting Fixtures: Lights & Power Points**  
Lights OK

## Observations

---

10.4.1 Wardrobe

### **WARPED DOOR**

The wardrobe door panel is warped and does not close as designed. Repair or replacement is recommended



Maintenance Item



# 11: BEDROOM FOUR

		IN	NI	NP	O
11.1	Bedroom Four	X			
11.2	Doors & Frames	X			
11.3	Walls	X			
11.4	Wardrobe	X			
11.5	Ceilings	X			
11.6	Windows & Reveals	X			
11.7	Floors	X			
11.8	Lighting Fixtures	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Bedroom Four: Photo



### Doors & Frames: Material

Hollow core, Timber

### Walls: Material

Plaster Board

**Wardrobe: Type**

Double

**Ceilings: Material**

Plaster Board

**Windows & Reveals: Type**

Aluminium, Single Glazed



**Floors: Coverings**

Carpet

**Lighting Fixtures: Lights & Power Points**

Lights OK

# 12: BATHROOM ONE

		IN	NI	NP	O
12.1	Bathroom One	X			
12.2	Doors & Frames	X			
12.3	Walls	X			X
12.4	Ceilings	X			
12.5	Windows & Reveals	X			
12.6	Floors	X			X
12.7	Lighting Fixtures	X			
12.8	Ventilation	X			
12.9	Vanity Unit	X			X
12.10	Sink & Tapware	X			X
12.11	Bath	X			
12.12	Shower	X			
12.13	Towel rail	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Bathroom One: Photo



### Doors & Frames: Material

Hollow core, Timber, Cavity slider

### Walls: Material

Plaster Board, Wallpaper

### Ceilings: Material

Plaster Board

### Windows & Reveals: Type

Aluminium, Single Glazed

**Floors: Coverings**

Tile



**Lighting Fixtures: Lights & Power Points**

Lights OK

**Ventilation: Extractor Fan Unit**  
Operational, Individual Extractor Fan System

**Ventilation: Type**  
Mechanical





**Vanity Unit: Style & Mounting**  
Melamine



**Bath: Type**  
Plastic



**Shower: Material**  
Glass, Aluminium frame



**Shower: Lining**  
Plastic

**Shower: Shower Flow**  
Average

**Towel rail: Type**  
Heated Towel Rail

**Sink & Tapware: Type**  
Stainless steel, Porcelain



**Shower: Tray**  
Plastic



**Observations**

12.3.1 Walls

**WEAR IN WALL PAPER**

Wear or peeling of wall paper in areas.



12.6.1 Floors

**GROUT REPAIR REQUIRED**

Some re-grouting and sealing is required to the tiles to localised areas



12.9.1 Vanity Unit

**DAMAGED VANITY DOORS**

The doors are damaged and can be repaired or replaced as desired





12.10.1 Sink & Tapware

**DAMAGED SINK**

 Maintenance Item

There is damage to the sink bowl that may be repaired, or the sink replaced.



# 13: BATHROOM TWO

		IN	NI	NP	O
13.1	Bathroom Two	X			
13.2	Doors & Frames	X			
13.3	Walls	X			X
13.4	Ceilings	X			
13.5	Windows & Reveals	X			
13.6	Floors	X			
13.7	Lighting Fixtures	X			
13.8	Ventilation	X			
13.9	Vanity Unit	X			
13.10	Sink & Tapware	X			
13.11	Toilet	X			
13.12	Shower	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**Doors & Frames: Material**

Hollow core, Timber

**Windows & Reveals: Type**

Aluminium, Single Glazed

**Walls: Material**

Plaster Board, Wet Wall

**Floors: Coverings**

Vinyl

**Ceilings: Material**

Plaster Board

**Lighting Fixtures: Lights & Power Points**

Lights OK



**Ventilation: Extractor Fan Unit**  
Operational, Individual Extractor Fan System



**Ventilation: Type**  
Mechanical

**Vanity Unit: Style & Mounting**  
Melamine



**Shower: Material**  
Glass, Aluminium frame



**Shower: Lining**  
Wet Wall

**Shower: Shower Flow**  
Average

Material

**Bathroom Two: Photo**



**Sink & Tapware: Type**  
Stainless steel, Porcelain



**Toilet: Style**

Floor Mounted, Dual Flush

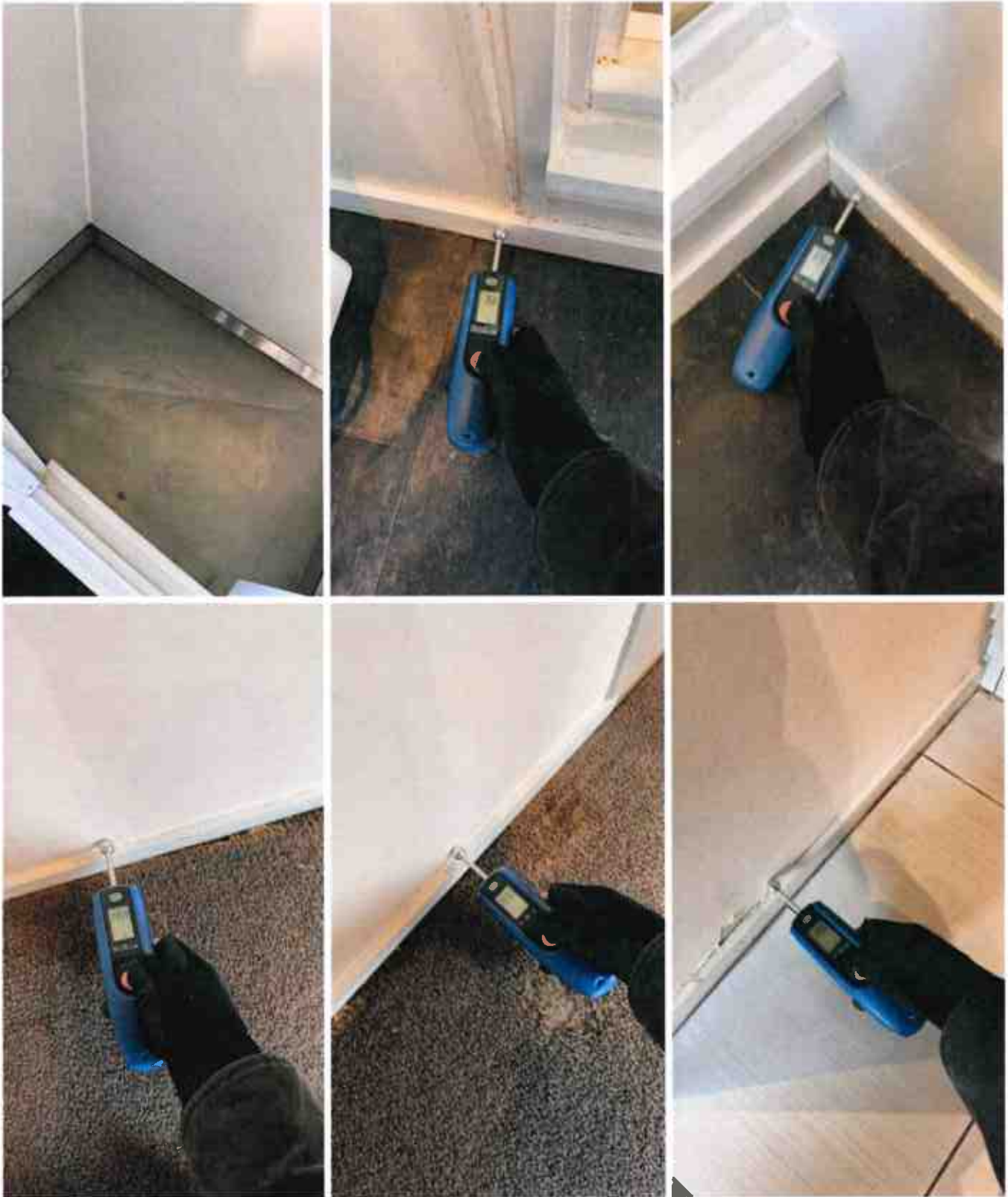
Toilet appears correctly and certainly fixed.

Half flush and full flush appear to be in **good** working order.





**Shower: Tray**  
Stainless steel





## Observations

### 13.3.1 Walls

#### **SHEET JOIN CRACKING**

There is sheet joint cracking to the wall linings, which can be repaired.

 Maintenance Item



## 13.3.2 Walls

**WEAR IN WALL PAPER**

Wear or peeling of wall paper in areas.



Maintenance Item



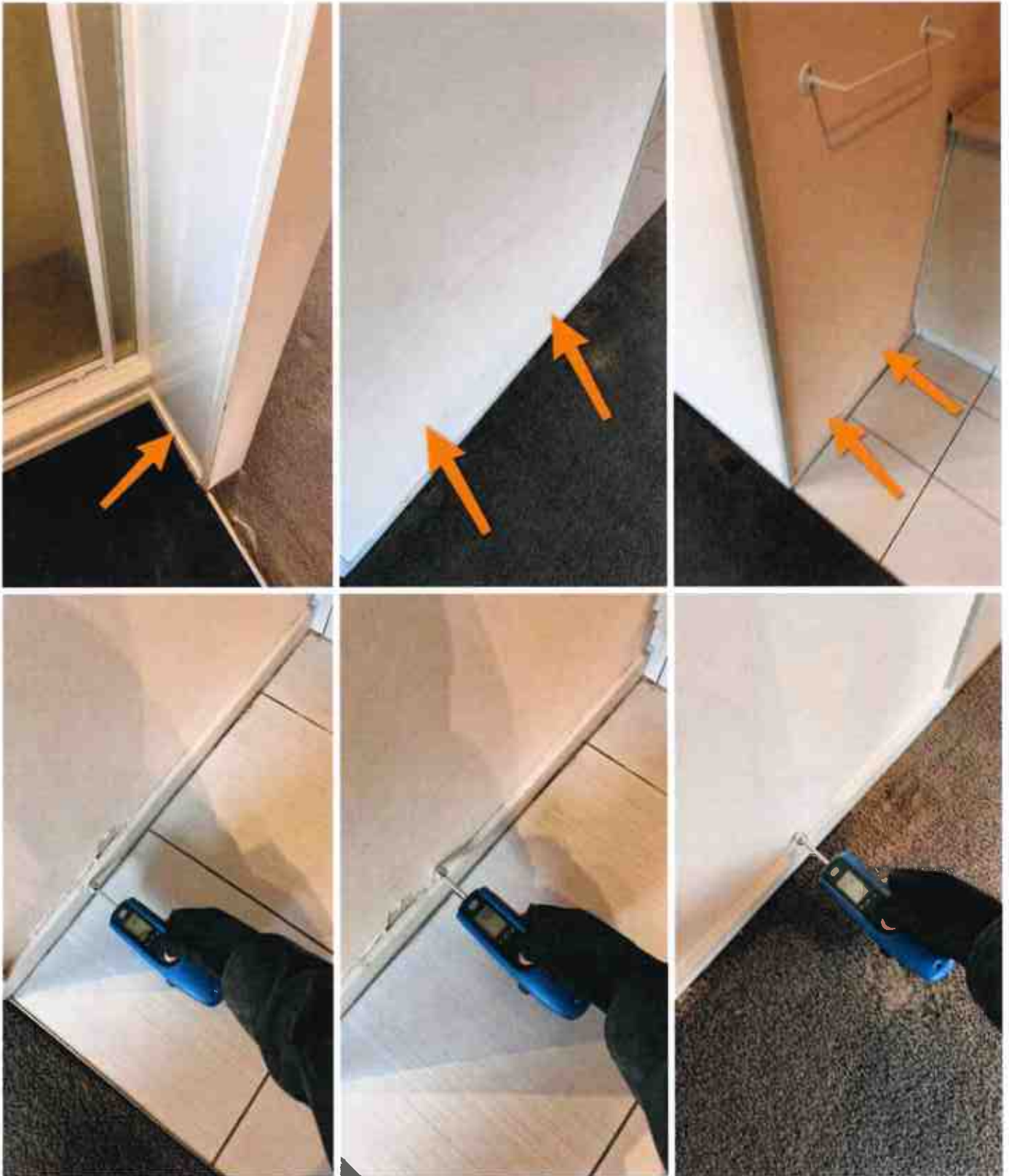
## 13.12.1 Shower

**ELEVATED MOISTURE LEVELS TO SHOWER AREA**

Elevated moisture levels were observed to both sides of the internal wall encompassing the shower enclosure. It is likely that either the shower screen is leaking during operation, or a plumbing leak has occurred within the wall framing. Further invasive investigation by a licensed plumber is required to determine the source of the leak and repair as necessary. The condition of the internal framing cannot be determined during this non-invasive inspection



Attention Required





# 14: SEPARATE TOILET

		IN	NI	NP	O
14.1	Separate Toilet	X			
14.2	Doors & Frames	X			
14.3	Walls	X			X
14.4	Ceilings	X			
14.5	Windows & Reveals	X			
14.6	Floors	X			
14.7	Lighting Fixtures	X			
14.8	Toilet	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Separate Toilet: Photo



### Doors & Frames: Material

Timber, Slider

### Walls: Material

Plaster Board, Wallpaper

### Ceilings: Material

Plaster Board

### Windows & Reveals: Type

Aluminium, Single Glazed

### Floors: Coverings

Tile

### Lighting Fixtures: Lights & Power Points

Lights OK

**Toilet: Style**

Floor Mounted, Dual Flush

Toilet appears correctly and certainly fixed.

Half flush and full flush appear to be in **good** working order.



**Observations**

14.3.1 Walls

 Maintenance Item

**WEAR IN WALL PAPER**

Wear or peeling of wall paper is occurring in areas. The wallpaper can be repaired if desired





# 15: LAUNDRY ROOM

		IN	NI	NP	O
15.1	Laundry	X			
15.2	Doors & Frames	X			
15.3	Walls	X			X
15.4	Ceilings	X			
15.5	Windows & Reveals	X			
15.6	Floors	X			
15.7	Tub	X			
15.8	Lighting Fixtures	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Laundry: Photo



### Doors & Frames: Material

Timber, Sliders

### Walls: Material

Plaster Board, Wallpaper

### Ceilings: Material

Plaster Board

### Windows & Reveals: Type

Aluminium, Single Glazed

**Floors: Coverings**

Vinyl



**Lighting Fixtures: Lights & Power Points**

Lights OK

**Tub: Type**  
Supertub

## Observations

### 15.3.1 Walls

#### **ELEVATED MOISTURE LEVELS TO TIMBER SKIRTINGS**



Elevated moisture levels were observed to the timber skirtings at the base of the wall. This is consistent with the placement of the washing machine. The elevated moisture readings were likely caused by a leak to the washing machine feed or discharge plumbing. Replacement of the MDF skirting is recommended, and monitoring of the area. The condition of the internal framing cannot be determined during this non-invasive inspection



# 16: ROOF SPACE - VENTILATION AND INSULATION

		IN	NI	NP	O
16.1	Roof Space	X			
16.2	Manhole	X			
16.3	Roof Framing	X			
16.4	Insulation	X			
16.5	Pest & Insect	X			
16.6	Roof Underlay	X			
16.7	Obvious Structural Alterations	X			
16.8	Plumbing	X			
16.9	Header Tank	X			X
16.10	Evidence of Leaks	X			
16.11	Visible Electrical Wiring	X			
16.12	Ceiling Structure	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**Manhole: Location & Accessibility**

Hallway

**Insulation: Thickness**

100mm

**Insulation: Coverage**

100%

**Insulation: Condition**

Reasonable

**Insulation: Type**

Blanket

**Pest & Insect: Infestation**

There were no signs of any pest or insect infestation found.,  
Roofspace very dusty

**Roof Underlay: Condition**  
None



**Obvious Structural Alterations: Condition**  
None

**Plumbing: Material**  
Galvanised



**Header Tank: Material**  
Concrete



**Evidence of Leaks: Condition**  
No

**Visible Electrical Wiring: Type**  
TPS cable



**Ceiling Structure: Material**  
Timber

**Roof Space: Photo****Roof Space: Limitation of access**

There is generally limited space in roof cavities, particularly to the lower or outer portions of the home. This does restrict access and in most instances prevents an inspection of the outer or lower areas, including any roof to wall framing connections.

**Roof Framing: Type**  
Timber Pitched roof



**Insulation: Material Type**  
Fibreglass



**Observations**

16.9.1 Header Tank

**NO SEISMIC RESTRAINTS**

We recommend fitting seismic restraints to prevent movement during an earthquake.





# 17: HOT WATER SYSTEMS

		IN	NI	NP	O
17.1	Capacity	X			
17.2	Seismic Restraint	X			X
17.3	Plumbing	X			
17.4	Evidence of Leaks	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**Make & Type**

Low Pressure, Rheem, Cocks

**Capacity: Size**

300L, 135L

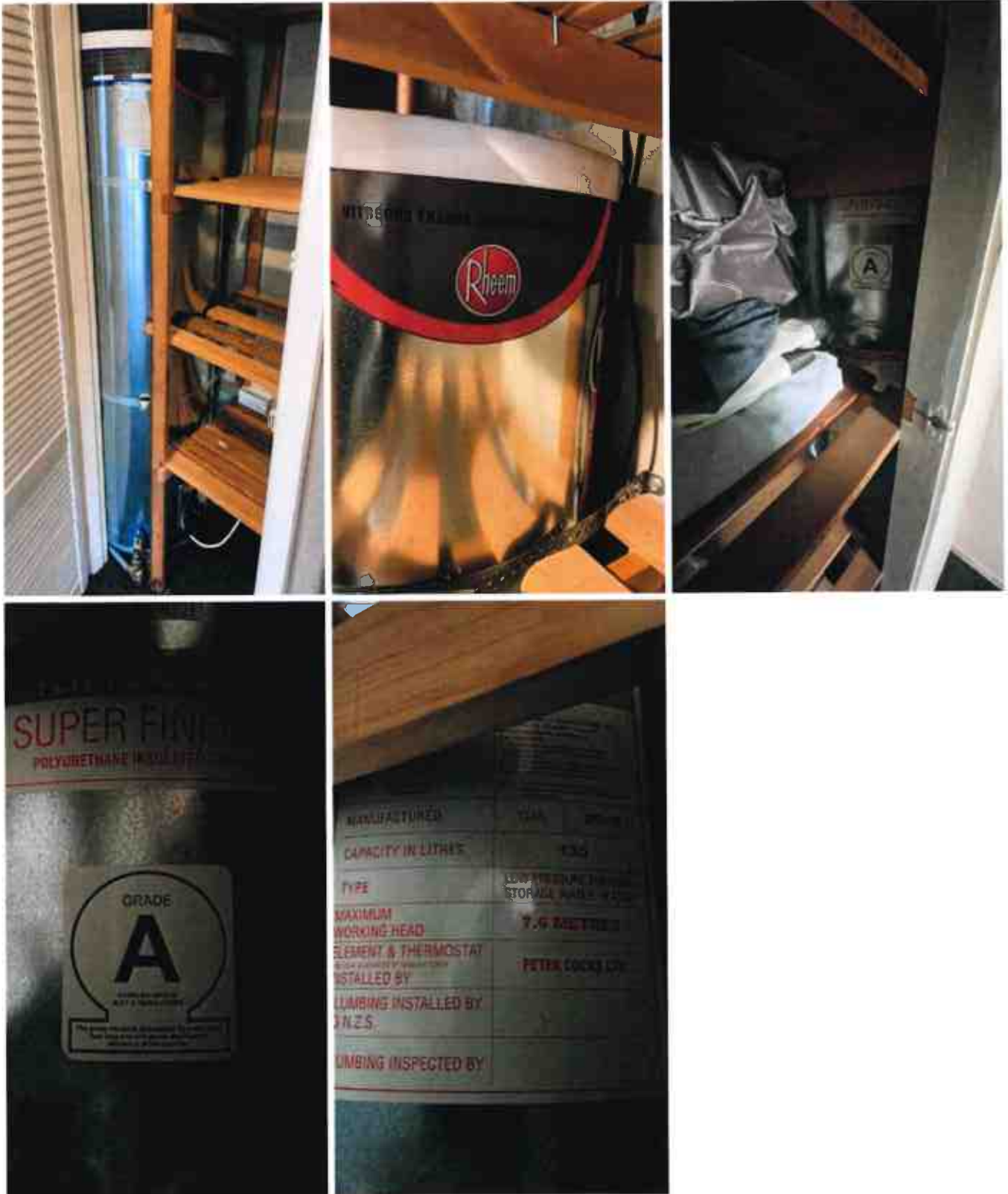
**Seismic Restraint: Present**

Yes, No

**Evidence of Leaks: ---**

No Leaks

Photo



**Plumbing: Type**  
Copper & plastic



**Limitations**

---

Hot Water Systems

**LIMITATIONS**

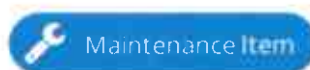
The testing and commenting on the product, installation, or performance of any System within this dwelling is outside the scope of this inspection. Any inspection or comments made about any systems relates only to the visible components and is the opinion of the Inspector, who is not a qualified Plumber, Electrician, or serviceman. To fully comment on the operation, installation, and performance of any of the systems would require a specialist report from a qualified service personnel. Any system should be serviced as per the manufacturers specification, and we recommend you obtain all service records and specification from the homes' owner, if they are available.

**Observations**

---

17.2.1 Seismic Restraint

**NO SEISMIC RESTRAINT**



We recommend fitting seismic restraints to prevent movement during an earthquake.



# 18: HEATING SYSTEMS

		IN	NI	NP	O
18.1	Heating & Air Conditioning	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Heating & Air Conditioning: Location

Living Room, Heat transfer,  
Lounge, Dining room

### Heating & Air Conditioning: Make & Type

Panasonic, Heatpump, HRV,  
Daikin

### Heating & Air Conditioning: External unit



**Heating & Air Conditioning: Photo**



# 19: GROUNDS

		IN	NI	NP	O
19.1	Contour	X			
19.2	Site & Vegetation	X			
19.3	Path & Patios	X			X
19.4	Driveway	X			
19.5	Fencing	X			X
19.6	Clothesline	X			
19.7	Letterbox	X			
19.8	Gully Traps	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**Contour: Site Contour**

Gentle slope

**Site & Vegetation: Type**

Established

**Fencing: Height**

1.8m

**Letterbox: Material**

Metal

**Gully Traps: Location**

Back of home



**Photo**



**Path & Patios: Material**  
Gravel, Paver/tile





**Driveway: Material**

Concrete



**Fencing: Material**

Timber



**Clothesline: Type**

Pull out, Rotary



**Limitations**

---

Exterior

**LIMITATIONS**

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including Council water and sewer service piping or septic systems.

**Observations**

---

19.3.1 Path & Patios

**CRACKING TO CONCRETE PATHS**

There is cracking and movement to the paths which can be repaired or replaced if desired





19.5.1 Fencing

**ROT TO TIMBER GATE**

The timber gate is rot damaged and repair work is required.

 Maintenance Item



19.5.2 Fencing

**REPAIR TO FENCING REQUIRED**

 Maintenance Item

Some general repair is required to bring the fencing up to standard.



### 19.8.1 Gully Traps

#### **LOW GULLY TRAPS**

The gully is set to low and surface water may enter the sewer system, the trap should be raised or a plinth installed.



19.8.2 Gully Traps

**EARTHENWARE DRAINAGE**

The drainage system is earthenware pipework. This material is prone to movement damage. We recommend that the drainage be camera inspected to determine its condition.



## 20: GARAGE

		IN	NI	NP	O
20.1	Garage	X			
20.2	Garage Door	X			
20.3	Walls	X			X
20.4	Ceilings	X			
20.5	Floors	X			X
20.6	Lighting Fixtures	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

### Information

**Garage: Photo**



**Garage Door: Material & Type**  
Metal, Tilta



**Ceilings: Material**  
Unlined



**Floors: Coverings**  
Concrete, Carpet



**Lighting Fixtures: Lights & Power Points**  
Lights OK

**Walls: Material**  
Concrete block



**Observations**

20.3.1 Walls



**STEP CRACKING TO CONCRETE BLOCK WALL**

Step cracking is observed to the northern concrete block wall. Repair to this area is required by a concrete repair specialist



20.5.1 Floors



**CRACKING TO FLOOR SLAB**

Cracking was observed to the original concrete slab to the garage floor, as is common in older concrete. The cracked areas can be repaired by a concrete repair specialist if desired





# 21: FOUNDATION

		IN	NI	NP	O
21.1	Location of accessibility	X			
21.2	Foundation Type	X			
21.3	Spot floor levels	X			
21.4	Condition of foundation space	X			X
21.5	Adequacy of ventilation	X			
21.6	Pile to bearer connection	X			
21.7	Plumbing/Drainage	X			
21.8	Insulation	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Inspection Method

Spot Floor levels, Remote controlled rover

Spot floor levels were taken using a precision altimeter.

### Location of accessibility: Location of Accessibility

Bed 1 wardrobe



### Condition of foundation space: Condition of foundation space.

Dry

### Adequacy of ventilation: Adequacy of ventilation

Sufficient ventilation

### Insulation: Insulation

Polyester

### Pile to bearer connection: Pile to bearer connection

Wired

### Plumbing/Drainage: Plumbing/Drainage

Galvanised steel, Plastic

**Photo****Spot floor levels**

Spot floor levels were taken. An approximate variation of 26mm to upper level and 24mm to the lower level was recorded. This measurement is within MBE guidelines which state a maximum allowable variation of 50mm across the floor plate.

Floor gradients were not measured as part of this inspection. A full floor level survey is required to determine floor gradients.

**Foundation Type: Foundation type**

Concrete ring, Concrete pile, Concrete slab, Timber framing



**Spot floor levels: Spot floor levels**

The observed floor levels are within MBIE guidelines

Floor gradients were not measured as part of this inspection.

A comprehensive floor level survey is required to accurately assess floor gradient variations and determine compliance with MBIE guidelines.

**Observations**

21.4.1 Condition of foundation space

**DEBRIS**

 Maintenance Item

Debris was observed in the foundation/subfloor space.

All loose materials, rubbish, or stored items should be removed to maintain ventilation, reduce fire risk, and discourage pests. A clear subfloor also allows for easier future inspection and maintenance.

Recommendation

Contact a qualified handyman.



21.8.1 Insulation

**NO VAPOUR BARRIER**

No vapour barrier is installed to the subfloor area. Installation of a vapour barrier is recommended to improve the thermal performance of the dwelling and negate rising damp

 Maintenance Item



## 22: ROOF

		IN	NI	NP	O
22.1	Inspection Method	X			
22.2	Roofing Material	X			X
22.3	Flashings & Parapets	X			
22.4	Vents	X			
22.5	Gutters & Spouting	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

### Information

**Inspection Method: Area**

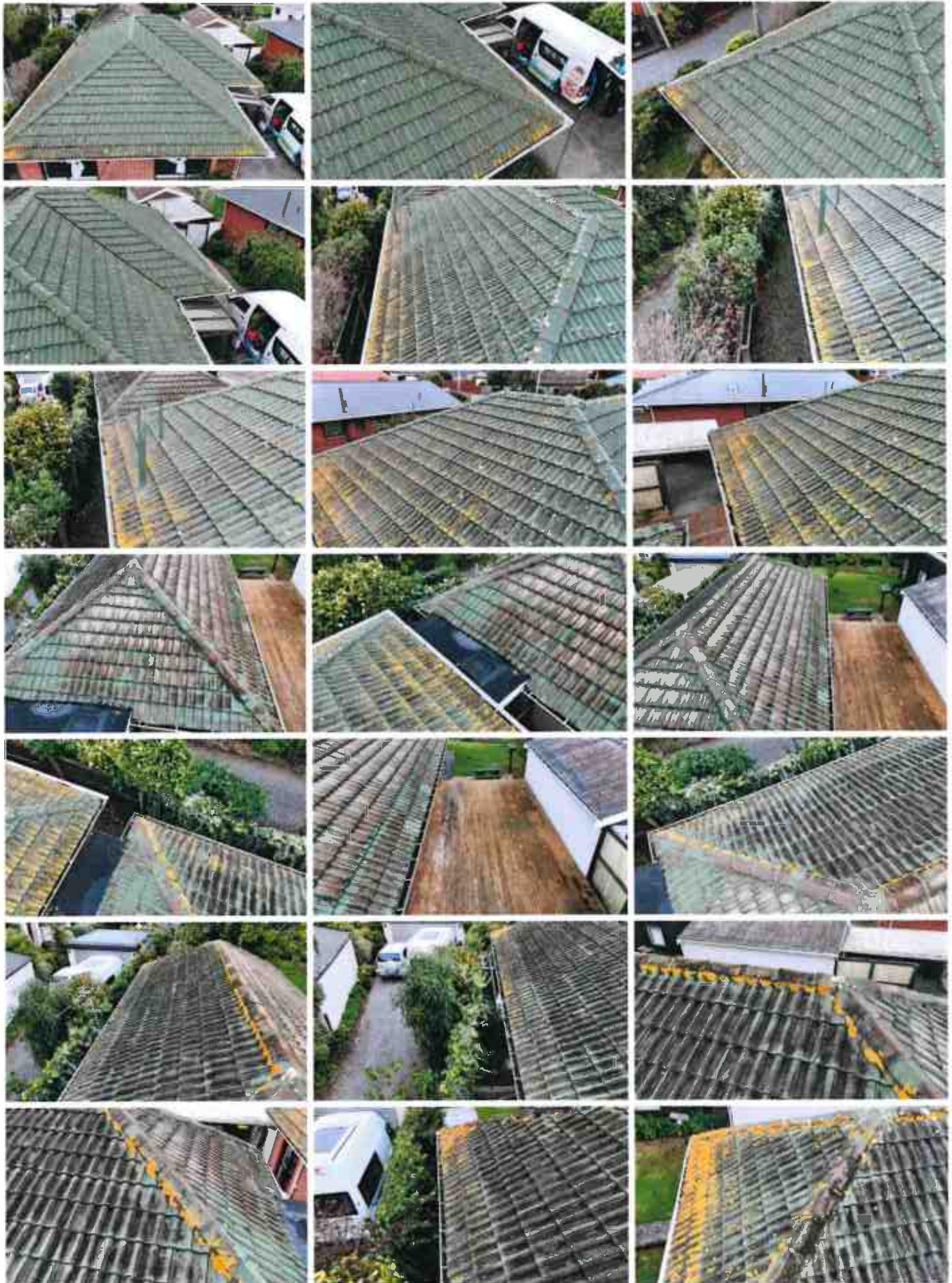
Visible from a ladder at the spouting., Drone Inspection

**Vents: Material**

Metal



Photo







**Roofing Material: Material**

Concrete tile, Polycarbonate, Rubber Membrane



**Flashings & Parapets: Material**  
Metal, Concrete tile ridge cap



**Gutters & Spouting: Material**  
Metal



**Limitations**

Inspection Method

### DRONE INSPECTION

Drones are a valuable tool for roof inspections, offering safer access to high or fragile areas and reducing the need for inspectors to work at height. This significantly improves health and safety outcomes. However, drone use is subject to limitations, including weather conditions (e.g. wind, rain), regulatory restrictions (e.g. proximity to airports or controlled airspace), and visibility constraints. Drones may also be unable to detect minor defects such as small cracks, loose fixings, or early-stage corrosion. Where drone use is not possible, the inspection is limited to areas visible from the ground or accessible via ladder.

## Observations

### 22.2.1 Roofing Material



### LICHEN GROWTH

Lichen growth was observed on the roof surface. While common, it can retain moisture and contribute to the deterioration of the roofing material over time. It is recommended that the affected areas be treated and cleaned as part of routine maintenance.

Recommendation

Contact a qualified roofing contractor



## 22.2.2 Roofing Material

**PONDING**

Ponding was observed in some areas of the roof. Prolonged ponding can lead to accelerated deterioration of the roof cladding, including corrosion and membrane breakdown. It is recommended that a qualified roofing contractor evaluate the affected areas and carry out any necessary remedial work.

## Recommendation

Contact a qualified roofing contractor



## 22.2.3 Roofing Material

**ERODED TILES**

Tiles are eroded and have become porous and brittle with time. Re-coating is recommended with a specialised roof tile coating to prolong the life of the material



## 22.2.4 Roofing Material

**DAMAGED POLYCARBONATE**

The polycarbonate roofing sheet is damaged and requires replacement



22.2,5 Roofing Material

**RAISED MEMBRANE**

The membrane roof covering is raised/has pulled away from the substrate to the highlighted area. Moisture may be present beneath the membrane to the raised area. Further investigation and repair by a licensed roofing contractor is required



22.5,1 Gutters & Spouting

**BLOCKED SPOUTING**

The spouting is full of debris and requires clearing to allow water to drain freely.



Recommendation

Contact a qualified roofing contractor



# 23: CARPORT

		IN	NI	NP	O
23.1	Carport	X			
23.2	Construction Type	X			X
23.3	Roofing Material	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**Carport: Garage Exterior Overview Photo**



**Roofing Material: Material Plastic**



**Construction Type: Construction Type**  
Timber



## Observations

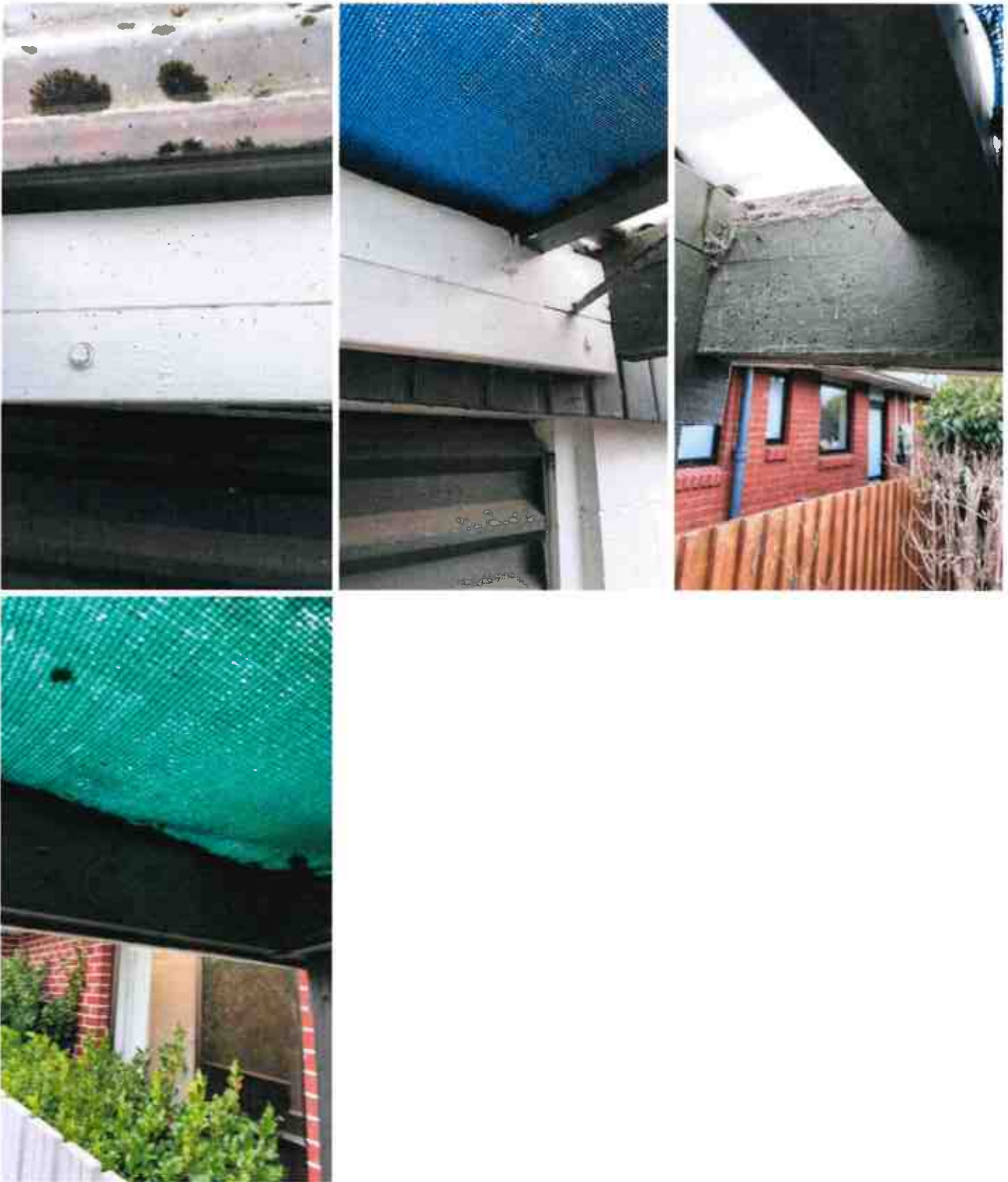
23.2.1 Construction Type

### **BORER**

Borer is present to the timber framing. Treatment/replacement of the effected timbers is required to negate the further spread

 Maintenance Item





23.3.1 Roofing Material

**LICHEN**

There is lichen and moss growth, which can be chemically treated to remove it and prevent damage to the roofing material.





23.3.2 Roofing Material

**DENTS IN THE ROOF**

The polycarbonate roofing is dented and is causing water to pool. Replacement of the effected sheets is required

 Maintenance Item



## 24: GARAGE EXTERIOR

		IN	NI	NP	O
24.1	Garage Exterior	X			
24.2	Construction Type	X			
24.3	Joinery (Windows and Doors)	X			X
24.4	Roofing Material	X			X
24.5	Cladding Type	X			X
24.6	Fascias & Barge Boards	X			X
24.7	Downpipes & Spouting	X			
24.8	Visible Point of Discharges	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

### Information

**Construction Type:** Construction Type

Concrete Block

**Fascias & Barge Boards:** Material  
Timber



**Visible Point of Discharges:** Location

Storm Water



**Garage Exterior: Garage Exterior Overview Photo**



**Joinery (Windows and Doors): Material**

Timber, Aluminium



**Roofing Material: Material**  
Painted corrugated iron



**Cladding Type: Cladding Type**

Concrete block, Shiplap Weatherboard



**Downpipes & Spouting: Material**

PVC



**Observations**

## 24.3.1 Joinery (Windows and Doors)

**PAINT PEELING**

Paint is peeling in places, and the joinery can be sanded back and re-painted.



## 24.3.2 Joinery (Windows and Doors)

**ROT TO TIMBER WINDOW SILLS**

There is rot damage to some joinery, which is best repaired by cutting the damaged timber out and replacing it with treated timber. Further rot damage may be located under closer scrutiny or when next painted. The condition of any internal framing behind the rot is not known.



## 24.3.3 Joinery (Windows and Doors)

**NO HEAD FLASHINGS**

Some of the joinery is not fitted with head flashings and we recommend these be installed.



24.4.1 Roofing Material

**RUST DAMAGE**

There is rust damage and surface rust to the roof, which should be repaired.



24.4.2 Roofing Material

**COATING DETERIORATION**





The coating has deteriorated - The roof requires prep and recoating to prolong the life of the material



24.4.3 Roofing Material

### REPLACE LEAD HEAD NAILS



The lead head nails have corroded or the heads have snapped off. Replacement with a modern screw fixing is recommended



24.5.1 Cladding Type

### PEELING PAINT



Paint is peeling and the cladding can be cleaned back and painted.



24.5.2 Cladding Type

**TIMBER CUPPING AND CRACKING**

 Maintenance Item

The timber cladding is cupping and cracking due to deferred maintenance. This is a moisture ingress risk area. Replacement of the damaged timbers is required



24.6.1 Fascias & Barge Boards

 Maintenance Item

**PAINT PEELING**

Paint is peeling. This could be prepared and re-painted.



24.8.1 Visible Point of Discharges

 Maintenance Item

**BLOCKED STORMWATER RISER**

The stormwater riser is blocked with debris and requires clearing



## 25: HOME EXTERIOR

		IN	NI	NP	O
25.1	Home Exterior	X			
25.2	Construction Type	X			
25.3	Cladding Flashing	X			X
25.4	Doors	X			
25.5	Joinery (Windows and Doors)	X			X
25.6	Vents	X			X
25.7	Roofing Material	X			
25.8	Cladding Type	X			
25.9	Fascias & Barge Boards	X			X
25.10	Soffit & Eaves	X			
25.11	Downpipes & Spouting	X			X
25.12	Visible Point of Discharges	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

### Information

**Construction Type: Construction Type**  
Timber

**Cladding Flashing: Material**  
None

**Doors: Door**  
Aluminium & glass



**Roofing Material: Material**  
Concrete tiles

**Soffit & Eaves: Material**  
Fibre cement



**Visible Point of Discharges:**  
**Location**  
Storm Water



Home Exterior: Home Exterior Overview Photo







**Joinery (Windows and Doors): Material**  
Aluminium



**Vents: Material**

Metal, PVC



**Cladding Type: Cladding Type**

Brick, Shiplap Weatherboard



**Fascias & Barge Boards: Material**

Timber



**Downpipes & Spouting: Material**  
PVC



**Observations**

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25.3.1 Cladding Flashing

 Maintenance Item

**NO CHANGE OF CLADDING FLASHING**

There is no flashings installed at the weatherboard/stone junction. This is a weahertightness risk. It is recommended that scribes or flashings be installed



25.5.1 Joinery (Windows and Doors)

 Observation

**NO HEAD FLASHINGS**

Some of the joinery is not fitted with head flashings but due to the wide eaves the junction is considered low risk



25.5.2 Joinery (Windows and Doors)

 Maintenance Item

**SEALS SHRINKING**

The rubber seals on the joinery are starting to deteriorate and can be replaced to ensure the joinery is weather tight.



25.5.3 Joinery (Windows and Doors)

 Maintenance Item

**POORLY SEALED WINDOW/CLADDING JUNCTION**

The joinery to cladding junction is poorly sealed. This is a weather tightness risk. It should be assessed and repaired by a licensed building practitioner.



25.6.1 Vents

**DAMAGED VENT PIPE**

There is damage to a vent pipe that will require repair or replacement.



25.6.2 Vents

**CORRODED METAL VENT**

The metal vent is corroded and would benefit from rust treatment and recoating to prolong its life

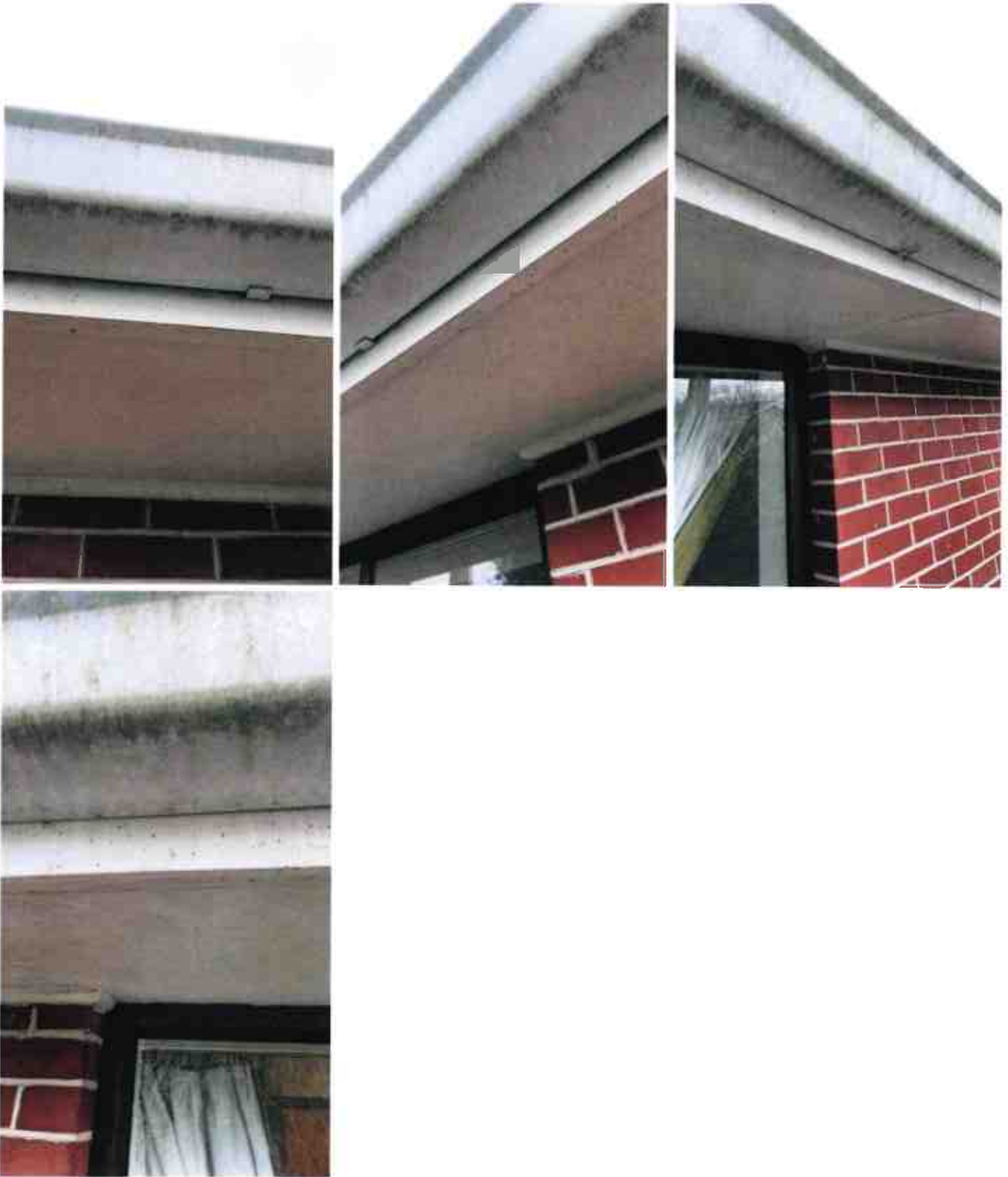


25.9.1 Fascias & Barge Boards

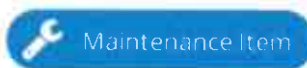
**BORER TO FASCIA**



There is borer present to the timber fascia across the extent of the dwelling. Treatment of the borer or replacement of these timbers is advised to help negate the further spread.



25.11.1 Downpipes & Spouting  
**LEAKING JOINTS**





The joins in the spouting are leaking and need repair.



25.12.1 Visible Point of Discharges

### EARTHENWARE DRAINAGE



The drainage system is earthenware pipework. This material is prone to movement damage. We recommended it be camera inspected to determine its condition



# 26: ELECTRICAL

		IN	NI	NP	O
26.1	Supply	X			
26.2	Visible Wiring	X			
26.3	Earthing Rod	X			
26.4	Lighting Fixtures	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**Supply: Entrance**  
Over head



**Visible Wiring: Type**  
TPS

**Earthing Rod: Type**  
Left side of home



**Lighting Fixtures: Lights & Power Points**  
Lights OK

**Summary**

The electrical test is a basic test to ensure the power points are wired correctly. This report should not be seen as an electrical inspection or Certification that the electricians of the home comply with any standards or regulations.

## Limitations

Electrical  
**LIMITATIONS**

The testing and commenting on the product, installation, or performance of any System within this dwelling is outside the scope of this inspection. Any inspection or comments made about any systems relates only to the visible components and is the opinion of the Inspector, who is not a qualified Plumber, Electrician, or serviceman. To fully comment on the operation, installation, and performance of any of the systems would require a specialist report from a qualified service personnel. Any system should be serviced as per the manufacturers specification, and we recommend you obtain all service records and specification from the homes' owner, if they are available.

# 27: PLUMBING

		IN	NI	NP	O
27.1	Water Toby	X			
27.2	Water Shut Off	X			
27.3	Gas bottles	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Water Toby: Location

At the street frontage



### Water Shut Off: Location

Water toby

### Gas bottles: Gas bottles

Obtain gas compliance certificate from vendor



## Limitations

Plumbing

### LIMITATIONS

The testing and commenting on the product, installation, or performance of any System within this dwelling is outside the scope of this inspection. Any inspection or comments made about any systems relates only to the visible components and is the opinion of the Inspector, who is not a qualified Plumber, Electrician, or serviceman. To fully comment on the operation, installation, and performance of any of the systems would require a specialist report from a qualified service personnel. Any system should be serviced as per the manufacturers specification, and we recommend you obtain all service records and specification from the homes' owner, if they are available.

## 28: DECK/ BALCONIES/ PERGOLAS

		IN	NI	NP	O
28.1	Deck/ Balcony/ Pergola	X			
28.2	Framing & Bracing		X		
28.3	Decking	X			X
28.4	Steps	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

### Information

**Decking: Material**  
Timber



**Steps: Material**  
Timber



**Deck/ Balcony/ Pergola: Deck Overview Photo****Observations**

28.3.1 Decking

**DECKING HARD TO CLADDING**

The decking has been installed hard to the cladding in areas. 12mm minimum clearance from the cladding is required to be compliant to negate moisture being trapped between the materials. Trimming of the decking boards to allow clearance is required



Maintenance Item



28.3.2 Decking

**NO GAPS TO DECKING BOARDS**



There is none or minimal gaps to the timber decking boards. This will cause water to pool and not provide sufficient ventilation to the deck subfloor. The decking boards can be lifted and relaid if desired



# STANDARDS OF PRACTICE

## Inspection Details

### General

I. The inspector shall inspect: A. a representative number of doors and windows by opening and closing them; B. floors, walls and ceilings; C. stairs, steps, landings, stairways and ramps; D. railings, guards and handrails; and E. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls. II. The inspector shall describe: A. a garage vehicle door as manually-operated or installed with a garage door opener. III. The inspector shall report as in need of correction: A. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings; B. photo-electric safety sensors that did not operate properly; and C. any window that was obviously fogged or displayed other evidence of broken seals. IV. The inspector is not required to: A. inspect paint, wallpaper, window treatments or finish treatments. B. inspect floor coverings or carpeting. C. inspect central vacuum systems. D. inspect for safety glazing. E. inspect security systems or components. F. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures. G. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure. H. move suspended-ceiling tiles. I. inspect or move any household appliances. J. inspect or operate equipment housed in the garage, except as otherwise noted. K. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door. L. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards. M. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices. N. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights. O. inspect microwave ovens or test leakage from microwave ovens. P. operate or examine any sauna, steam generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices. Q. inspect elevators. R. inspect remote controls. S. inspect appliances. T. inspect items not permanently installed. U. discover firewall compromises. V. inspect pools, spas or fountains. W. determine the adequacy of whirlpool or spa jets, water force, or bubble effects. X. determine the structural integrity or leakage of pools or spas.

The Inspector/s is Not Required and Shall Not Move items of furniture during the Inspection. We here by make note, that any issues concealed and / or not inspected due to the restrictions of any such household items, therefore not included in the final report are advised to be reinspected at a time and cost agreed by parties involved. With our disclosure being that costing may well total the sum of a secondary report.

### Roof Space - Ventilation and Insulation

I. The inspector shall inspect: A. insulation in unfinished spaces, including attics, crawlspaces and foundation areas; B. ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and C. mechanical exhaust systems in the kitchen, bathrooms and laundry area. II. The inspector shall describe: A. the type of insulation observed; and B. the approximate average depth of insulation observed at the unfinished attic floor area or roof structure. III. The inspector shall report as in need of correction: A. the general absence of insulation or ventilation in unfinished spaces. IV. The inspector is not required to: A. enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage or, in the inspector's opinion, pose a safety hazard. B. move, touch or disturb insulation. C. move, touch or disturb vapor retarders. D. break or otherwise damage the surface finish or weather seal on or around access panels or covers. E. identify the composition or R-value of insulation material. F. activate thermostatically operated fans. G. determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring. H. determine the adequacy of ventilation.

### Foundation

I. The inspector shall inspect: A. the foundation; B. the basement; C. the crawlspace; and D. structural components. II. The inspector shall describe: A. the type of foundation; and B. the location of the access to the under-floor space. III. The inspector shall report as in need of correction: A. observed indications of wood in contact with or near soil; B. observed indications of active water penetration; C. observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and D. any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern. IV. The inspector is not required to: A. enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself. B. move stored items or debris. C. operate sump pumps with inaccessible floats. D. identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems. E. provide any engineering or architectural service. F. report on the adequacy of any structural system or component.

### Roof

I. The inspector shall inspect from ground level or the eaves: A. the roof-covering materials; B. the gutters; C. the downspouts; D. the vents, flashing, skylights, chimney, and other roof penetrations; and E. the general structure of the roof from the readily accessible panels, doors or stairs. II. The inspector shall describe: A. the type of roof-covering materials. III. The inspector shall report as in need of correction: A. observed indications of active roof leaks. IV. The inspector is not required to: A. walk on any roof surface. B. predict the service life expectancy. C. inspect underground



downspout diverter drainage pipes. D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces. E. move insulation. F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. G. walk on any roof areas that appear, in the inspector's opinion, to be unsafe. H. walk on any roof areas if doing so might, in the inspector's opinion, cause damage. I. perform a water test. J. warrant or certify the roof. K. confirm proper fastening or installation of any roof-covering material.

### Electrical

I. The inspector shall inspect: A. the service drop; B. the overhead service conductors and attachment point; C. the service head, gooseneck and drip loops; D. the service mast, service conduit and raceway; E. the electric meter and base; F. service-entrance conductors; G. the main service disconnect; H. panelboards and over-current protection devices (circuit breakers and fuses); I. service grounding and bonding; J. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible; K. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and L. smoke and carbon-monoxide detectors. II. The inspector shall describe: A. the main service disconnect's amperage rating, if labeled; and B. the type of wiring observed. III. The inspector shall report as in need of correction: A. deficiencies in the integrity of the serviceentrance conductors insulation, drip loop, and vertical clearances from grade and roofs; B. any unused circuit-breaker panel opening that was not filled; C. the presence of solid conductor aluminum branch-circuit wiring, if readily visible; D. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and E. the absence of smoke detectors. IV. The inspector is not required to: A. insert any tool, probe or device into the main panelboard, sub-panels, distribution panelboards, or electrical fixtures. B. operate electrical systems that are shut down. C. remove panelboard cabinet covers or dead fronts. D. operate or re-set over-current protection devices or overload devices. E. operate or test smoke or carbon-monoxide detectors or alarms. F. inspect, operate or test any security, fire or alarms systems or components, or other warning or signaling systems. G. measure or determine the amperage or voltage of the main service equipment, if not visibly labeled. H. inspect ancillary wiring or remote-control devices. I. activate any electrical systems or branch circuits that are not energized. J. inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any timecontrolled devices. K. verify the service ground. L. inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. M. inspect spark or lightning arrestors. N. inspect or test de-icing equipment. O. conduct voltage-drop calculations. P. determine the accuracy of labeling. Q. inspect exterior lighting.